

EXISTING CONDITIONS

existing site coverage = 13.94% impervious
TOTAL AREA OF PROPERTY = 19,345 s.f. (0.444 Ac.)
existing runoff (15 yr., 20 min. storm)

Grass - 16,679 s.f. (0.382 x 3.54) = 0.649 cfs
Pavement/Walks - 1,246 s.f. (0.029 x 3.54) = 0.103 cfs
Building - 1,420 s.f. (0.033 x 3.54) = 0.115 cfs
TOTAL = 0.867 cfs

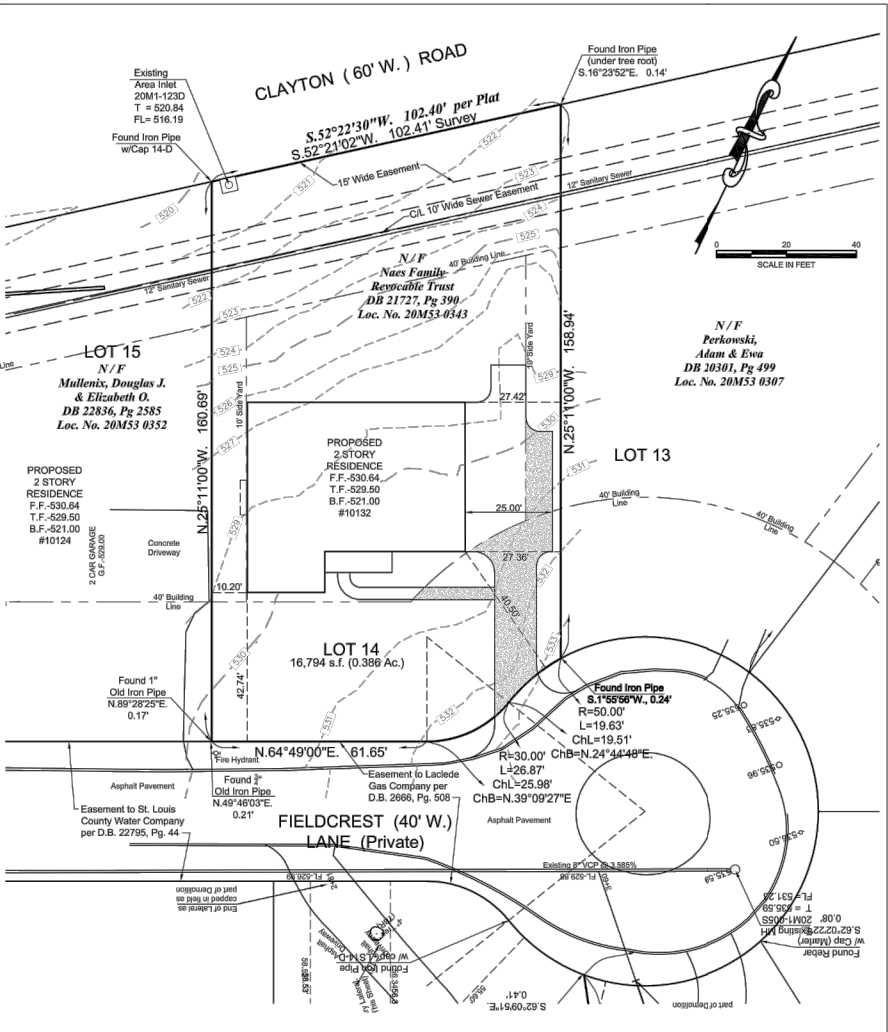


Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number or location of these facilities, structures, & utilities.

The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act.

