

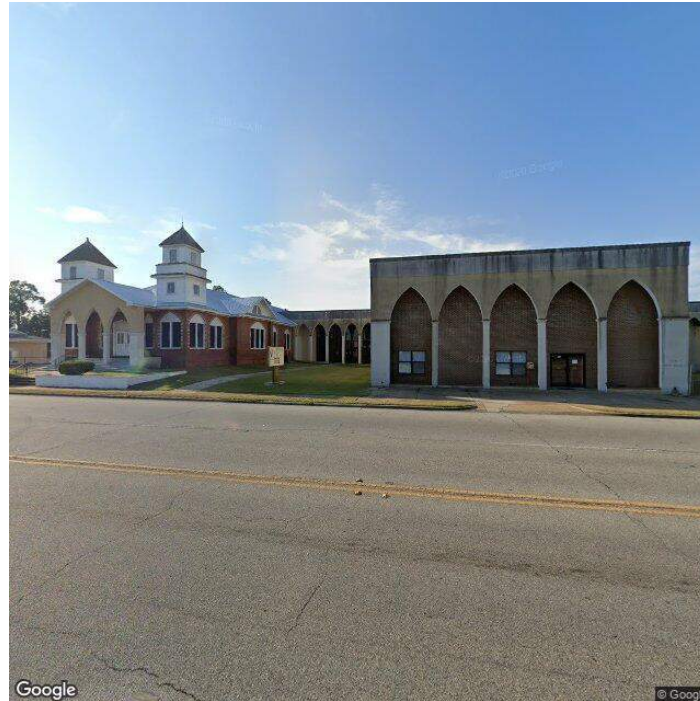


SENTRY HOME INSPECTIONS, LLC

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COMMERCIAL PROPERTY INSPECTION

714 W Broad Ave
Albany, GA 31701

King Randall
FEBRUARY 3, 2022



Inspector

Clyde "Sonny" Slate

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InterNACHI, ICA Certified Professional Inspector

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Standard of Practice

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1: INSPECTION INFORMATION

Information

In Attendance

Inspector, Client(s), Contract
Inspector

Occupancy

Vacant

Type of Building

Commercial Building, Church

Construction Year (From Online Sources)

1930

Inspection Type

Basic Commercial Core Only

Weather Conditions

Clear

Temperature at the Time of Inspection

50-60 Degrees

Precipitation in the Last 48 hrs?

No

Ground Condition

Dry

Structure Orientation

For the sake of this inspection the front of the structure will be considered as the portion pictured in the cover photo. References to the left or right of the structure should be construed as standing in the front yard, viewing the front of the home.



Important Information / Limitations: Overview

Sentry Home Inspections, LLC strives to perform all inspections in substantial compliance with the Standards of Practice as set forth by InterNACHI. A link to the InterNACHI Standards of Practice is provided here:

https://www.nachi.org/documents2012/InterNACHI_SOP_and_COE-March_2018.pdf

As such, I inspect the readily accessible, visually observable, installed systems and components of the home as designated in these Standards of Practice. When systems or components designated in the Standards of Practice were present but were not inspected, the reason(s) the item was not inspected will be stated. This inspection is neither technically exhaustive or quantitative.

There may be comments made in this report that exceed the required reporting of the InterNACHI Standards of Practice, these comments (if present) were made as a courtesy to give you as much information as possible about the home. Exceeding the Standards of Practice will only happen when I feel I have the experience, knowledge, or evidence to do so. There should be no expectation that the Standards of Practice will be exceeded throughout the inspection, and any comments made that do exceed the standards will be followed by a recommendation for further evaluation and repairs by applicable tradespeople.

This report contains observations of those systems and components that, in my professional judgement, were not functioning properly, significantly deficient, or unsafe. **All items in this report that were designated for repair, replacement, maintenance, or further evaluation should be investigated by qualified tradespeople within the clients contingency period**, to determine a total cost of said repairs and to learn of any additional problems that may be present during these evaluations that were not visible during a "visual only" Home Inspection.

This inspection will not reveal every concern or issue that may be present, but only those significant defects that were accessible and visible at the time of inspection. This inspection can not predict future conditions, or determine if latent or concealed defects are present. The statements made in this report reflect the conditions as existing at the time of inspection only, and expire at the completion of the inspection, as conditions can change. Weather conditions and other changes in conditions may reveal problems that were not present at the time of inspection; including but not limited to: roof leaks, or water infiltration into crawl spaces or basements. This report is only supplemental to the Sellers Disclosure. Refer to the InterNACHI Standards of Practice, and the Inspection agreement regarding the scope and limitations of this inspection.

This inspection is **NOT** intended to be considered as a **GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, regarding the operation, function, or future reliability of the home and its components. AND IT SHOULD NOT BE RELIED ON AS SUCH.** This inspection report should be used alongside the sellers disclosure, pest inspection (WDI) report, and quotes and advice from the tradespeople recommended in this report to gain a better understanding of the condition of the home. Some risk is always involved when purchasing a property and unexpected repairs should be anticipated, as this is unfortunately, a part of home ownership. Home Warranties are **highly recommended** as they may cover future repairs on major items and components of the home. If a warranty is not being provided by the seller(s), your Realtor or inspector can advise you of companies who offer them.

Important Information / Limitations: Notice to Third Parties

Notice to Third Parties: This report is the property of Sentry Home Inspections, LLC and is **Copyrighted as of 2019**. The Client(s) and their Direct Real Estate Representative named herein have been named as licensee(s) of this document. This document is **non-transferrable, in whole or in part, to any and all third-parties, including; subsequent buyers, sellers, and listing agents.** Copying and pasting deficiencies to prepare the repair request is permitted. **THE INFORMATION IN THIS REPORT SHALL NOT BE RELIED UPON BY ANY ONE OTHER THAN THE CLIENT NAMED HEREIN.** This report is governed by an Inspection agreement that contained the scope of the inspection, including limitations, exclusions, and conditions of the copyright. Unauthorized recipients are advised to contact a qualified Home Inspector of their choosing to provide them with their own Inspection and Report.

Important Information / Limitations: Items Not Inspected and Other Limitations

ITEMS NOT INSPECTED - There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structures (unless specifically agreed, requested as an Ancillary Service and specified in the inspection agreement as an add on service) refrigerators, washers / dryers, storm doors and storm windows, screens, window AC units, gas furnace heat exchangers, central vacuum systems, water softeners, alarm and intercom systems, and any item that is not a permanent attached component of the home. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. I don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components/appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; The insurability of the structure or any of its items or components, Any component or system that was not observed; Calculate the strength, adequacy, design, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

Lastly a home inspection does not address environmental concerns such as, but not limited to: Asbestos, lead, lead based paint, radon, mold, wood destroying insects or organisms (termites, etc), cockroaches, rodents, pesticides, fungus, treated lumber, Chinese drywall, mercury, or carbon monoxide (unless such ancillary inspections are specified/purchased and would be supplemented by an additional agreement/addendum to the inspection agreement)

Important Information / Limitations: Recommended Contractors Information

CONTRACTORS / FURTHER EVALUATION: It is recommended that qualified and/or licensed professionals be used for repair issues as it relates to the comments in this report, and copies of receipts are kept for warranty purposes. The use of the term "Qualified Person" in this report relates to an individual, company, or contractor whom is either licensed, certified or experienced in the field of concern. If I recommend evaluation or repairs by contractors or other licensed professionals, it is possible that they will discover additional problems since they will be invasive with their evaluation and repairs. Any listed items in this report concerning areas reserved for such experts should not be construed as a detailed, comprehensive, and/or exhaustive list of problems, or areas of concern.

CAUSES of DAMAGE / METHODS OF REPAIR: Any suggested causes of damage or defects, and methods of repair mentioned in this report are considered a professional courtesy to assist you in better understanding the condition of the home, and in my opinion only from the standpoint of a visual inspection, and should not be wholly relied upon. Contractors or other licensed professionals will have the final determination on the causes of damage/deficiencies, and the best methods of repairs, due to being invasive with their evaluation. Their evaluation will supersede the information found in this report.

Important Information / Limitations: Thermal Imaging Information

THERMAL IMAGING: An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional "Advanced" services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to me schedule this service.

Important Information / Limitations: Other Notes - Important Info

INACCESSIBLE AREAS: In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. I can make no representations regarding conditions that may be present in these areas that were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in these areas.

QUALITATIVE vs QUANTITATIVE - A home inspection is not quantitative, when multiple or similar parts of a system, item, or component are found to have a deficiency, the deficiency will be noted in a qualitative manner such as "multiple present" etc. A quantitative number of deficient parts, pieces, or items will not be given as the repairing contractor will need to evaluate and ascertain the full amount or extent of the deficiency or damage. **This is not a technically exhaustive inspection.**

REPAIRS VERSUS UPGRADES - I inspect homes to today's safety and building standards. Therefore some recommendations made in this report may have not been required when the home was constructed. Building standards change and are improved for the safety and benefit of the occupants of the home and any repairs and/or upgrades mentioned should be considered for safety, performance, and the longevity of the homes items and components. Although, I will address some recommended upgrades in the report, this should not be construed as a full listing of items that could potentially be upgraded. To learn of **ALL** the ways the home could be brought up to today's building and safety standards, full and exhaustive evaluations should be conducted by qualified tradespeople.

COMPONENT LIFE EXPECTANCY - Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector. A life expectancy chart can be viewed by visiting:

<https://d3i80q92llbc1d.cloudfront.net/wp-content/uploads/sites/14/2020/01/07204656/IO-LifeExpectancyChart-2.pdf>

PHOTOGRAPHS: Several photos are included in your inspection report. These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

TYPOGRAPHICAL ERRORS: This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact me for clarification.

Please acknowledge to me once you have completed reading this report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.

Important Information / Limitations: Comment Key - Definitions

This report divides deficiencies into three categories; Significant/Major Defects (**in red**), Marginal Defects (**in orange**), and Minor Defects/Maintenance Items/FYI (**colored in blue**). Safety Hazards or Concerns will be listed in the **Red** or **Orange** categories depending on their perceived danger, but should always be addressed ASAP.

Items or components that may require a major expense to correct. Items categorized in this manner require further evaluation and **repairs or replacement as needed by a Qualified Contractor prior to the end of your contingency**



period.



Items or components that were found to include a deficiency. These items may have been functional at the time of inspection, but this functionality may be impaired, not ideal, or the defect may lead to further problems (most defects will fall into this categorization). **Repairs or replacement is recommended to items categorized in this manner for optimal performance and/or to avoid future problems or adverse conditions that may occur due to the defect, prior to the end of your contingency period.** Items categorized in this manner typically require repairs from a **Handyman** or **Qualified Contractor** and are **not** considered routine maintenance or DIY repairs.



This categorization will include items or components that may need minor repairs which may improve their functionality, and/or found to be in need of recurring or basic general maintenance. This categorization will also include **FYI** items that could include observations, important

information, recommended upgrades to items, areas, or components, as well as **items that were nearing, at, or past the end of their typical service life, but were in the opinion of the inspector, still functional at the time of inspection.** Major repairs or replacement should be anticipated, and planned for, on any items that are designated as being past, or at the end of their typical life. These repairs or replacement costs can sometimes represent a major expense; i.e. HVAC systems, Water Heaters, Plumbing pipes, etc.

These categorizations are in my professional judgement and based on what I observed at the time of inspection. This categorization should not be construed as to mean that items designated as "Minor defects" or "Marginal Defects" do not need repairs or replacement. The recommendations in each comment is more important than its categorization. Due to your perception, opinions, or personal experience you may feel defects belong in a different category, and you should feel free to consider the importance you believe they hold during your purchasing decision. Once again it's the "Recommendations" in the text of the comment pertaining to each defect that is paramount, not its categorical placement.

2: GROUNDS

Information

Driveway and Walkway Condition: Driveway Material Asphalt



Driveway and Walkway Condition: Walkway Material Concrete



Grading / Lot Drainage: Grading/Drainage Conditions
Positive Grading (slopes away from structure)



Front of Structure



Front of Structure



Front of Structure



Front of Structure



Front of Structure



Rear of Structure In



Left Side of Structure



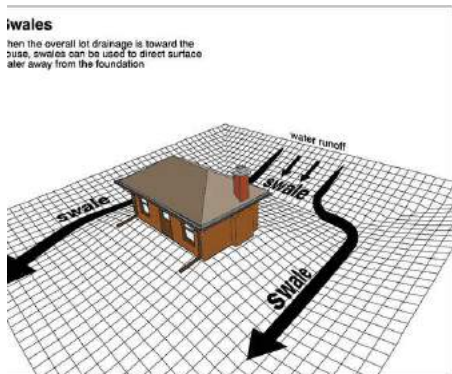
Rear of Structure



Right Side of Structure

Grading / Lot Drainage: Grading / Drainage Overview

The grounds in contact with the home were inspected to determine that they were graded in a manner to allow rainwater to adequately drain away from the structure. The soil is recommended to slope away from the home, with a 6 inch drop in elevation, in the first 10 feet away from the structure (5% grade). When the 5% grade can not be achieved, swales or drains should be used as needed to properly divert rainwater runoff. Any flat or low areas around the home should be backfilled and sloped away from the foundation, to prevent potential moisture infiltration into areas below grade (if applicable). No significant grading deficiencies were observed at the time of inspection unless otherwise noted in this report.