General Construction Notes

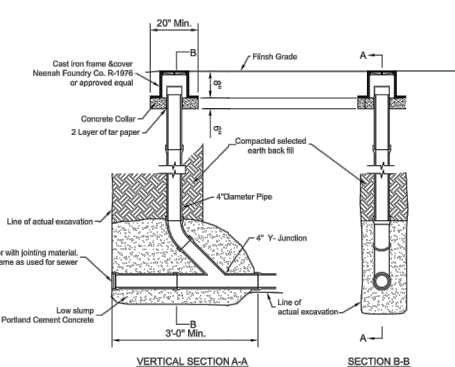
- The original of these drawings are on file at the office of The Clayton Engineering Company. Any modifications to these drawings shall release said Clayton Engineering Company and the engineer and/or the surveyor whose seal appears hereon from any liability resulting from said unauthorized modifications.
- All utility property owners shall be given notice 48 hours in advance of any work by the contractor.
- Any disturbed off-site property (e.g. bushes, fences, mailboxes, etc.) shall be replaced, in kind, at the developer's expense.
- All existing on-site structures, sidewalks, concrete or asphalt surfaces, curbing, utility poles, sewer structures, utility services, fences, trees, shrubs, and debris noted for removal on the drawings shall be demolished and removed from the site and properly disposed of all in a manner approved by the regulating governmental agencies.
- Contractor shall be responsible for determining the amount of removal, demolition, clearing and grubbing, stripping of vegetation, pavement breaking, and haul off.
- Contractor shall be responsible for coordinating and providing all services and fees necessary to obtain the required building demolition permits and for fees by the various utilities associated with the disconnection and removal of their services.
- Contractor shall obtain all necessary state and local permits required for hauling and disposal of demolition, clearing, and non-suitable materials from the project site. Hauling methods and conditions of the permit shall be strictly adhered to.
- Contractor shall preserve and protect from damage all existing improvements that are not to be removed within the project limits or adjacent thereto as a result of their activities in the performance of work.
- Underground facilities, structures and utilities have been plotted from available surveys, records and information and, therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, location or depth of these facilities, structures and utilities. The contractor shall be responsible for verifying the actual location of all underground facilities, structures and utilities, either shown or not shown on these plans. The underground facilities, structures and utilities shall be located in the field prior to any grading, excavation or construction of improvements. Should the actual location, size or depth of any underground facility, structure or utilities differ from those indicated on these plans, the contractor shall immediately notify Clayton Engineering prior to proceeding with the installation of any proposed improvements in the area where the difference exists. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.
- Contractor to verify horizontal and vertical location and flow line of all existing utilities prior to connection. All connections to be made in accordance with local codes and/or utility company requirements.
- Contractor to notify engineer as soon as possible if the conditions differ from those shown on plans.
- Site elevations based on the National Geodetic Survey NAVD-88 Datum. Obtained by GPS observation on August 30, 2016.
- SITE BENCHMARK: Top of Sanitary Manhole located approximately 40 feet east of the east line of Lot 15 ELEVATION = 518.60
- The developer is advised that utility companies will require compensation for relocation of their utility facilities within the public road right-of-way. Utility relocation cost shall be considered the developer's responsibility. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.
- Provide adequate off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driveway conditions.
- All storm water shall be discharged at an adequate natural discharge point.
- A Backwater Valve shall be required on all building laterals per local plumbing code.
- The proposed Stormwater Storage Basins shall be under City of Ladue jurisdiction.
- All storm and sanitary sewer structures and appurtenances to be dedicated to MSD, or to be Private Under MSD inspection, shall conform to the Metropolitan St. Louis Sewer District, Standard Construction Specifications for Sewers and Drainage Facilities, 2008. That will include Standard Details shown therein, and shall include all subsequent changes made therein.



PROPOSED CONDITIONS

proposed site coverage = 30.91% impervious
TOTAL AREA OF PROPERTY = 19,345 s.f. (0.444 Ac.)
prop. runoff (15 yr., 20 min. storm)

Grass - 13,385 s.f. (0.306 x 3.54) = 0.520 cfs
Pavement/Walks - 2,885 s.f. (0.066 x 3.54) = 0.234 cfs
Building - 3,115 s.f. (0.072 x 3.54) = 0.255 cfs
TOTAL = 0.999 cfs



SEWER CLEAN OUT

Not to Scale

LEGEND

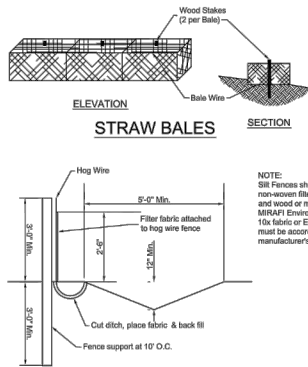
EXISTING
CONTOURS
SPOT ELEVATIONS

PROPOSED

(485)
(TP-614.75)

ABBREVIATIONS

EP - Edge Pavement
TW - Top of Wall
GE - Ground Elevation
EW - End of Wall
TWIK - Top of Walk
TC - Top Curb
T - Top
FL - Flowline
FF - Finish Floor
TF - Top of Foundation
BF - Basement Floor
GF - Garage Floor
G - Ground
TBR - To Be Removed



SILTATION CONTROL FENCE & SWALE

Not to Scale

SETBACK COVERAGE CALCULATIONS

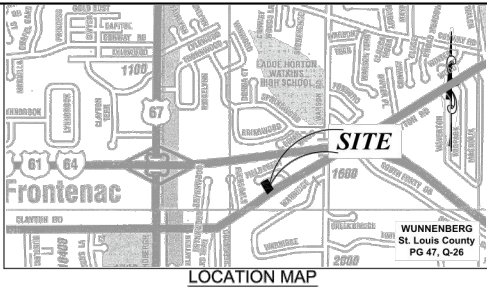
Side Yard Setback (25% Maximum Coverage)
Total Area Side Yard = 753 sq. ft.
Driveway coverage = 186 sq. ft. (24.7%)

Front Yard Setback
Total Area Front Setback = 4,343 sq. ft.
Driveway Coverage = 737 sq. ft. (17.0%)

STORMWATER MANAGEMENT SUMMARY:

15-yr, 20-min. ONSITE DIFFERENTIAL = 0.140 CFS < 2 CFS
0.324 CFS < 2.885 CFS (Total Site)
--- FLOOD DETENTION IS NOT REQUIRED PER MSD REGULATIONS ---
AREA OF DISTURBANCE = LOT 14 (17,362 s.f.) 0.397± AC. < 1 AC.
= TOTAL AREA (38,562 s.f.) 0.885± AC. < 1 AC.
--- WATER QUALITY IS NOT REQUIRED PER MSD REGULATIONS ---

Any future land disturbance and/or increase in impervious area on this site may require additional stormwater management per MSD regulations to be placed at the time (including total land disturbance and/or imperviousness added on this plan.)



GENERAL NOTES

- Total Area of Tract = 16,794 sf (0.386 ac.)
- Tract is identified by St. Louis County locator number: 20M53-0343
- Property Address: 10132 Fieldcrest Lane, Ladue, Missouri 63124
- Tract is currently zoned: "D" Single Family Residential District
- Proposed zoning: "D" Single Family Residential District
- Tract lies in the following districts:
Sewer: Metropolitan St. Louis Sewer District (Deer Creek Watershed)
Fire: Ladue Fire Department
School: Ladue School District
- All public utilities are available to the site
- Tract is served by the following utilities:
Electric: AmerenUE
Gas: Laclede Gas Company
Telephone: AT&T
Water: Missouri American Water
- Contours are USGS Datum.
- We have examined Flood Insurance Rate Map (Community Panel Number 290363-0194-K), Map Number 29189C0194K, having an effective date of February 4, 2015, of the National Flood Insurance Program prepared by the Federal Emergency Management Agency for the area containing the subject property. By graphic plotting only, the subject property is located within Zone "X" - Areas determined to be outside the 0.2% annual chance floodplain. This note is for the purpose of providing information as indicated on the current Flood Insurance Rate Map for this area, and should not be construed as an indication as to whether flood insurance should, or should not be purchased.
- All proposed improvements shall be constructed to City of Ladue Standards
- All grading and drainage to be in conformance with City of Ladue, and MSD Standards
- No slopes shall exceed 3 (horizontal) to 1 (vertical), unless justified by a geotechnical report, which has been accepted/approved by the City of Olivette.
- Storm Water shall be discharged at an adequate natural discharge point. Sinkholes are not adequate discharge points.

the Clayton Engineering Company, Inc.
Celebrating 90 Years
ENGINEERS - SURVEYORS - PLANNERS
2000+ YEARS OF SERVICE
4000+ PROJECTS
100+ CLIENTS
100+ YEARS OF SERVICE

REVISIONS	DATE	BY	DESCRIPTION
1	2020-04-20	KRS	Issue revisions to utility per document
2	2020-04-20	KRS	Issue revisions to utility per document
3	2020-04-17	KRS	Add drainage areas per City of Ladue