Grading / Lot Drainage: Grading Limitations

The performance of the grading and lot drainage is limited to the conditions existing at the time of the inspection only. I cannot guarantee this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs, therefore, is limited to the visible conditions at the time of inspection, and evidence of past problems. I recommend consulting with the sellers as to any previous moisture intrusion into the home.

Vegetation Observations: Vegetation Information

Vegetation was inspected around the home to ensure that it had adequate clearance from the structure, and was not impacting the structure. No deficiencies were observed unless otherwise noted in this report.

Stairs: Stairs Information

The stairs were inspected by looking at their construction, attachment, risers and treads, applicable railings, etc. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Guardrails, Stair Rails, & Handrails: Railing Information

The guardrails, stair rails, and handrails were inspected for their presence, proper sizing and spacing, looking for damage and securement, and other significant deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Porch / Deck Roof Condition: Porch/Deck Roof Information

Visible portions of porch/deck roofs were inspected looking for any significant defects, leaks, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

Sunroom / Screened-In Area: Sunroom/Screened in Room Information

The sunroom or screened in deck/porch was inspected at visible portions looking for significant deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Patio: Patio Information

The patio area was inspected looking for significant defects. No significant deficiencies were present at the time of inspection unless otherwise noted in this report.

Carport Area: Carport Information

The carport area was inspected by examining the concrete slab or asphalt, and the roof and it's related support looking for any significant deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Gas Meter/LP Tank Information: Fuel Source

Gas Meter



Left Side of Structure



Rear of Structure

Exterior Spigots: Spigot(s) Information

The spigots were inspected by testing their operation (if weather permitted), looking for leaks, their attachment to the home, presence of anti-siphon, etc. No deficiencies were observed unless otherwise noted in this report.



Retaining Wall: Retaining Wall Information

Retaining walls are inspected in respect to their effect on the structure of the home. The structural integrity or load bearing capacities of retaining walls are beyond the scope of a home inspection. No deficiencies were observed in the walls relation to the home unless otherwise noted in this report.

Fence: Fences Not Inspected

FYI - A fence was present at the home. Fences and gates are not inspected per the standards of practice, and the fence's condition is excluded from this inspection. Any comments made in relation to the fence should be viewed as a courtesy, and not be construed as an all-inclusive listing of deficiencies present.



Recommendations

2.1.1 Driveway and Walkway Condition

 Marginal Defect

MODERATE CRACKING - CONCRETE

Moderate settlement cracks were present on the concrete surface. If a concern, have a concrete contractor to evaluate for repair. At a minimum these cracks are recommended to be sealed by a qualified person to prevent further damage from freezing water in winter months.

Recommendation

Contact a qualified concrete contractor.



2.1.2 Driveway and Walkway Condition

 Marginal Defect

CRACKING AND/OR DAMAGE TO ASPHALT

There was some degree of cracking and/or damage present to the driveway asphalt surface. If a concern, have an asphalt paving company or other qualified person to evaluate for repair.

Recommendation

Contact a qualified driveway contractor.



2.3.1 Vegetation Observations

VEGETATION IN CONTACT WITH STRUCTURE

EXTERIOR - RIGHT HAND SIDE OF STRUCTURE

There was vegetation in contact with the structure in areas. Pruning or removal of any plants (especially vines) that are in contact with the structure is recommended to be conducted by a qualified person to eliminate pathways of wood destroying insects, prevent moisture retention, prevent cladding deterioration and to adequately dry behind these areas after rainfall events.

Recommendation

Contact a qualified landscaping contractor

 Marginal Defect



Right Side of Structure

2.6.1 Stairs

DAMAGE TO CONCRETE STEPS OR STAIRWELL

MAIN FRONT ENTRY STEPS

There was damage presence to the concrete stairwell of the main front entrance. There was also evidence of past repairs to the stairwell. Recommend evaluation and needed repairs by a qualified individual.

Recommendation

Contact a qualified professional.

 Marginal Defect



2.7.1 Guardrails, Stair Rails, & Handrails

HEAVY RUST PRESENT ON METAL HANDRAIL

There was heavy rust present on the metal exterior front step handrail. I recommend removal of the rust and painting with a high moisture resistant paint such as enamel RUSTOLEUM for both safety and preservation purposes.

Recommendation

Contact a qualified handyman.

 Marginal Defect



Rear of Structure

3: ROOF

Information

General Info: Inspection Method

Walked the Roof, Aerial Drone, Extendable Camera

Roof Covering Material

Metal Roof Panels, Composite Asphalt Roll Roofing, Built-up Roofing

General Info: Roof Views

Conventional Pitched A Framed Metal Panel Roof - Flat Built Up Roof - Flat Commercial Composition Roof









General Info: Roof Limitations

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.





General Info: Inspected by Drone

An aerial drone was used for the roof evaluation. It is understood that this method of inspection is not as thorough as if I was actually able to walk the roof surface, and is considered a limited inspection. Any comments made in this report relating to the roof covering, roof protrusions, gutters, chimneys, etc. are limited to the visible perspective of the drone. If a more thorough inspection is desired I recommend consulting a roofing contractor.



General Info: Walked Where Possible

The roof surface was walked where possible, but not all areas could be physically walked due to the height or pitch of the roof. The areas not able to be walked were examined from the ground, a drone, or a ladder. This should be considered a limited inspection of the roof due to all areas not being able to be walked. If a more thorough inspection is needed I recommend consulting a roofing contractor.

Metal Roof Panels Information

The metal roof panels showed signs of being buckled or loose. Recommend having a roofing contractor to evaluate the panels for repainting or replacement as needed.

Vents / Protrusions: Roof Protrusion Type(s)

Gable Vents, Plumbing Stack Vent(s)



Vents / Protrusions: Roof Protrusions Information

The plumbing stack vents, their related rain boots, and other roof penetrations were inspected by looking at their clearance, the integrity of their boots, for proper installation, or any significant defects. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Roof Flashings: Flashing Information

Visible portions of the flashings were inspected looking for installation related deficiencies or damage (drip edge, sidewall, headwall, counter, etc - if applicable). Typically most areas of flashings are not visible as they are covered by the roof covering material, and therefore functionality has to be determined by looking for moisture intrusion on the sheathing in the attic, or ceilings where the flashing was presumed to be in place. No deficiencies were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

Chimney: Chimney Information

The chimney(s) were inspected looking for an adequate and functioning chimney crown, the condition of the masonry and flashings, the condition of visible portions of the flue liner(s), etc. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Gutters / Downspouts: Gutters Information

The gutters were inspected looking for proper securement, debris in the channel, standing water, damage, etc. Leaking gutters can not be diagnosed if an active rain was not occurring at the time of inspection, and if leaks are noticed after taking ownership of the home, sealing or repairs may be needed at seams or endcaps. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Gutters / Downspouts: Downspouts Information

The downspouts were inspected to ensure they were diverting rainwater away from the foundation walls. Testing for blockages in downspouts or drainpipes is beyond the scope of a home inspection, as is locating their termination point. No deficiencies were present at visible portions at the time of inspection, unless otherwise noted in this report.

Gutters / Downspouts: Recommend Maintaining Gutters

It is recommended to periodically clean debris from the guttering channels to prevent downspouts from clogging. Clogs in downspouts can allow the gutters to overflow; damaging roof sheathing, fascia boards, and saturating grounds at the foundation.

Limitations

Roof Covering Material

COMMERCIAL BUR TYPE FLAT ROOF

Commercial BUR (Built-Up Roofing) System

A traditional built-up roofing (BUR) system derives its name from the method used to build up a roof surface at the time of installation. Typically, such a roof uses a layering process of the base sheet, interply sheets, and cap sheet or other surfacing such as gravel or liquid coating.

Recommendations

3.1.1 General Info

FLAT ROOF AREA SHOWS SIGNS OF WEAR, LEAKING AND WAVING

 Marginal Defect

EXTERIOR ROOF

The flat roof area appeared to have areas of repair and sealant as well as wavy areas. I recommend a roof consult with a qualified roof contractor with repairs/replacement as needed.

Recommendation

Contact a qualified professional.



3.1.2 General Info

ROOFING CONSULT

EXTERIOR ROOF

There was significant wear, waving and damage present to the flat roof at the time of inspection. Recommend full roofing evaluation by qualified roofing contractor.

Recommendation

Contact a qualified professional.



3.1.3 General Info

WATER DAMAGE TO STEEPLES

EXTERIOR ROOF

There was evidence of significant wear, weathering and water damage to the shingles, framing and wooden components of the structures steeples at the time of inspection. Recommend full evaluation by qualified roofing contractor for all needed repairs and replacements.

Recommendation

Contact a qualified professional.



3.2.1 Roof Surface Condition

FULL ROOFING EVALUATION RECOMMENDED



EXTERIOR ROOFS

Due to the referenced roof conditions, a full evaluation of the roof structure is recommended by a roofing contractor with repairs or replacement made as needed.

Recommendation

Contact a qualified roofing professional.



3.2.2 Roof Surface Condition

LOOSE METAL ROOF PANELS

METAL PANEL ROOF AREA

There appeared to be raised or loose metal roof panels at the time of inspection. Recommend evaluation with any needed repairs by a qualified roofer.

Recommendation

Contact a qualified professional.

 Marginal Defect



3.3.1 Vents / Protrusions

HEAVY SEALANT PRESENT ON ROOF VENTS

EXTERIOR ROOF

There appeared to be heavy use of sealant around roofing vents at the time of inspection. Recommend evaluation and repairs/replacements by a qualified roofer.

Recommendation

Contact a qualified professional.

 Marginal Defect



3.3.2 Vents / Protrusions

HEAVY USE OF SEALANT ON PLUMBING STACK VENTS

EXTERIOR ROOF

There appeared to be heavy use of sealant around plumbing stack vents at the time of inspection. Recommend evaluation and repairs/replacements by a qualified roofer.

Recommendation

Contact a qualified professional.

 Marginal Defect

3.7.1 Gutters / Downspouts

 Marginal Defect

DAMAGED DOWNSPOUT

Damaged downspout(s) were present. Replacement or repairs as needed is recommended by a qualified person.

Recommendation

Contact a qualified gutter contractor



3.7.2 Gutters / Downspouts

 Marginal Defect

MISSING DOWNSPOUTS

EXTERIOR

There were missing downspouts at the time of inspection. Missing downspouts encourage water/moisture intrusion into the exterior cladding and foundation areas. Recommend replacement by a qualified guttering contractor.

Recommendation

Contact a qualified professional.



3.7.3 Gutters / Downspouts

 Marginal Defect

MISSING GUTTERS

EXTERIOR ROOF

There were missing guttering at the time of inspection. Missing guttering encourages water/moisture intrusion into the exterior cladding and foundation areas. Recommend replacement by a qualified guttering contractor.

Recommendation

Contact a qualified professional.



4: EXTERIOR

Information

Walls / Cladding: Wall Crack(s)

Present?

Yes

Overhangs / Soffit / Fascia: Soffit

& Fascia Material

Wood Overhang



General Info: Representative Number Inspected

The Standards of Practice states that a representative sample of exterior components shall be inspected on each side of the structure when multiple pieces make up an item or component (i.e. cladding, windows, overhangs, etc.). I try to ensure that all portions are inspected but height from the ground, vegetation, or other factors may prevent full accessibility or visibility of some items.

General Info: Probing of Wood

The Standards of Practice requires any areas of wooden trim, siding, or other wood components to be probed if water damage (wood rot) was suspected. Any photos of a screwdriver stuck into wood represents water damage/wood rot to some extent. **Hidden damage is always a possibility at these areas.** These areas of damage will require further evaluation to determine the extent of the damage, along with repairs made as deemed necessary by a qualified contractor.

Walls / Cladding: Siding Material

Structural Brick, CMU Blocks, Composite Like Stucco





Walls / Cladding: Wall and Cladding Information

The walls and wall cladding were inspected looking for significant damage, presence of proper flashings, and potential water entry points, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Window Exteriors: Windows Information

The exterior components of the windows (trim, flashing, etc.) were inspected looking for damage, lack of proper flashing, clearance from grade, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.