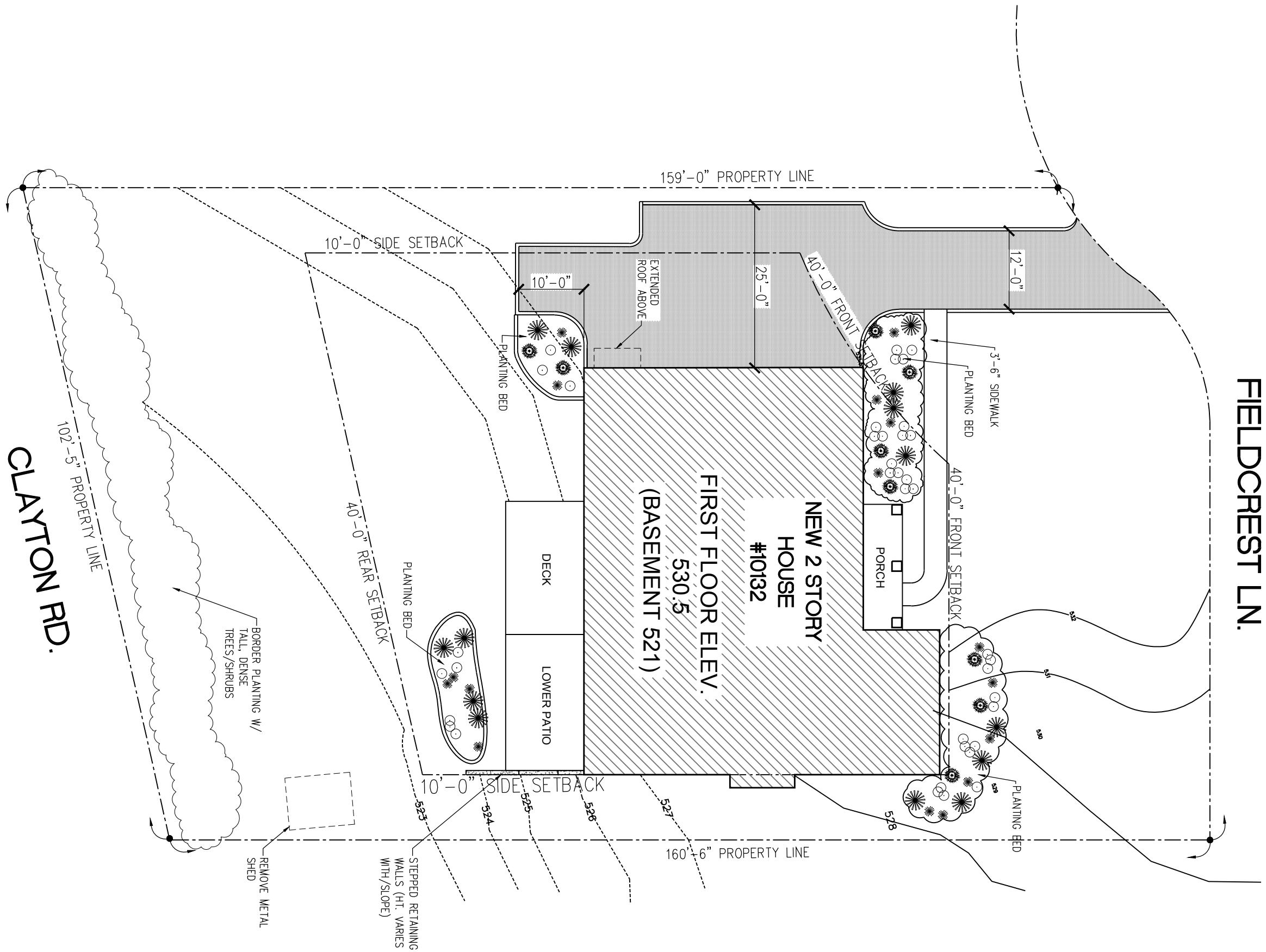
DOMINION HOMES, LLC
10124 Fieldcrest Lane
St. Louis, Missouri 63124
Ph: 314.220.7733
SITING PLAN
LOT 14 - FIELDCREST
10132 Fieldcrest Lane

Designed	KRS
Drawn	KRS
Checked	EAS
Date	April 8, 2020
Project Number	16140-3
Sheet Number	1 of 2

Property Address:
10132 Fieldcrest Lane
Ladue, Missouri 63124

MSD Record: 20MSD-00187
MSD Base Map: 20M1
Zip Code: 63124

The original of this drawing is on file at the office of The Clayton Engineering Company. Any modifications to this drawing shall release said The Clayton Engineering Company, the Engineer and/or Surveyor whose seal appears hereon from any liability resulting from said unauthorized modifications.