Front



Front Middle







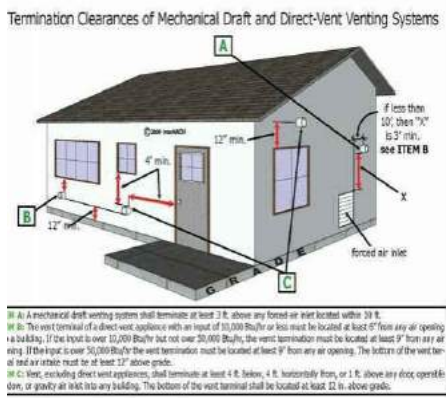


Overhangs / Soffit / Fascia: Soffit / Fascia Information

The soffit and fascia was inspected at visible portions looking for any water damage or other significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Gas Sidewall Vent(s) : Sidewall Vent(s) Clearance Information

All gas sidewall vents were inspected to ensure they had proper clearances from air inlets and/or combustibles. No deficiencies were present at the time of inspection unless otherwise noted in this report.



Exterior Doors: Door Material(s)

Steel, Aluminum Commercial Door, Wood



Middle Front Door



Front Side



Front Middle



Main Entry Doors



Rear of Structure



Left Side of Home



Left Side of Structure



Left Side of Structure



Rear of Structure



Rear of Structure



Rear of Structure



Rear of Structure Bathrooms

Exterior Doors: Doors Information

All exterior doors were inspected by looking for damage, lack of proper flashing, deficiencies with their operation, etc. No reportable deficiencies were present at the time of inspection unless otherwise noted in this report.

Exterior Doors: Handleset Information

Handlesets (deadbolts & door handles) are not inspected for their functionality with keys, as replacement or re-keying of any deadbolts and handles is recommended due to not knowing who may possess keys to the home. Therefore deadbolts and handles will be reported on with respect to the misalignment of the door only, preventing them from latching or locking properly.

Recommendations

4.2.1 Walls / Cladding

 Marginal Defect**DAMAGE TO BRICK EXTERIOR**

There was a large area on the brick exterior cladding that was damaged. Recommend repairs/replacement by a qualified brick mason.

Recommendation

Contact a qualified professional.



4.2.2 Walls / Cladding

 Marginal Defect

WATER/MOISTURE INTRUSION DAMAGE TO EXTERIOR CLADDING

EXTERIOR CLADDING

There were signs of water or moisture intrusion damage to areas of the exterior cladding at the time of inspection. Recommend evaluation by a qualified sparce coat or composition stucco professional with any needed repairs/replacements as necessary.

Recommendation

Contact a qualified professional.





Front Side



4.2.3 Walls / Cladding



Minor Defect, Maintenance Item, or FYI Item

**PREVIOUS
REPAIRS TO EXTERIOR CLADDING**

Recommendation

Contact a qualified professional.



Rear of Structure

4.2.4 Walls / Cladding

 Marginal Defect

CRACKING DUE TO NORMAL SETTLEMENT

EXTERIOR BRICK CLADDING

There was cracking evident to the exterior brick cladding at the time of inspection that appeared to be within the range of normal settlement. Recommend having the crack sealed by a qualified individual.

Recommendation

Contact a qualified professional.



4.2.5 Walls / Cladding

 Marginal Defect**CRACKING WITH SOME DISPLACEMENT PRESENT**

EXTERIOR BRICK CLADDING

There was cracking to the exterior brick cladding with some degree of displacement at the time of inspection. Recommend repairs by a qualified brick mason or contractor.

Recommendation

Contact a qualified professional.



4.2.6 Walls / Cladding

 Marginal Defect

MOTAR DETERATION PRESENT

EXTERIOR BRICK CLADDING

There was evidence of mortar breakdown and displacement to the exterior brick cladding at the time of inspection. Recommend repointing and repairs by a qualified brick mason.

Recommendation

Contact a qualified professional.



4.3.1 Window Exteriors

WATER DAMAGE TO WOOD



There were windows with water damage present to the exterior trim, sills, and/or sash. An evaluation of the windows with repairs or replacement made as needed is recommended to be conducted by an window or general contractor.

Recommendation

Contact a qualified window repair/installation contractor.





4.3.2 Window Exteriors

 Marginal Defect

WINDOW SEAL COMPROMISED

INTERIOR WINDOWS

There were double paned windows present that showed signs of having damaged seals as evidence of moisture was present in-between the glass panes. Recommend replacement of these windows by a qualified window contractor.

Recommendation

Contact a qualified professional.



Upstairs Hallway



Upstairs Hallway



Upstairs Classroom



Upstairs Over Gym



Upstairs Over Gym



Upstairs Over Gym



4.3.3 Window Exteriors

 Marginal Defect

DAMAGED AND WEATHERED WINDOW FRAMING

EXTERIOR WINDOWS

There was heavy weathering and water damage to the wooden framing around the exterior windows at the time of inspection. Recommend repairs/replacements as needed by a qualified individual.

Recommendation

Contact a qualified professional.



4.3.4 Window Exteriors

 Marginal Defect

CRACKED/WEATHERED/MISSING CAULKING

There was cracked, flaking or missing sealant around the window edges where the windows are seated into the brick at the time of inspection. I recommend removal of old sealant and resealing around all exterior windows by a qualified individual.

Recommendation

Contact a qualified professional.



4.3.5 Window Exteriors

 Marginal Defect

**WEATHERING TO WINDOWS/
FRAMES/ENCASEMENT**

There was significant weathering and likely water damage to the exterior upper wooden windows at the time of inspection. Recommend evaluation of all upper windows with repairs/replacements as needed by a qualified individual.

Recommendation

Contact a qualified professional.



4.3.6 Window Exteriors

WINDOW MISSING

EXTERIOR ROOF STEEPLE

Repairs and replacement recommended by a qualified individual.

Recommendation

Contact a qualified professional.

 Marginal Defect



4.5.1 Overhangs / Soffit / Fascia

WEATHERED WOOD PRESENT

Weathered wood was present on the overhangs in areas at the time of inspection. Evaluation and repainting as needed by a qualified individual is recommended to prevent water/moisture intrusion.

Recommendation

Contact a qualified painting contractor.

 Marginal Defect



4.5.2 Overhangs / Soffit / Fascia

FLAKING PAINT

Flaking/peeling paint was present in areas on the wood overhangs. Scraping, replacement of any weathered/damaged wood, and repainting these areas as needed is recommended to prevent moisture related damage.

Recommendation

Contact a qualified painting contractor.

— Marginal Defect



Rear Entry Ceiling

4.8.1 Exterior Doors

 Marginal Defect

RUST ON STEEL DOOR

Rust was present on the steel door. Repairs or replacement of the slab is recommended as needed by a qualified person.

Recommendation

Contact a qualified professional.



Front Side



Front Side



Front Side



Rear Entryways Door



Rear of Structure



Rear of Structure



2nd Floor Exterior Door

5: KITCHEN

Information

General Info: Kitchen View



Cafeteria KitchenArea



Left Hallway Kitchen

Cabinets, Countertops: Countertop/Cabinets Information

The cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.



Middle Conference Room



Left Hallway Kitchen

Sink(s): Kitchen Sink Information

The kitchen sink was inspected by operating the faucet valves and faucet looking for any leaks or signs of significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Middle Conference Room Sink



Cafeteria Sinks



Left Hallway Kitchen

Spray Wand: Spray Wand Information

The spray wand, whether standalone or attached to the faucet, was operated looking for proper flow and to ensure no leaks were present. No deficiencies were present at the time of inspection unless otherwise noted in this report.



Middle Conference Room Sink

Undersink Plumbing - Kitchen: Plumbing Information

The supply and drain pipes were inspected looking for leaks, improper installation, and other deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Middle Conference Room Sink



Left Hallway Kitchen



Left Hallway Kitchen

Disposal Unit: Disposal Information

The garbage disposal was inspected by activating it at normal controls and ensuring the motor ran, while also looking for leaks from the unit, an exposed power cord, heavy rust, or other deficiencies. The unit is not tested to determine if it can effectively "grind" food waste. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Dishwasher : Dishwasher Information

The dishwasher was operated by running a wash cycle, and was functional at the time of inspection. No leaks or water was present at the base of the unit at the completion of the cycle. The unit's efficiency of cleaning dishes is not tested for. No deficiencies were observed with the unit unless otherwise noted in this report.

Oven/Range: Heating Elements Information

All of the heating elements on the range were turned to "High", and were functional at the time of inspection. No indications of deficiencies were observed unless otherwise noted in this report.

Oven/Range: Oven Information

The oven was operated by placing into "Bake" mode, and heat was produced from the element(s). Temperature calibration, "clean" options, and other functions are not tested for. You are recommended to seek further evaluation of additional functions if desired/needed. No indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

Exhaust Fan: Fan Type

Commercial Grade Fire Suppression



Cafeteria



Left Side Hallway Kitchen

Exhaust Fan: Exhaust Fan Information

The kitchen exhaust fan was inspected by operating normal controls, checking for proper operation. The fan's type (recirculating or exterior) will also be reported on. No deficiencies were observed at the time of inspection if not otherwise noted in this report.

Microwave: Microwave Information

The microwave was tested by running on "Cook" mode for 30 seconds, and was functional at the time of inspection. The efficiency of the unit or other functions are not tested for. No reportable conditions were present unless otherwise noted in this report.

Island: Kitchen Island Information

The kitchen island was inspected looking for any significant deficiencies. No reportable conditions were present unless otherwise noted in this report.

Trash Compactor: Trash Compactor Information

The trash compactor was tested by operating normal controls. The units ability to properly compact trash is not tested for as no trash was present in the unit at the time of inspection. No deficiencies were observed unless otherwise noted in this report.

Refrigerator: Refrigerators Not Inspected

Refrigerators are not included in a Home Inspection as they are considered transient, "unattached" items. They are also not moved to look at the condition of the floor under them, or the cabinetry around them. Therefore their water line and power receptacle are not visible and excluded from this inspection. If the refrigerator is a concern, I recommend having it evaluated by an appliance repair company or other qualified person prior to closing. As a client curtesy we will check to see if it is cool inside.

Recommendations

5.2.1 Cabinets, Countertops

 Marginal Defect**SIGNIFICANT DAMAGE TO CABINETS AND COUNTERTOP**

There was damage present to the kitchen cabinets in Unit A at the time of inspection. Repairs are recommended by a qualified person.

Recommendation

Contact a qualified professional.



Cafeteria

5.3.1 Sink(s)

 Marginal Defect**LEAK AT FAUCET BASE**

A leak was present from the base of the faucet. Repairs are recommended as needed by a licensed plumber or other qualified person to rectify the leak.

Recommendation

Contact a qualified plumbing contractor.



Left Hallway Kitchen

5.3.2 Sink(s)

NO HOT WATER TO CAFETERIA SINKS Marginal Defect

CAFETERIA

There was no hot water produced for the cafeteria sinks at the time of inspection. Recommend evaluation and repairs by a licensed plumber.

Recommendation

Contact a qualified professional.



Cafeteria Sinks

5.4.1 Spray Wand

SPRAY AND ANCHOR LOOSE Marginal Defect

KITCHEN SINK

The spray wand retainer ring was loose at the time of inspection. Recommend repairs by a qualified individual.

Recommendation

Contact a qualified professional.



5.10.1 Exhaust Fan

COMMERCIAL GRADE FIRE SUPPRESSION HOOD

SMALL KITCHEN AREA DOWNSTAIRS

There was a commercial kitchen hood present in the downstairs kitchen area. This must be inspected by a qualified licensed suppression hood fire retardant system technician.

Recommendation

Contact a qualified professional.



Cafeteria Hood Not Inspected

6: BATHROOM(S)

Information

General Info: Bathroom View(s)



Middle Conference Half Bath



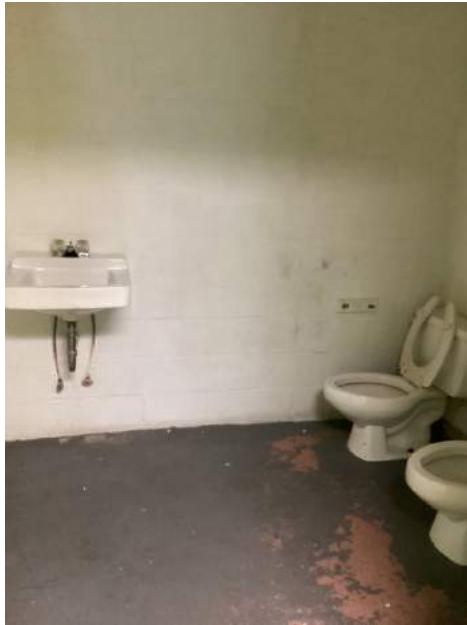
Left Side Mens Bathroom



Left Side Womens Bathroom



Upstairs Office Bathroom



Downstairs Children's Bathroom



Downstairs Classroom



Downstairs Classroom



Downstairs Kitchen Bathroom



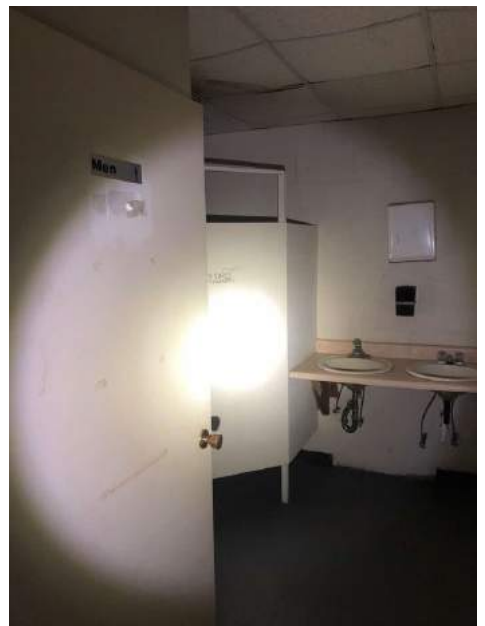
Upstairs Men's Bathroom



Downstairs Women's Bathroom



Upstairs Men's Shower



Downstairs Men's Bathroom

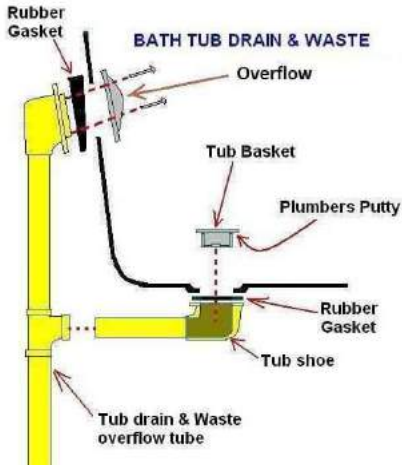
General Info: Tub and Shower Drain Information

Water was ran through the drains of tubs and showers for an extended period of time, and the areas under these drains (if applicable) were then inspected with thermal imaging looking for indications of leaks. No leaks were observed at the time of inspection unless otherwise noted in this report.

What I can't replicate is the affects of weight applied to these drains. When showering or bathing the forces from weight can put strain on gaskets or joints on the drain pipes that can possibly result in leaking, this can be even more likely if the home has been vacant for an extended period of time. Therefore any leaks that occur from these areas after the time of inspection are excluded.

General Info: Tub and Sink Overflow Limitations

Tub and sink overflows are not tested for functionality due to the very high likelihood the gaskets will leak. Care should be exercised in filling tubs to not allow water into the overflow. While they will likely drain away the bulk of water, some amount of leaking should be anticipated. As an improvement, a licensed plumber could check the gaskets and make repairs deemed necessary. Again, it should be assumed these overflows will not be water tight.



Cabinets, Countertops: Cabinet & Countertop(s) Information

The cabinets and countertops were inspected by looking for significant defects. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Middle Conference Room Sink



Middle Conference Half Bathroom



Left Side Womens Bathroom

Mirror(s): Mirror Information

The bathroom mirror(s) were inspected looking at their attachment to the wall and for any damage. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Ventilation: Ventilation Information

The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and

listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months. No deficiencies were observed with the ventilation at the time of inspection unless otherwise noted in this report.

Sink(s): Sinks Information

The sink(s) were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Middle Conference Half Bath



Left Side Mens Bathroom



Left Side Womens Bathroom



Upstairs Office Bathroom

Undersink Plumbing - Bathroom: Sink Plumbing Information

The visible portions of the sink plumbing was inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe / trap assembly, water supply lines, and areas underneath of the sink area (ceiling below/basement/crawl space). Other significant defects are also looked for with the plumbing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Middle Conference Half Bath

Shower(s): Showers Information

The shower(s) were inspected by operating the water valve(s) and ensuring proper flow and drainage was present, looking for leaks, and/or any significant defects. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Shower Walls: Shower Walls Information

The shower walls were inspected looking for any significant damage or areas that could allow for water infiltration behind the walls. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Shower Doors / Enclosures: Shower Door / Enclosure Information

The shower enclosure and door was inspected by running water in the shower for a few minutes and looking for visible signs of leaks. Lived in conditions can not be replicated during an inspection and if leaks are noticed after taking possession the door tracks will need to be sealed as needed to rectify any leaking. No reportable conditions were present unless otherwise noted in this report.

Bathtub(s): Bathtub(s) Information

The bathtub(s) were inspected by operating the faucet valves checking for proper flow and drainage and looking for leaks and/or any cracks or damage to the tub itself. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Toilet(s): Toilet(s) Information

The toilets were inspected by flushing them to ensure they were flushing adequately and to determine no leaks were present at the water supply line or tank location. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Left Side Hallway Mens Bathroom



Left Side Hallway Mens Bathroom



Left Side Womens Bathroom

Recommendations

6.5.1 Sink(s)

HINDERED DRAINAGE

The sink had slow or hindered drainage. Repairs are recommended as needed by a licensed plumber or other qualified person for proper drainage.

Recommendation

Contact a qualified plumbing contractor.

 Marginal Defect



Downstairs Kitchen Bathroom

6.5.2 Sink(s)

NO WATER AVAILABLE

MEN'S DOWNSTAIRS BATHROOM

There was No Water available at the time of inspection. Recommend reinspection once water service is restored.

Recommendation

Contact a qualified professional.

 Marginal Defect

Men's Downstairs Bathroom

6.5.3 Sink(s)

LEAK AT FAUCET BASE

The sink faucet had a leak at the base. Repairs are recommended as needed by a licensed plumber or other qualified person to rectify the leak.

Recommendation

Contact a qualified plumbing contractor.

 Significant Defect

Downstairs Classroom Sink

6.5.4 Sink(s)

HOT WATER SUPPLY NOT FUNCTIONAL

LEFT SIDE MEN'S BATHROOM

Hot water supply was not functional at the time of inspection. Evaluation and repairs as needed for proper operation is recommended by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

 Marginal Defect



Left Side Mens Bathroom

6.5.5 Sink(s)

HOT WATER NOT PRODUCED

The water was ran for at least 5 minutes and hot water was not produced at the referenced sink at the time of inspection. Evaluation and repairs made as needed to provide hot water is recommended by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

 Marginal Defect



Middle Conference Half Bath



Upstairs Office Bathroom



Downstairs Classroom

6.5.6 Sink(s)

SIGNIFICANT RUST TO SINKS

LEFT SIDE WOMEN'S BATHROOM

The sink was rusted completely through and was leaking at the time of inspection. Recommend replacement of both sinks in the women's bathroom.

Recommendation

Contact a qualified professional.

 Significant Defect

Left Side Womens Bathroom

6.6.1 Undersink Plumbing - Bathroom

LEAK PRESENT

There was a leak present under the sink. Repairs are recommended to be conducted as needed to rectify any leaks by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

 Marginal Defect

Downstairs Kitchen Bathroom

6.11.1 Toilet(s)

 Marginal Defect**TOILET HANDLE HAS TO BE HELD DOWN**

The toilet handle had to be held down for the toilet to flush properly. The toilet fill valve or stopper chain may need adjustment or replacement to function properly. Repairs are recommended to be conducted as needed by a licensed plumber or other qualified person for proper operation.

Recommendation

Contact a qualified plumbing contractor.



Downstairs Children's Bathroom

6.11.2 Toilet(s)

 Marginal Defect**TOILET(S) NOT FLUSHING**

The toilet was not flushing at the time of inspection. Evaluation and repairs as needed for proper operation is recommended by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



Downstairs Kitchen Bathroom

6.11.3 Toilet(s)

 Marginal Defect**LEAK AT TOILET BASE**

A leak was present from the base of the toilet. Repairs are recommended as needed by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



Left Side Womens Bathroom



Downstairs Women's Bathroom

6.11.4 Toilet(s)

 Marginal Defect

HINDERED FLUSHING

The toilet was not flushing adequately. Repairs are recommended as needed by a licensed plumber for proper operation.

Recommendation

Contact a qualified plumbing contractor.



Downstairs Classroom Bathroom



Downstairs Women's Bathroom

6.11.5 Toilet(s)

 Marginal Defect

MEN'S URINAL MISSING

MEN'S BATHROOM

There was a missing urinal in the men's bathroom at the time of inspection. Recommend replacement by a qualified plumber.

Recommendation

Contact a qualified professional.



6.11.6 Toilet(s)

TOILET NOT FUNCTIONAL

MEN'S BATHROOM

There was dysfunctional toilet in the men's bathroom at the time of inspection. Recommend repairs/replacement as needed by a qualified plumber.

Recommendation

Contact a qualified professional.



Downstairs Women's Bathroom

6.11.7 Toilet(s)

TOILET MISSING

UPSTAIRS OFFICE BATHROOM

The toilet was missing in the bathroom at the time of inspection. Recommend replacement of toilet by a qualified plumber.

Recommendation

Contact a qualified professional.



Upstairs Office Bathroom

7: INTERIOR AREAS

Information

Ceiling Condition: Moisture Stains Present on Ceilings

Yes

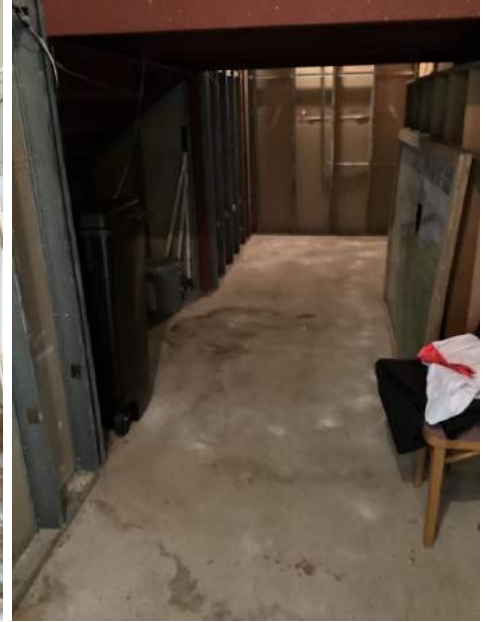
General Info: Room Views



Middle Entry



Middle Stairwell



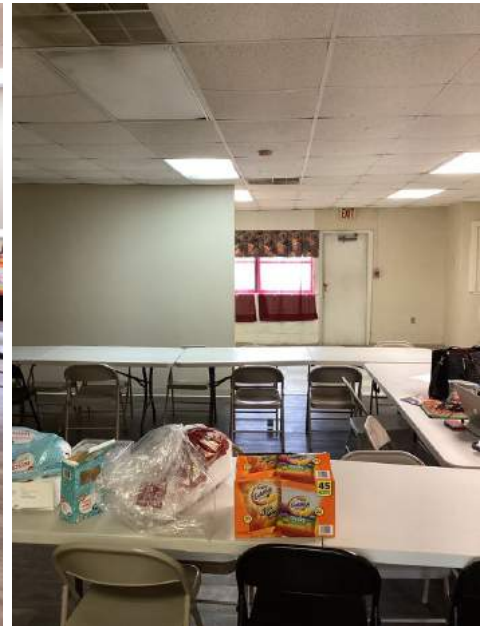
Middle Under Stairs Storage



MiddleEntry



MiddleConference Room



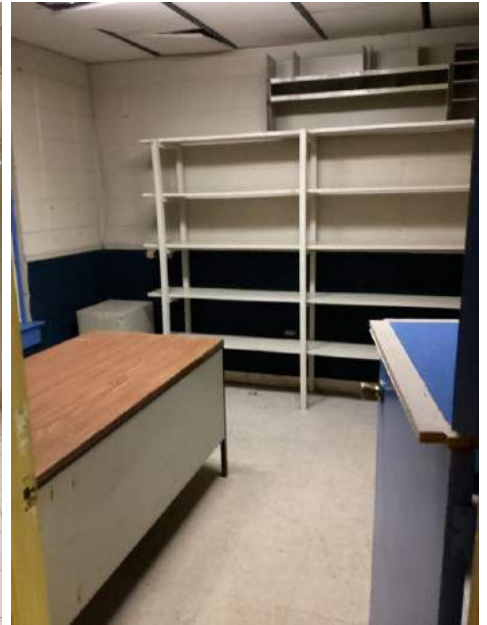
Middle Conference Room



Middle Entry Office



Middle Cafeteria



Laft Hallway Storage Roommates



Left Hallway Office



Middle Entry Left Side Hallway



Middle Entry Left Side Hallway



Laft Hallway Office



Left Hallway Office



Left Hallway Kitchen



Left Side Mens Bathroom



Worship Hall Side Room



Main Worship Entry



Left Hallway Room



Main Worship Hall



Worship Hall Side Room 2



Upstairs Conference Room



Upstairs Conference Room 2



Upstairs Office



Upstairs Classroom



Upstairs Children's Church Room



Upstairs Classroom



Upstairs WorshipHall



Upstairs Office



Gym



Upstairs Classroom



Classroom 215



HVAC



Upstairs Storage



HVAC 2



Classroom 213



Classroom 214



Classroom 216



Classroom 217



Classroom 219



Classroom 218



Classroom 220



Downstairs Classroom



Downstairs Classroom



Downstairs Classroom



Downstairs Classroom



Downstairs Office



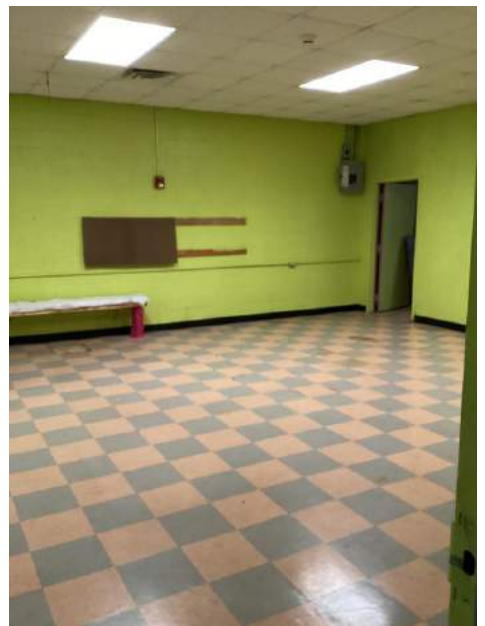
Downstairs Classroom



Downstairs Office



Downstairs Classroom



Downstairs Classroom



Downstairs Rec Area



Downstairs Classroom



Downstairs Classroom



Downstairs Classroom

General Info: Bedroom Locations

Bedrooms are determined by starting with the Master, after walking out of the master bedroom, bedroom 2 will be the first bedroom you come to, bedroom 3 the next, and so on.