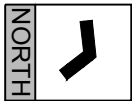


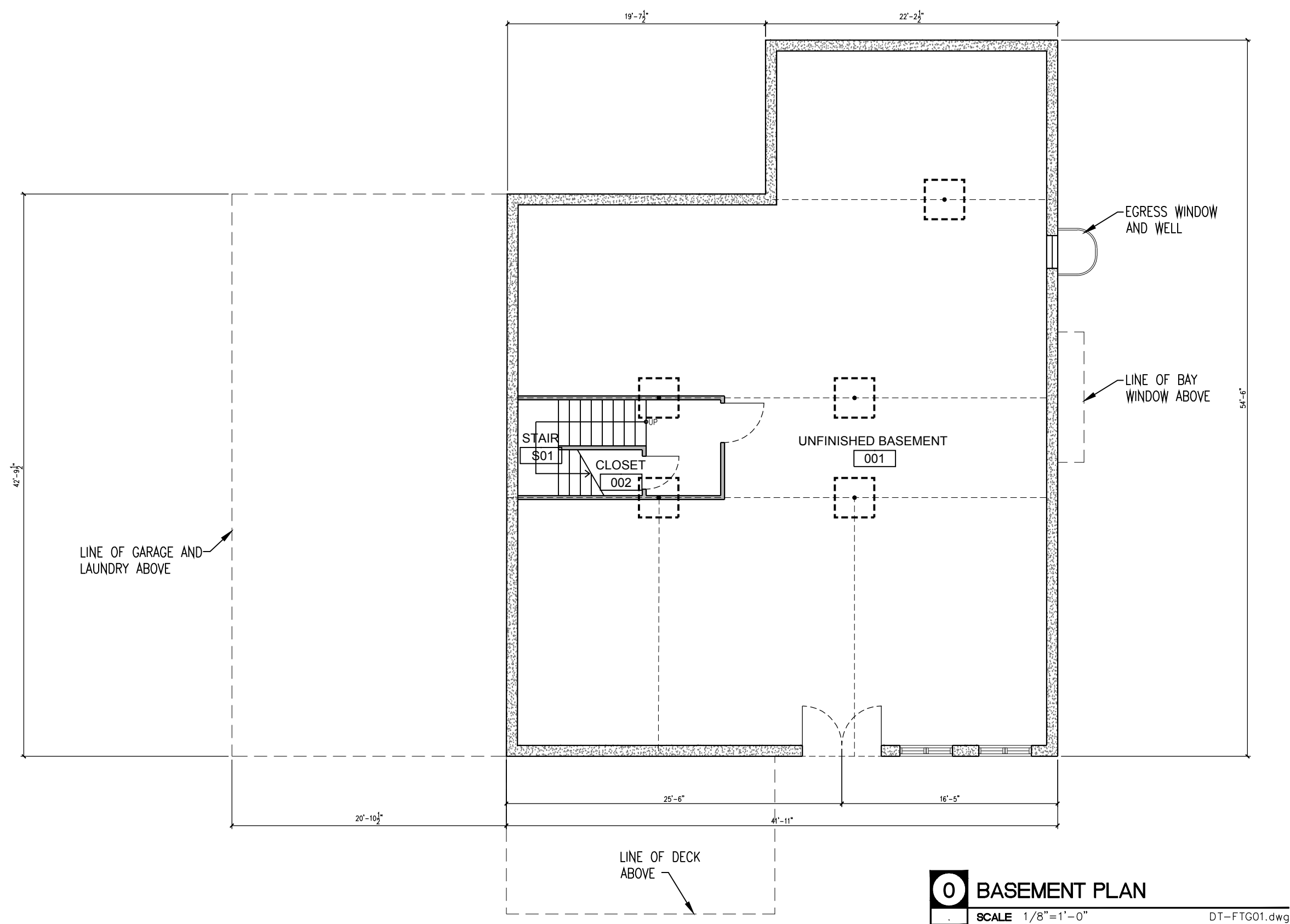
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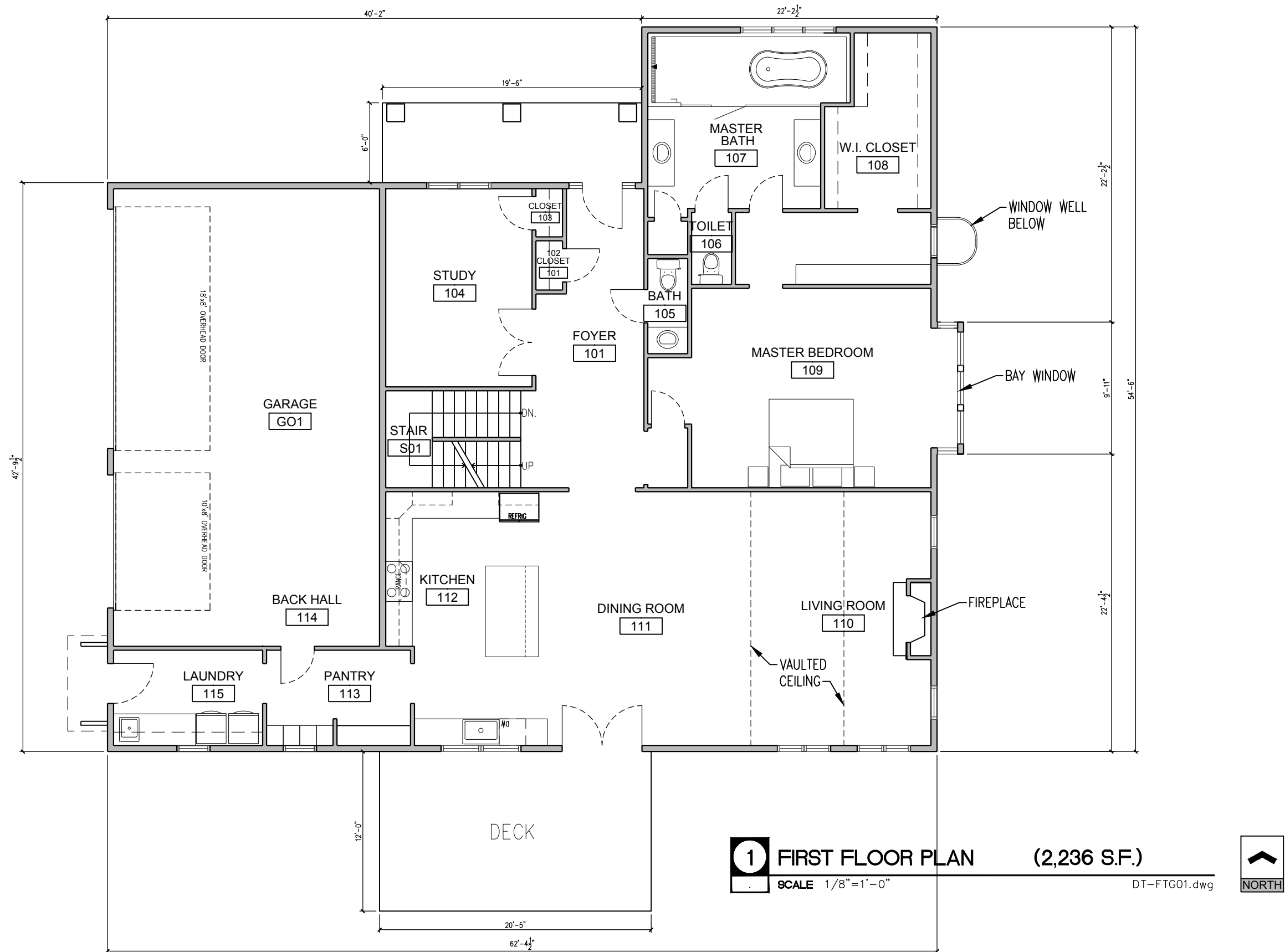
SITE PLAN