Windows: Windows Information

The windows were inspected by operating a representative number (I will try and operate every window in the home, but personal belongings may block accessibility to some). Their operation was tested, along with looking for damage, broken glass, failed seals, etc. No reportable deficiencies were present unless otherwise noted in this report.

Windows: Glass Seal Failure Limitations

Reporting on double pane glass seal failure is not required by the Standards of practice, and lies beyond the scope of a home inspection, as glass may not show signs of seal failure at the time of inspection, but may become visible later due to changes in conditions. Desiccant material in the glass spacer can absorb moisture in between the panes, essentially masking seal failure. Also, changes in weather conditions (high humidity, etc.) may reveal seal failure that was not visible at the time of inspection. Seal failure is where the double pane glass loses its adhesion with the inner spacer, allowing moisture and debris in between the panes of glass. I will report on any insulated glass units that were showing signs of seal failure at the time of inspection, but this should not be relied upon as a complete listing of affected units. If glass seal failure is a concern, you are advised to seek the services of a window or glass repair contractor.

Closets: Closets Information

The closets were inspected by testing the operation of their doors and looking for significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Interior Doors: Interior Doors Information

A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Doorbell: Doorbell Information

The doorbell was tested by depressing the button and listening for a chime. No indications of deficiencies were observed at the time of inspection unless otherwise noted in this report.

Fireplace(s): Fireplace Information

The fireplace was inspected by a visual examination of the firebox, hearth extension, mantle, and by operating the flue damper (if applicable). **An NFPA Level 2 inspection is recommended to be conducted by a chimney sweep during the transfer of ownership of a home, and is highly recommended prior to the end of your inspection contingency period.** This Level 2 inspection is invasive utilizing remote cameras, and can uncover issues not seen during a home inspection, particularly the condition of the flue liner. No significant deficiencies were observed at visual portions unless otherwise noted in this report.

Stairs, Handrails, & Guardrails: Stairs Information

The stairs were inspected by evaluating the risers and treads, applicable railings, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

Surfaces - Overall: Surfaces Information

Visible portions of the interior wall, floor, and ceiling surfaces were inspected looking for indications of moisture intrusion, settlement, or other significant defects. Cosmetic and minor deficiencies are not typically reported on, but may be noted while looking for significant defects, any listing of these items should not be construed as an all-inclusive listing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Wall Condition: Walls Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Ceiling Condition: Ceilings Information

The ceilings throughout the home were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Ceiling Condition: Moisture Stains Information

The ceilings throughout the home were inspected looking for moisture stains from roof leaks, plumbing leaks, or other sources. No moisture stains were present on the ceilings at the time of inspection unless otherwise noted in this report.

Floor Condition: Floors Information

Visible portions of the floors throughout the home were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Recommendations

7.1.1 General Info

AREAS OF INCOMPLETE CONSTRUCTION/REMODELING

CLASSROOMS

The referenced area(s) where in some state of incomplete construction/remodeling. This could include incomplete drywall, floor coverings, electrical, etc. I recommend obtaining "finishing" quotes from applicable, qualified tradespeople to ascertain a true cost to complete these area(s).

Recommendation

Contact a qualified professional.

 Marginal Defect



7.4.1 Interior Doors

BINDING DOOR(S) PRESENT

There were door(s) that were binding / rubbing on an adjacent surface. Adjustments or modifications are recommended to be conducted by a qualified person as needed for proper operation.

Recommendation

Contact a qualified handyman.

 Marginal Defect



Middle Entry Closet



Upper Baptism Hallway

7.4.2 Interior Doors

DOOR DAMAGED Marginal Defect

The referenced door(s) contained some degree of damage. Repairs or replacement of the doors as needed is recommended by a qualified person.

Recommendation

Contact a qualified handyman.



Middle Closet



Upstairs HVAC Room

7.4.3 Interior Doors

DAMAGE TO DOOR Marginal Defect

There was damage to the interior door present at the time of inspection. I recommend repairs/replacement by a qualified individual.

Recommendation

Contact a qualified professional.



Gym

7.4.4 Interior Doors

MAG-LOCK DOORS NOT ACTIVE

EDUCATION HALLWAY

There were Mag-Lock type fire control doors present that were non operational at the time of inspection. Recommend full fire alarm system evaluation to ensure proper operation and fire safety for structure.

Recommendation

Contact a qualified professional.

 Marginal Defect



7.9.1 Wall Condition

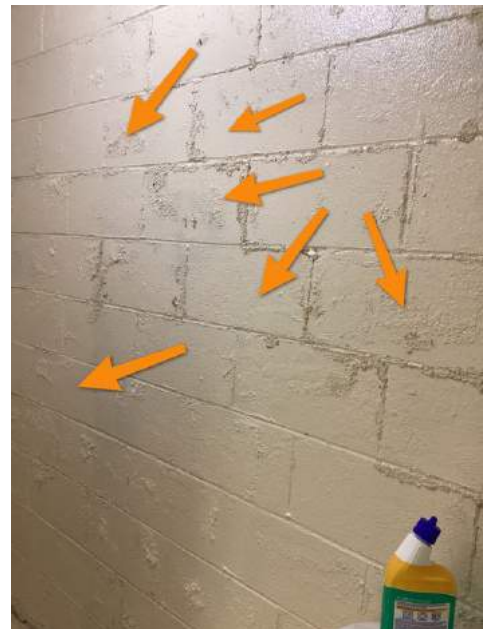
INDICATIONS OF MOISTURE ON WALL - NO ELEVATED MOISTURE CONTENT

Indications of past moisture infiltration was present on the referenced wall(s). These areas were tested for moisture content and acceptable levels were present at the time of inspection. I recommend inquiring with the seller about the area, and what repairs were carried out to address it. If they have no knowledge, evaluation is recommended by a qualified contractor.

Recommendation

Contact a qualified professional.

 Marginal Defect



Middle Conference Half Bath

7.9.2 Wall Condition

 Marginal Defect

ACTIVE LEAK PRESENT

An active leak was present at the referenced area(s). The source of the leaking was not visible and could not be confirmed. An invasive evaluation of this area with repairs made as needed is recommended by a qualified contractor.

Recommendation

Contact a qualified professional.



Gym

7.9.3 Wall Condition

 Significant Defect

WATER DAMAGE PRESENT - NO MOISTURE

Water damage and indications of past/present leaks or water infiltration was present to the referenced wall(s). I recommend consulting with the sellers as to what created the damage to these areas, and what repairs were carried out to address the leaks or moisture infiltration. If the sellers have no information, evaluation is recommended by a qualified contractor to determine the source of the damage, with repairs made to any damage present.

Recommendation

Contact a qualified professional.



Left Side Womens Bathroom



Upstairs Over Gym



Upstairs Classroom

7.9.4 Wall Condition

MOISTURE DAMAGE PRESENT

 Marginal Defect

Damage was present to the wall from past or present moisture. Evaluation and repairs are recommended to both the source of moisture to prevent it from reoccurring, as well as to the damage as needed by a qualified contractor.

Recommendation

Contact a qualified professional.



Interior Stairwell

7.9.5 Wall Condition

DRYWALL DAMAGE

 Marginal Defect

Damage was present to an area of the interior walls. Recommend repairs by qualified individual.

Recommendation

Contact a qualified drywall contractor.



Main Worship Hallway

7.9.6 Wall Condition

 Marginal Defect

DAMAGE TO WALLS

There was damage present to the interior walls of all units at the time of inspection on varying degrees. Repairs/replacements are recommended by a qualified professional as needed.

Recommendation

Contact a qualified professional.



Left Side Hallway Kitchen

7.9.7 Wall Condition

 Marginal Defect

CRACKING TO INTERIOR WALL

There was cracking present on the interior walls at the time of inspection. Settlement cracking is typically expected with older homes and does not necessarily mean that are serious settlement issues. Recommend that wall cracks are filled by a qualified individual and that the cracking be closely monitored for any additional action needed to remedy.

Recommendation

Contact a qualified professional.



Worship Hall Front Room



Worship Hall Front Room

7.10.1 Ceiling Condition

 Marginal Defect

MOISTURE STAINING PRESENT - UNDETERMINED SOURCE

Moisture stain(s) were present on the ceilings in the referenced areas. Although the area(s) were not actively leaking at the time of inspection, moisture stains should be viewed as active leaks until they prove themselves otherwise. I recommend inquiring with the sellers about the stains as they would have firsthand knowledge of why the stain is present, and what repairs were carried out to address it. If they are unsure of the stains, a roofing contractor or plumbing contractor (as applicable) should evaluate and make repairs as needed.

Recommendation

Contact a qualified professional.



Middle Conference Room



Middle Conference Room



Middle Conference Room



Middle Entry Closet



Middle Entry Closet



Middle Hallway



Middle Entry Ceiling



Middle Entry Ceiling



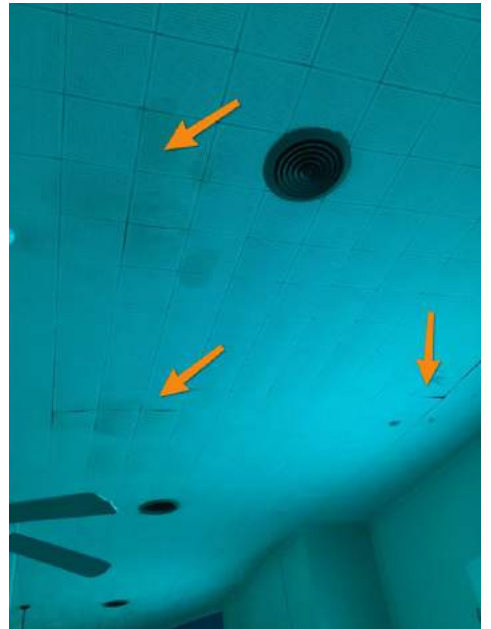
Middle Entry Ceiling



Left Hallway Office



Main Worship Hall



Main Worship Hall



Upstairs Office



Downstairs Classroom



Downstairs Classroom

7.10.2 Ceiling Condition

 Marginal Defect

MOISTURE STAINING/DAMAGE PRESENT

Moisture stain(s) and related damage was present on the ceilings in the referenced areas. Although the area(s) were not actively leaking at the time of inspection, moisture stains should be viewed as active leaks until they prove themselves otherwise. I recommend inquiring with the sellers about the stains as they would have firsthand knowledge of why the stain is present, and what repairs were carried out to address it. If they are unsure of the stains, a roofing contractor or plumbing contractor (as applicable) should evaluate and make repairs as needed. Repairs to any damage is recommended as needed by a qualified person.

Recommendation

Contact a qualified professional.



Cafeteria



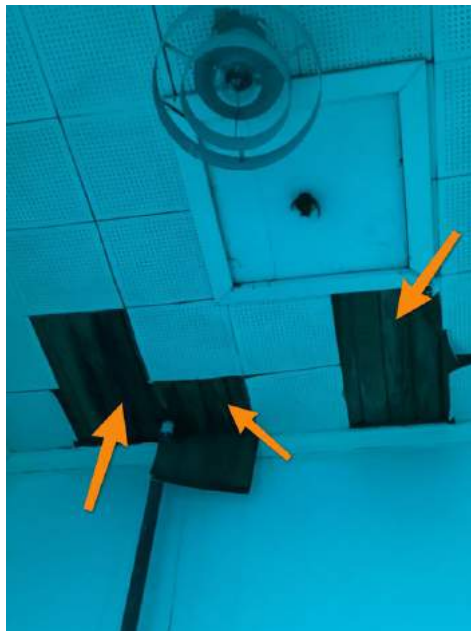
Cafeteria



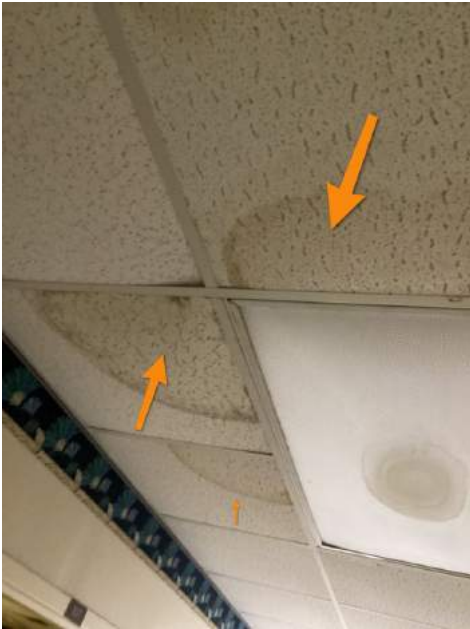
Left Side Hallway Kitchen



Worship Hall Back Hallway



Upstairs Classroom



Upstairs Hallway



Upstairs Classroom



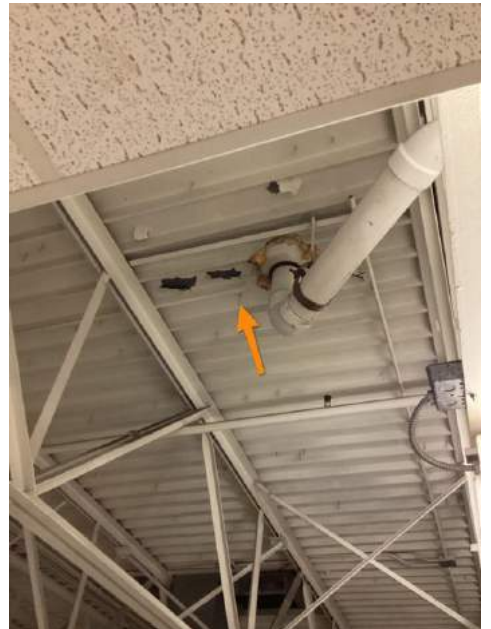
Upstairs Hallway



Upstairs Office



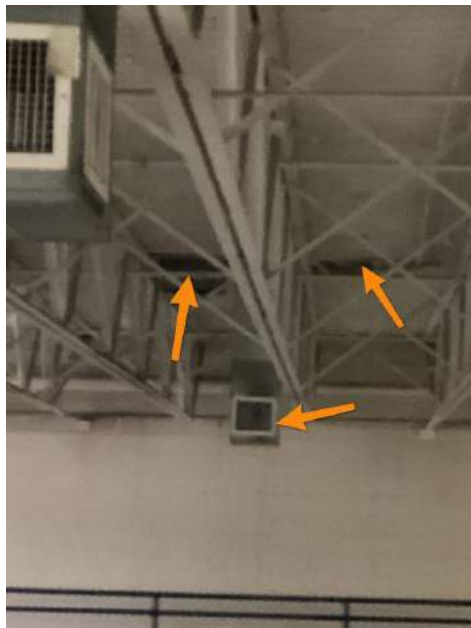
Ceiling Over Baptism Vault



Gym



Gym



Gym



Upstairs Hallway



Classroom 213



Classroom 215



Classroom 214



Classroom 218



Downstairs Gym Hallway



Downstairs Gym Hallway



Downstairs Rec Area



Downstairs Rec Area



Downstairs Classroom Bathroom



Downstairs Classroom Bathroom



Interior Stairwell Ceiling

7.10.3 Ceiling Condition

 Significant Defect

ACTIVE LEAK - ELEVATED MOISTURE CONTENT

An active leak with elevated moisture content was present on the ceiling in the referenced area(s). Repairs to the source of the leak, to the drywall and to any other related damage is recommended to be conducted by qualified contractors as needed.

Recommendation

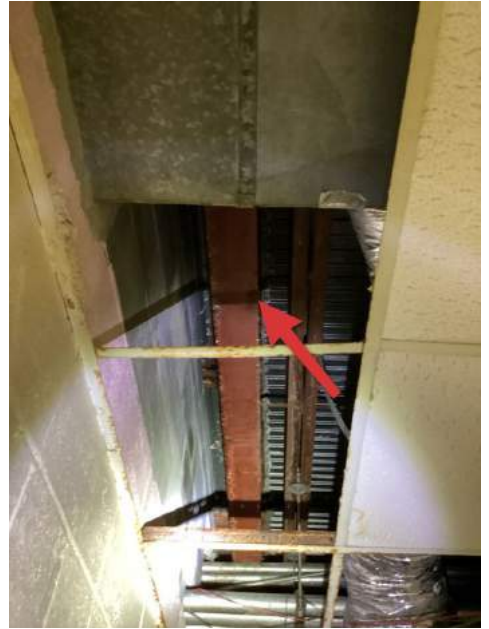
Contact a qualified professional.



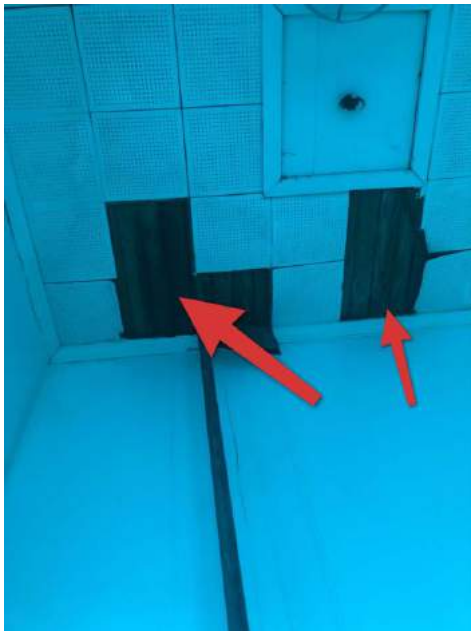
Cafateria



Downstairs Kitchen



Cafeteria



Worship Hall Front Room



Cafeteria



Gym Storage Room



Classroom 220



Gym Storage Room



Classroom 219



Gym



Classroom 216



Gym CLOSET



Classroom 219



Upstairs Classroom



Classroom 218



Upstairs Classroom



Upstairs Classroom Hallway



Gym Ceiling



Gym Ceiling

7.10.4 Ceiling Condition

DAMAGED DROP CEILING TILES PRESENT
 Marginal Defect

Damaged drop ceiling tiles were present in the referenced area(s). Replacement of any damaged ceiling tiles is recommended by a qualified person.

Recommendation

Contact a qualified professional.



Left Side Hallway Room



Classroom219

7.10.5 Ceiling Condition

WATER DAMAGE TO SUSPENDED CEILING FRAME & PANELS
 Marginal Defect

CAFETERIA

There was evidence of significant water intrusion and rusting to the metal framing and the ceiling tiles of the cafeteria at the time of inspection. Recommend replacement of all damaged framing and ceiling panels by a qualified individual.

Recommendation

Contact a qualified professional.



Cafeteria

7.11.1 Floor Condition

 Marginal Defect

DAMAGE TO FLOOR TILE

There was damage present to the tile floor at the time of inspection. Repairs/replacement by a qualified professional as needed.

Recommendation

Contact a qualified professional.



Middle Cafeteria



Middle Cafeteria



Middle Cafeteria



Gym



Gym



Gym



Gym



Gym



Downstairs Rec Area

7.11.2 Floor Condition

LOOSE FLOOR TILES

MAIN ENTRY LOBBY OF WORSHIP HALL

There were loose floor tiles in the main worship entry hall floor at the time of inspection. Recommend evaluation and repairs/replacement as needed by a qualified individual.

Recommendation

Contact a qualified professional.

 Marginal Defect



7.11.3 Floor Condition

CRACKING TO CONCRETE FLOOR WITH DISPLACEMENT

UPSTAIRS CLASSROOM

There was significant cracking with displacement to the floor of the upstairs classroom. Recommend evaluation and repairs as needed by a qualified concrete contractor.

Recommendation

Contact a qualified professional.



Upstairs Classroom



Upstairs Hallway



Upstairs Hallway Storage Room

8: LAUNDRY

Information

General Info: Dryer Energy Source

Electric



Downstairs Classroom

Visible Plumbing - Laundry: Plumbing Information - No Washer Present

The washing machine water supply valves were operated and no deficiencies were present at the time of inspection unless otherwise noted in this report. The standpipe (washer drain pipe) was not tested for leaks as a washing machine would need to be present to discharge water into the drain. The functionality of the drain is excluded from this inspection.



Downstairs Classroom

Dryer Vent: Dryer Vent Information

The dryer vent was inspected to ensure it terminated to the exterior of the home and that no damage was present at visible portions. No deficiencies were observed with the dryer vent at visible portions unless otherwise noted in this report.

9: GARAGE

Information

General Info: Garage View(s)

General Info: Garage Area to Living Space Separation Information

Current building standards for homes require "garage to living space separation". This separation helps to slow a garage oriented fire and to help prevent CO gases from entering living areas. This is achieved by the installation of a steel or solid wood door between the garage and living areas measuring no less than 1 3/8" thick, or a 20 minute fire rated door. The walls require the installation of 1/2" drywall, and the installation of 5/8" Type X drywall on the ceiling (if living areas are overhead). No protrusions should be present on the walls and/or ceiling in the area unless properly sealed with an approved sealant. These upgrades are recommended for safety if not present, and a qualified contractor can be consulted for more information.

Garage Door Parts: Garage Door Parts Information

The rollers, brackets, door panels, springs, and tracks were inspected looking for damage or loose components. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Garage Door Opener(s): Garage Door Opener Information

The garage door opener(s) were inspected by depressing the wall mounted transmitter and observing the openers functionality (remote transmitters are not tested). No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Garage Door Safety: Resistance Not Tested

The "Resistance" test of the garage door(s) was not conducted due to the possibility of damaging the door and/or the opener, should the resistance feature not function properly, and this functionality is excluded from this inspection. Garage doors contain two safety measures to prevent someone from being injured or pinned by a closing garage door. Photoelectric eyes, and the ability to auto reverse, if the door meets resistance or a solid object. I recommend testing this feature for functionality once taking ownership of the home. The test can be conducted by placing a 2" X 4" laid on the ground, underneath of the door. When the door is closed, it should contact the 2" X 4", and auto-reverse. If it does not, adjustments to the "force close" setting on the opener may need to be made, and/or a garage door contractor should evaluate.

Interior Door : Interior Garage Door Information

The door between the garage and living areas was in satisfactory condition at the time of inspection. Current safety standards require the interior door to be comprised of steel or solid wood measuring at least 1 3/8" thick, or a door that is 20 minute fire rated, for proper garage to living space separation. ***Interior doors in homes built prior to 2006 (dependent on local municipality) may not meet these standards and should be upgraded for safety.*** No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Exterior Door (Man Door): Exterior Door Information

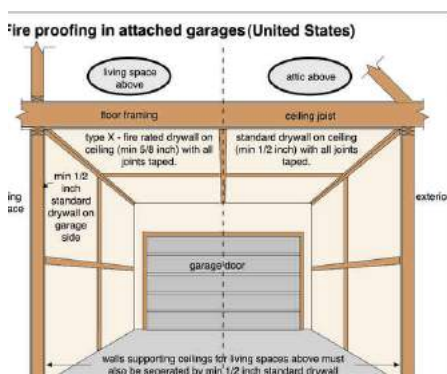
The exterior door was inspected testing for proper operation and looking for any damage. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Ceiling / Framing: Ceiling Information

The ceiling area was inspected looking for indications of leaks or other deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Ceiling / Framing: Ceiling Information - Separation

The framing in the garage is required to be covered with a 5/8" type X drywall *if living areas are overhead* and the home was constructed after 2006 (year dependent on local municipality). Confirmation of the proper drywall is not possible in a "visual only home inspection", but the presence of drywall will be reported on. ***Homes built prior to 2006 were not required to meet these requirements but upgrading to proper drywall is recommended for safety.***



Walls: Walls Information

The walls appeared to be in satisfactory condition at the time of inspection. No deficiencies were observed at visible portions unless otherwise noted in this report.

Walls: Walls Information - Separation

Current standards require that walls adjacent to living areas in a garage are covered with 1/2" drywall for proper separation of garage to living space. **Homes built prior to 2006 (year dependent on local municipality) may not have this protection, but upgrades are recommended for safety.**

Garage Slab: Slab Information

Visible portions of the concrete slab was inspected looking for significant deficiencies and significant cracking. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Any references to cracks on basement or garage concrete slabs will need to be sealed with an appropriate material by a qualified person at a minimum, regardless of the cracks size. This will prevent the possibility of moisture/water infiltration rising through the crack(s) during periods of heavy rainfall.