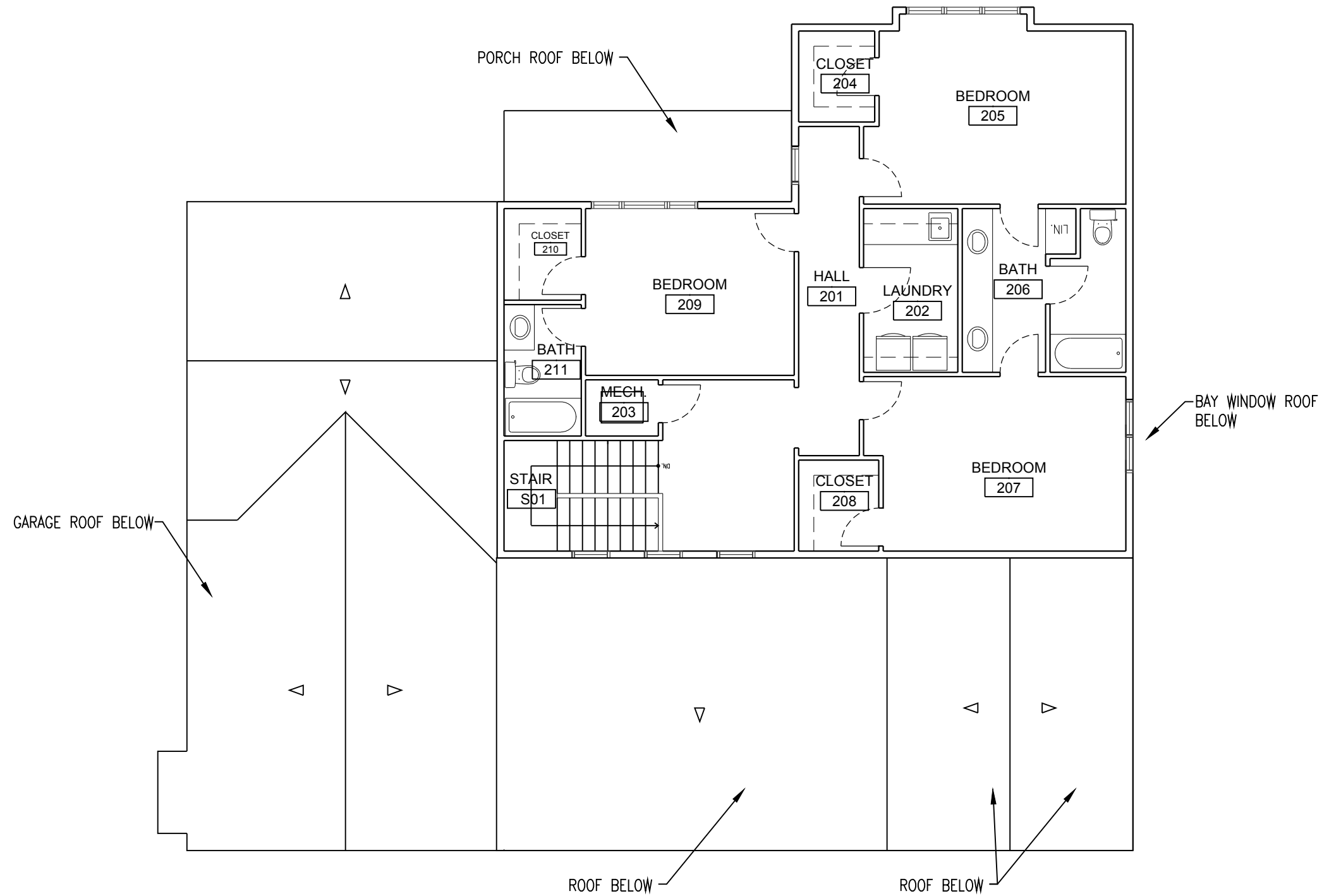
SCALE 1/16"=1'-0"