10: HEATING, COOLING

Information

Exterior Unit(s) - Split System :

Exterior Unit Location

Various

Interior Unit(s) - Split System :

Interior Unit(s) Location

Various

Package Unit Information:

Package Unit Location

Right Side of Structure, Roof,
Front of Structure, Rear of
Structure

Cooling Source Present in Each

Room: Cooling Source Present in Each Room

No

Heating Source Present in Each

Room: Heating Source Present In Each Room

No

General Info: HVAC Testing Information

The inspection of the HVAC system is limited to the response of the system at normal operating controls (the thermostat) in both heating and cooling modes (weather permitting); a non-invasive visual observation of the exterior and interior equipment, and the removal of any access panels made for removal. If a more thorough inspection is desired, an HVAC contractor should be consulted.

Commercial Electrical Inspection May Be Sub-Contracted Partially or Fully and Attached To The Inspection Report. SEE ATTACHED REPORT

General Info: Split System HVAC Present

This structure contained a split system for heating and cooling which typically consists of four main parts:

- An Exterior unit (Heat Pump or AC Unit)
- An Interior unit (Electric Air Handler or Gas Furnace)
- A Thermostat
- And Interior ductwork to distribute conditioned air throughout the home

Exterior Unit(s) - Split System : Exterior Unit Information

The exterior unit(s) were inspected visually and tested by ensuring they respond to normal operating controls (at the thermostat), and that conditioned air was produced. No indications of deficiencies were observed at the time of

inspection, unless otherwise noted in this report.

Commercial Electrical Inspection May Be Sub-Contracted Partially or Fully and Attached To The Inspection Report. SEE ATTACHED REPORT

Interior Unit(s) - Split System : Interior Unit(s) Information

The interior unit(s) were inspected visually and tested by ensuring they responded to normal operating controls (at the thermostat), and that conditioned air was produced. The unit(s) responded to normal operating controls and no indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

SEE ATTACHED REPORT

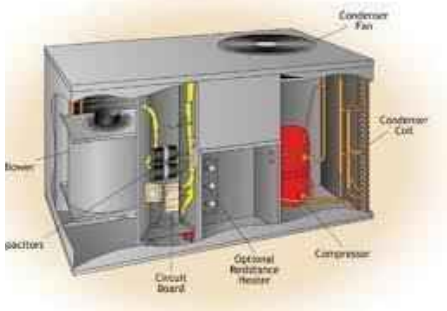
Package Unit Information: Package Unit Inspection Information

The package unit(s) was/were inspected visually and tested by ensuring it responded to normal operating controls. No indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

Commercial Electrical Inspection May Be Sub-Contracted Partially or Fully and Attached To The Inspection Report. SEE ATTACHED REPORT

Package Unit Information: Package Unit Present

The heating/cooling system was a package unit. A "package unit" contains both the heating and cooling units in one exterior enclosure. These are typically used when interior space does not allow for a "split unit".



Auxiliary Drain Pan: Auxiliary Drain Pan Information

The interior HVAC unit(s) were inspected for the presence of an auxiliary drain pan if they were located in or adjacent to finished areas. These pans may contain a float switch to sense when the pan fills with water, shutting the unit off; or may contain a drain pipe that will allow any accumulated water to drain to the exterior. The functionality of either the float switches or drain pipes are not tested for. No deficiencies were present at visible portions unless otherwise noted in this report.

Condensate Drain Pipe: Drain Pipe Information

The condensate drain pipe was inspected looking for the presence of a "trap" and significant deficiencies, as well as reporting on its termination point. Often times the pipe or vinyl tubing passes through walls and/or ceilings, rendering it non-visible in these areas, and the condition of the pipe in these areas is excluded from this inspection. No deficiencies were observed at visual portions, at the time of inspection, unless otherwise noted in this report.

Refrigerant Lines: Refrigerant Line Information

The refrigerant lines were inspected at visible portions to ensure no damage was present and that pipe insulation was continuous on the lines. No deficiencies were observed unless otherwise noted in this report.

Venting: Vent Information

The furnace vent was inspected by reporting on its material, clearance from combustibles (if applicable), and its termination point. No indications of deficiencies were present at visible portion unless otherwise noted in this report.

Air Return: Temperature Reading

A temperature reading of the return air was taken at the time of inspection, to provide a baseline to compare output temperatures to, showing the system responded to normal operating controls.

Air Supply: Air Supply Information

An infrared camera was used to show the system responded to normal operating controls, at the time of inspection. **These images are not intended to show the exact temperature differential produced, the efficiency, or performance of the system, which lies beyond the scope of a home inspection.** HVAC thermometers (wet bulb) are required for accurate readings, and measurement points would be carried out at a different location by an HVAC contractor. Typical temperature differentials between return and supply air is 10 - 20 degrees in cooling mode, and 16 - 25 degrees in heating mode. Several factors can affect these numbers, such as, but not limited to: indoor ambient air temperature, exterior ambient air temperature, humidity, cleanliness of the air filter and evaporator, etc.

Thermostat(s): Thermostat Information

The thermostat was operated and it initiated the HVAC system, at the time of inspection. No indications of deficiencies were observed unless otherwise noted in this report.

Air Filter / Return Plenum: Filter/Plenum Information

The return air grille, air filter, and return air plenum were inspected at visible portions looking for any significant deficiencies, gaps in the plenum, dirty filter(s), or an accumulation of dust. I recommend changing the filter every 30 days - 3 months depending on the style of filter used. This is one of the most important "maintenance" items you can perform as a dirty filter puts additional strain on the air handler and may cause damage to the unit.

HVAC Supply Registers: HVAC Supply Information

Conditioned air supply was present at the supply register(s) as seen with thermal imaging. CFM air flow is not inspected for. No indications of deficiencies were observed at the time of inspection unless otherwise noted in this report.

Visible Ductwork: Ductwork Information

The ductwork was inspected at visible portions looking for damage, loose connections, or other significant defects. No reportable deficiencies were observed unless otherwise noted in this report.

Recommendations

10.1.1 General Info

HVAC SERVICING DOCUMENTATION NOT PRESENT



Minor Defect, Maintenance Item, or FYI Item

HVAC servicing documentation was not present for the unit(s). Manufacturers and HVAC contractors recommend annual servicing of HVAC systems. Failure to have the systems serviced on an annual basis can affect the life expectancy and efficiency of the units. I recommend asking the seller(s) for the service records, and if the records can not be produced or servicing has not occurred in the last year, servicing of the HVAC system is recommended to be conducted by an HVAC contractor prior to the end of your inspection contingency period.

Recommendation

Contact the seller for more info

10.2.1 Exterior Unit(s) - Split System

**AGED UNIT(S)**

SEE ATTACHED REPORT

FYI- The unit was nearing, at, or past its typical service life. Major repairs or replacement should be anticipated in the future due to the age of the unit(s) alone. Depending on prior maintenance and other factors the unit could last anywhere from months to years, the remaining life is undeterminable. ***Due to its age servicing is recommended to be conducted by an HVAC contractor.*** A typical life expectancy chart can be found here:

<https://d3i80q92llbc1d.cloudfront.net/wp-content/uploads/sites/14/2020/01/07204656/IO-LifeExpectancyChart-2.pdf>

Recommendation

Contact a qualified HVAC professional.

10.2.2 Exterior Unit(s) - Split System

**ANNUAL SERVICE RECORDS NOT OBSERVED**

SEE ATTACHED REPORT

At the time of inspection Annual Servicing/Maintenance Records were not available for the exterior AC Units. Annual servicing is recommended for all AC Units. I recommend having the units serviced prior to closing and on an annual basis thereafter to ensure energy efficiency and safe operation.

Recommendation

Contact a qualified professional.

10.2.3 Exterior Unit(s) - Split System

**DATA TAG NOT PRESENT**

SEE ATTACHED REPORT

Recommendation

Contact a qualified professional.

10.2.4 Exterior Unit(s) - Split System

**R22 REFRIGERANT**

SEE ATTACHED REPORT

This system utilizes R22 refrigerant. R22 is currently being phased out by the EPA and will not be produced after 2020, being replaced by R410-A. Currently R22 that is available is much higher in cost than it's new R410-A counterpart. High repair costs should be anticipated for the units, when needed.

Recommendation

Contact a qualified professional.

10.2.5 Exterior Unit(s) - Split System

 Marginal Defect**UNIDENTIFIED UNIT PRESENT**

SEE ATTACHED REPORT

There was an exterior HVAC unit present at the time of inspection that was unidentifiable and appeared to be an older unit. There was no manufacturing information available nor any data tags available. I recommend inquiring with the sellers as to the make and age of this unit as well as any service records.

Recommendation

Contact a qualified professional.

10.2.6 Exterior Unit(s) - Split System

 Marginal Defect**UNIT DID NOT RESPOND CORRECTLY TO THERMOSTAT**

SEE ATTACHED REPORT

The Unit did not respond correctly to the thermostat controls at the time of inspection. Recommend evaluation, repairs or replacements by qualified HVAC Tach.

Recommendation

Contact a qualified professional.

10.2.7 Exterior Unit(s) - Split System

 Marginal Defect**DAMAGED UNIT**

SEE ATTACHED REPORT

The unit was damaged. Evaluation and repairs or replacement as deemed necessary by an HVAC contractor is recommended.

Recommendation

Contact a qualified HVAC professional.

10.2.8 Exterior Unit(s) - Split System

 Marginal Defect**IRREGULAR NOISE PRODUCED**

SEE ATTACHED REPORT

An irregular noise was produced from the exterior unit, this could be due to a range of issues from loose components to a defect with the fan motor. Evaluation and repairs as needed is recommended by an HVAC contractor.

Recommendation

Contact a qualified HVAC professional.

10.3.1 Interior Unit(s) - Split System

 Marginal Defect**AGED UNIT(S)**

SEE ATTACHED REPORT

FYI - The unit was at or past its typical service life. Major repairs or replacement should be anticipated in the future due to the age of the unit(s). Depending on prior maintenance and other factors the unit(s) could last anywhere from months to years, the remaining life is undeterminable. ***Due to its age, servicing is recommended to be conducted by an HVAC contractor.*** A typical life expectancy chart can be found here:

<https://d3i80q92llbc1d.cloudfront.net/wp-content/uploads/sites/14/2020/01/07204656/IO-LifeExpectancyChart-2.pdf>

Recommendation

Contact a qualified HVAC professional.

10.3.2 Interior Unit(s) - Split System

 Marginal Defect**UNIT NOT FUNCTIONAL**

SEE ATTACHED REPORT

The unit did not respond to normal operating controls in heating mode, at the time of inspection. Repairs or replacement as needed is recommended for proper operation by an HVAC contractor.

Recommendation

Contact a qualified HVAC professional.

10.3.3 Interior Unit(s) - Split System

 Marginal Defect**DATA TAG NOT PRESENT**

SEE ATTACHED REPORT

The data tag was not present to the interior unit at the time of inspection. I was not able to verify manufacture date - it is presumed that the unit is original to the home, which would make it a 2003 Unit.

Recommendation

Contact a qualified professional.

10.3.4 Interior Unit(s) - Split System

 Marginal Defect**GAS WAS OFF - NOT TESTED**

SEE ATTACHED REPORT

The gas service was not on at the time of inspection. Recommend retesting after unit has been serviced and gas restored - prior to closing.

Recommendation

Contact a qualified professional.

10.3.5 Interior Unit(s) - Split System

 Marginal Defect**NO SIGNS OF ANNUAL MAINTENANCE DOCUMENTATION**

SEE ATTACHED REPORT

There were no signs of Annual Maintenance to the units both exterior or interior. I recommend having the units inspected by a HVAC Contractor and services to ensure efficiency as well as safety prior to closing.

Recommendation

Contact a qualified professional.

10.16.1 Cooling Source Present in Each Room

 Marginal Defect

SEE ATTACHED HVAC INSPECTION REPORT

SEE ATTACHED REPORT

Commercial Electrical Inspection May Be Sub-Contracted Partially or Fully and Attached To The Inspection Report. SEE ATTACHED REPORT

Recommendation

Contact a qualified professional.

10.17.1 Heating Source Present in Each Room

 Marginal Defect

SEE ATTACHED HVAC INSPECTION REPORT

Commercial Electrical Inspection May Be Sub-Contracted Partially or Fully and Attached To The Inspection Report. SEE ATTACHED REPORT

Recommendation

Contact a qualified professional.

11: WATER HEATER

Information

Water Heater Condition: Capacity

30 Gallons, 40 Gallons,
Undetermined

Water Heater Condition: Energy Source

Electric

Water Heater Condition: Water Heater Manufacturer

Rheem, GE

Water Heater Condition: Manufacture Year

1999, 1992, 1990, 1989,
Undetermined

Water Heater Condition: Water Temperature

100-110 Degrees

The typical life expectancy of a water heater is 13-15 years.

Water Heater Condition: Water Heater Location

Caftereaia Kitchen, Kitchen Cabinet, Upstairs Closet



Cafeteria



Cafeteria



Left Side Hallway Kitchen



Classroom Closet



Classroom Closet



Upstairs HVAC Room



Upstairs HVAC Room

Water Heater Condition: Water Heater Information

The water heater produced hot water at the time of inspection. No reportable deficiencies were observed with the unit unless otherwise noted in this report.