DT-FTG01.dwg









2 SECOND FLOOR PLAN (1,249 S.F.)
 SCALE 1/8"=1'-0" DT-FTG01.dwg



3 FRONT ELEVATION
SCALE 1/8"=1'-0"

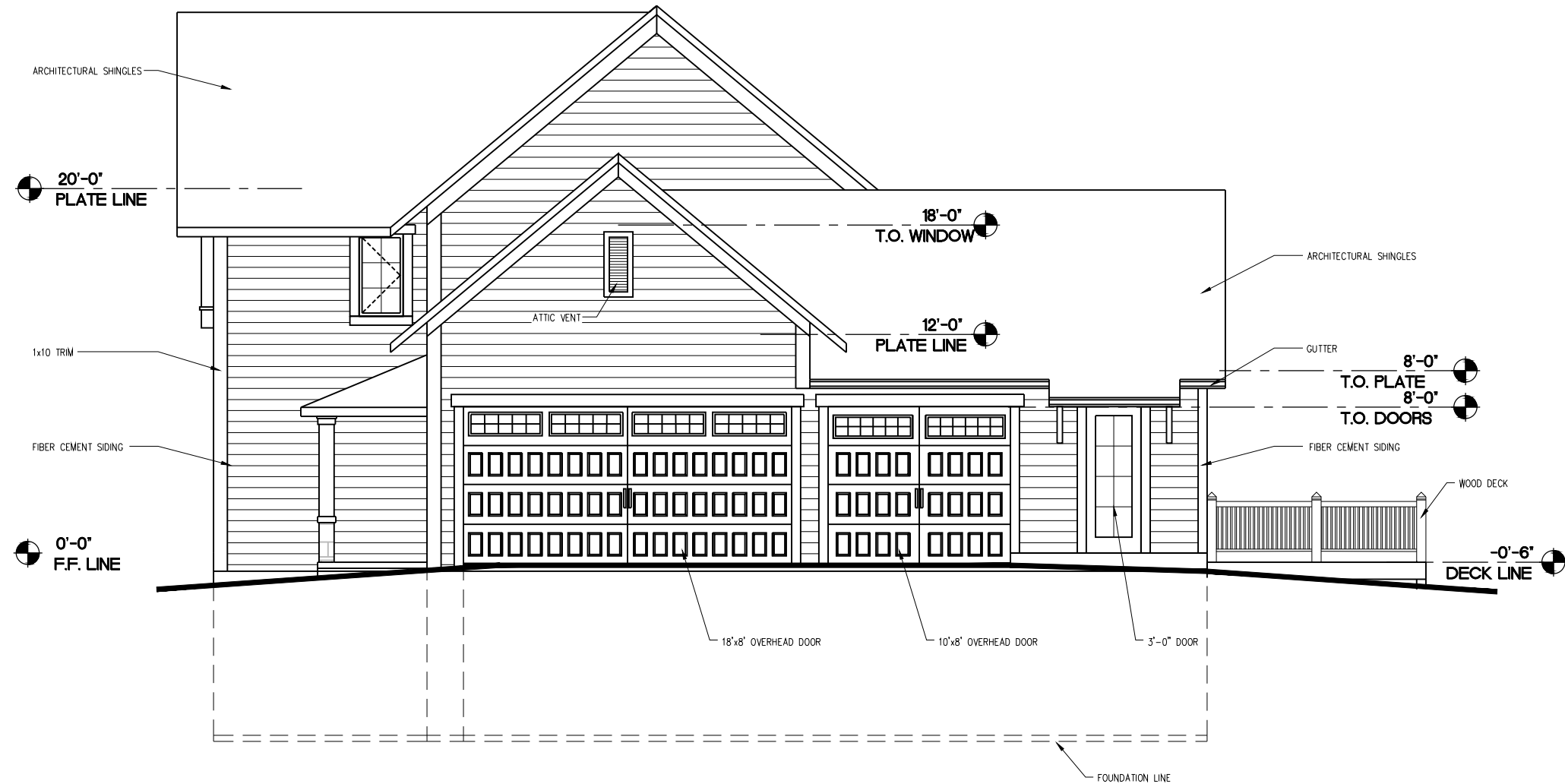
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4 REAR ELEVATION

SCALE 1/8"=1'-0"

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5 RIGHT ELEVATION
 SCALE 1/8" = 1'-0"

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6 LEFT ELEVATION

SCALE 1/8"=1'-0"

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LOT 15 - EXISTING HOUSE

NTS



LOT 13 - EXISTING HOUSE

NTS

Ladue Architectural Review Board
Exterior Material List

for
10132 Fieldcrest Lane
Lot 14 Fieldcrest
Subdivision

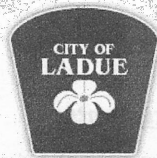


LOT 14 - EXISTING HOUSE

NTS

- Driveway & Parking Court will be 3" asphalt paving with 6" rock below
- Flatwork will be Meramec exposed aggregate concrete at the front porch, front walk and rear walk-out patio.
- Masonry on the house will be a prefabricated limestone veneer on all four sides up to the ban board with an overhanging stone cap from grade level (covering all foundations).
- All siding will be a maintenance free cement board (James Hardie Product Artic White).
- Trim boards are maintenance free, white cement board in a matching siding product.
- Soffit & Facia boards in white and enclosed using the same cement board product.
- Gutters will be black and 6" wide with 4" downspouts, about half of which will be piped to the water infiltration system shown on the engineering plans approved by MSD.
- Windows will be black, casement Sierra Pacific brand vinyl windows with full divided light mullions in both sashes with wood interior jambs
- Front Door will be wood 8' in height with a single side light and stained in a dark color or painted black.
- Rear French doors will be fiberglass, 8' in height at deck and 6'8" at walk-out with $\frac{3}{4}$ light windows, painted black, both doors operational. Single $\frac{1}{2}$ light fiberglass side door at laundry room onto the driveway painted black.
- Roofing Material will be architectural shake asphalt shingles (Landmark Moire Black)
- Roofing Material for the front porch and rear shed roof will be in a black slate metal standing seem roof
- Rear deck will have 6" cedar posts with weather-tech or similar grey PVC decking material with similar railings and black metal balusters (no steps to grade).

For additional information with this exterior materials list,
please contact Doug Mullenix at Dominion Homes
(314) 220-7733 or doug@dominionhomesstl.com



Application for Architectural Review Board

*** This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: Dominion Homes, LLC

Phone #: (314) 220-7733

Email address of Applicant (for review comments): doug@dominionhomesstl.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 10132 Fieldcrest Lane

Zoning District: D Parcel ID # (St. Louis county record): 20M530343

DESCRIPTION OF PROPOSED PROJECT: New single family residence (3499sf)

Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X [Signature] Date: 9/29/2021

* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.

Architectural Review Board Checklist

Please initial all items below to verify that your submittal includes all requirements:

The following items shall be submitted to the Building Department by 11:00 am, no later than 7 days prior to the regularly scheduled meeting. Plans 24" x 36" are preferred and should be folded into individual packets. If plans are not able to be 24" x 36", the smallest size possible is preferred. Plans to scale can be printed in half size.

✓ **THREE copies of ARB plans with THREE copies of this application and one DIGITAL COPY OF PLANS AND APPLICATION (digital copy should include ALL items in the hard copy) emailed to aquinn@cityofladue-mo.gov. At least one set of plans must bear the signatures of subdivision trustees (if applicable). Items without trustee signatures will not be placed on the agenda until they are obtained.**

✓ Schematic site plan at a scale of not less than one inch equals 20 feet including the following:

- Dimensioned property lines,
- Building setback lines,
- Easements identified,
- Existing and proposed area of work,
- Location of driveways and parking areas,
- Topographic contours of the existing grades and proposed finished grades at two-foot interval minimums for a distance 25 feet from the face of the existing and proposed area of work with an indication of direction of flow of storm water. (For new residence and home additions only)
- Location of proposed landscape material (New residence only)
- Landscape material proposed to be removed (New residence only), and
- Identifying any accessory structures proposed or existing.
- Hardscape and greenspace coverage calculations for existing and proposed front, rear, side and overall lot.

✓ Schematic floor plans (at a minimum scale of one-quarter inch equals one foot) showing overall building dimensions. Plans may be printed in half-size.

✓ Building elevations (at a minimum scale of one-quarter inch equals one foot) showing vertical dimensions, fenestration, proposed materials and colors, and any existing construction where an addition or modification is proposed. All existing and proposed building materials shall be indicated on the existing building elevations. Plans may be printed in half-size

✓ Color photographs (8.5x11 inches) of the main building located on adjoining property. Color photographs (8.5x11 inches) of all building elevations of existing structures for projects involving remodeling or additions.