Water Heater Condition: Water Temp Information

FYI - The maximum recommended water temperature produced at faucets in the home is 120 degrees due to the possibility of scalding at temperatures above this. But to prevent the formation of Legionellae bacteria in the water heater, tank temperatures are recommended to be kept between 135-140 degrees.

A tempering valve can allow for this combination, keeping water at faucets in the home to safe levels while keeping tank temperatures high enough to kill harmful bacteria. I recommend consulting with a licensed plumber regarding the installation of a tempering valve.

Venting: Venting Information

The vent was inspected at visible portions reporting on its material, its clearance from combustibles (if applicable), and its termination point. No indications of deficiencies were present unless otherwise noted in this report.

TPR Valve: TPR Valve Information

A TPR valve was in place, and appeared functional. These are not tested due to the fact that once they are tested, they tend to form a drip leak. These valves allow the water heater to expel water and pressure if the tank reaches a pressure over 150psi, or the water temperature exceeds 210 degrees. No deficiencies were observed with the valve unless otherwise noted in this report.

**TPRV Discharge Pipe: TPRV Discharge Tube Material**

Copper, CPVC



Water Pipes: Water Pipes Information

Visible portions of the water pipes were inspected looking for significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Recommendations

11.1.1 Water Heater Condition

 Marginal Defect

AGED UNIT

VARIOUS

FYI - The unit was at or past its typical service life. Major repairs or replacement should be anticipated in the future due to the age of the unit alone. Depending on prior maintenance and other factors the unit could last anywhere from months to years, the remaining life is undeterminable.

A typical life expectancy chart can be found here:

Due to its age, servicing is recommended to be conducted by an HVAC contractor.

A typical life expectancy chart can be found here:

<https://d3i80q92llbc1d.cloudfront.net/wp-content/uploads/sites/14/2020/01/07204656/IO-LifeExpectancyChart-2.pdf>

11.1.2 Water Heater Condition

 Marginal Defect

DATA TAG NOT PRESENT

KITCHEN

The data tags for unit water heaters were not observable at the time of inspection. As a result, I was unable to determine the make, model and age of the water heaters. I recommend inquiring with the sellers as to the age of the water heaters in all of the units.

Recommendation

Contact a qualified professional.



11.1.3 Water Heater Condition

 Marginal Defect

WATER HEATER ENCLOSED INSIDE KITCHEN CABINET

DOWNSTAIRS KITCHEN

A

Recommendation

Contact a qualified professional.



11.1.4 Water Heater Condition

ENCLOSURE RUSTED
 Marginal Defect

The water heater enclosure was rusted in areas. This is a sign of past or present leaking and or condensation in the area. An evaluation of the unit with repairs or replacement made as needed is recommended to be conducted by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



12: PLUMBING

Information

Main Shut Off Valve : Main Shut Off Valve Location

At Exterior Water Meter, Various Interior Locations

Water Pipes: Water Distribution Pipe Material (Visible Portions)

Copper, CPVC, Galvanized Steel, PVC

Drain, Waste, and Vent Pipes (DWV): DWV Material Type (Visible Portions)

PVC, Galvanized Steel, Cast Iron

Water Pressure: Water Pressure (Approx.)

<40psi, 40-50psi, 50-60psi, Various Pressure Readings

Water Pipes: Approx. Percentage of Water Distribution Pipes Visible

10-20%

Drain, Waste, and Vent Pipes (DWV): Approx. Percentage of Drain/Waste Pipes Visible

10-20%

Water Pipes: Service Pipe Material (Visible Portions)

Not Visible

Drain, Waste, and Vent Pipes (DWV): Sewer/Septic Lateral Material (Visible Portions)

Not Visible

Main Cleanout: Cleanout Location

Rear of Structure



Sump/Ejector Pump: Not Present	Functional Flow: Functional Flow	Functional Drainage: Functional Drainage
No sump/ejector pump(s) were observed at the home at visible portions.	Yes, See Bathroom Comments, Weak Flow Present, See Kitchen Comments	Hindered Drainage Present, See Bathroom Comments, See Kitchen Comments

Main Shut Off Valve : Main Shut Off Information

The shut off valve appeared to be in satisfactory condition at the time of inspection. No deficiencies were observed unless otherwise noted in this report. The valve is not operated to test its functionality.

Pressure Regulator: Pressure Regulator Information

The pressure regulator was inspected visually for leaks or heavy corrosion and/or rust. No indications of deficiencies were present at the time of inspection unless otherwise noted in this report.

Water Pressure: Water Pressure Information

The water pressure was tested at an available spigots on the exterior of the structure, as well as interior sinks and spigots. 80psi or less is recommended to protect distribution pipes and connections from leaking (60 - 70psi is preferred). Most pressure regulators are adjustable from 25 - 75 psi, and any readings over 75psi indicate a missing or defective pressure regulator.

Water Pipes: Water Distribution Pipes Information

Visible portions of the water distribution pipes were inspected looking for leaks or other significant deficiencies. No reportable conditions were visually present at the time of inspection unless otherwise noted in this report.

Water Pipes: Most Portions Not Visible - Slab

Most portions of the water distribution lines were not visible due to a slab foundation. The inspection is limited to visual portions, any items not visible are excluded from this inspection.

Drain, Waste, and Vent Pipes (DWV): Drain, Waste, and Vent Pipes Information

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other significant deficiencies. No leaks or other reportable conditions were visibly present unless otherwise noted in this report. **Sewer camera inspections are recommended for any structure regardless of age** due to the sewer lateral between the structure and sewer service not being visible and the possibility of damage, blockages, or sagging areas in this pipe. These inspections typically cost around \$250.00, but can save thousands if a problem is found.

Drain, Waste, and Vent Pipes (DWV): Most Portions Not Visible - Slab

The DWV pipes were not visible due to a slab foundation. Portions not visible are excluded from this inspection.

Functional Flow: Flow Information

Water was ran from multiple faucets simultaneously to gauge that there was not a significant reduction in flow as a result of doing so. No significant reduction occurred at the time of inspection unless otherwise noted in this report.

Recommendations

12.4.1 Water Pressure

WATER PRESSURE - ERRATIC

INTERIOR

— Marginal Defect

The water pressure was not static and would pulsate between 30 - 60 psi, this was also apparent while running water from fixtures throughout the structure. Evaluation of the water supply to determine the cause of the water pressure variance is recommended by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

12.5.1 Water Pipes

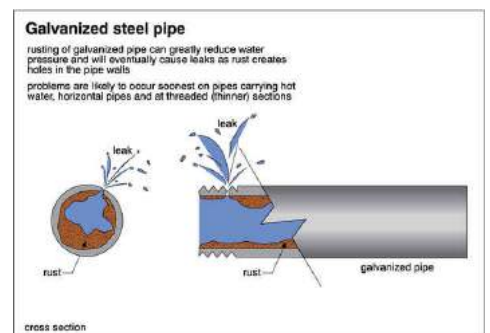
AGED ITEM - SERVICE PIPE GALVANIZED

— Marginal Defect

FYI - The water service pipe entering the home from the service provider was comprised of galvanized steel. Galvanized lines typically have a 50 - 60 year life and will eventually develop inner corrosion and rust that will lead to weakened water pressure and line failure. These lines will need to be monitored for their performance, with the understanding that major repairs or replacement will be needed at some point in the future due to their age.

Recommendation

Contact a qualified plumbing contractor.



12.5.2 Water Pipes

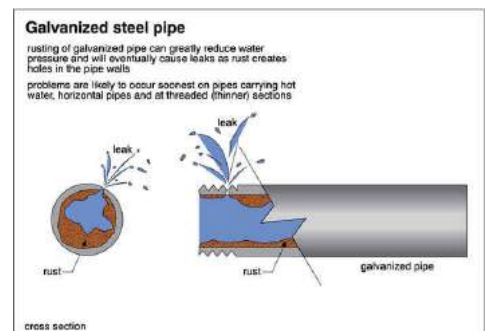
AGED ITEMS - GALVANIZED DISTRIBUTION PIPES

— Marginal Defect

FYI - Galvanized distribution pipes were present in the home. These pipes typically have a 50 - 60 year life and will eventually develop inner corrosion and rust that will lead to weakened water flow and pipe failure. These pipes will need to be monitored for their performance, with the understanding that major repairs or replacement will be needed at some point in the future due to their age.

Recommendation

Contact a qualified plumbing contractor.



12.5.3 Water Pipes

 Marginal Defect**HINDERED WATER FLOW**

There was hindered water flow in the bathroom areas and fixtures at the time of inspection. I recommend evaluation and assessment by a licensed plumber with any and all repairs/replacements needed to correct flow issues.

Recommendation

Contact a qualified professional.

12.5.4 Water Pipes

 Marginal Defect**WATER LEAK(S) PRESENT**

VARIOUS

A water leak was present on the water distribution pipe(s) in the referenced area(s). An evaluation of the water distribution pipes and repairs made as needed is recommended to be conducted by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

12.5.5 Water Pipes

 Marginal Defect**LEAK FROM WATER VALVE(S)**

VARIOUS

The water valve(s) in the referenced area(s) leaked when under pressure. Replacement of the valve(s) is recommended as needed by a licensed plumber for proper operation.

Recommendation

Contact a qualified plumbing contractor.

12.5.6 Water Pipes

 Marginal Defect**RUST/CORROSION ON WATER VALVE(S)**

VARIOUS

There was rust and/or corrosion build-up present on the referenced water valve(s). This is typically an indicator of a past or present leak, and that the valve may be at the end of its useful life. Evaluation and repairs or replacement as needed is recommended by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

12.5.7 Water Pipes

 Marginal Defect**RUST PRESENT ON DISTRIBUTION PIPES - GALVANIZED**

VARIOUS

Rust and/or corrosion was present on areas of the galvanized water distribution pipes and fittings. This is typically an indicator that the pipes are at, or nearing the end of their useful life. Evaluation, and repairs or replacement as needed, is recommended to be conducted by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

12.5.8 Water Pipes

 Marginal Defect**GALVANIC REACTION DAMAGE**

WATER HEATERS

A galvanic reaction was occurring due to contact between two dissimilar metals. This can affect the integrity of the pipes and eventually allow for leaking. Evaluation and repairs to this area is recommended to be conducted by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

12.6.1 Drain, Waste, and Vent Pipes (DWV)

 Marginal Defect**AGED ITEMS - CAST IRON SEWER/SEPTIC LATERAL**

FYI - The sewer/septic lateral exiting the structure was comprised of cast iron. Cast iron typically has a 50 - 60 year life, and will eventually develop inner corrosion that will affect the draining functionality of the system, and cause failure. These pipes will need to be monitored for performance, with the understanding that major repairs or replacement will be needed at some point in the future due to their age. The remaining life is undeterminable. **A sewer cam inspection of the pipes is highly recommended to be conducted by a licensed plumbing contractor due to their age.**

Recommendation

Contact a qualified plumbing contractor.

12.6.2 Drain, Waste, and Vent Pipes (DWV)

 Marginal Defect**AGED ITEMS - CAST IRON AND/OR GALVANIZED WASTE AND DRAIN PIPES**

FYI - Cast iron and/or galvanized drain, waste, and vent pipes were present. These pipes typically have a 50 - 60 year life and will eventually develop inner corrosion that will affect the draining functionality of the system, and cause failure. These pipes will need to be monitored for performance, with the understanding that major repairs or replacement will be needed at some point in the future due to their age. The remaining life is undeterminable. A sewer camera inspection of the pipes is highly recommended due to their age.

Recommendation

Contact a qualified plumbing contractor.

12.6.3 Drain, Waste, and Vent Pipes (DWV)

 Marginal Defect**AGE OF STRUCTURE - SEWER SCOPE RECOMMENDED**

Due to the age of the structure I recommend a sewer scope be performed by a qualified plumber.

Recommendation

Contact a qualified professional.

12.6.4 Drain, Waste, and Vent Pipes (DWV)

 Marginal Defect**HINDERED DRAINAGE**

CAFETERIA

There appeared to be hindered drainage present to the sinks and floor drains in the cafeteria kitchen area at the time of inspection as the water started backing up out of the drains. Recommend evaluation and repairs as needed by a qualified plumber.

Recommendation

Contact a qualified professional.



Cafeteria

12.9.1 Functional Flow

 Marginal Defect**DROP IN WATER FLOW**

VARIOUS

FYI - A drop in water flow occurred to some degree when multiple fixtures were ran simultaneously. I recommend consulting a licensed plumber for further evaluation.

Recommendation

Contact a qualified plumbing contractor.

12.9.2 Functional Flow

 Marginal Defect**WEAK WATER FLOW PRESENT**

VARIOUS

Weak water flow was present at multiple fixtures throughout the structure. This is most likely associated with the low water pressure referenced in this report. Evaluation is recommended by a licensed plumber with repairs made as needed for proper water flow.

Recommendation

Contact a qualified plumbing contractor.

12.9.3 Functional Flow

 Marginal Defect**WATER DISCOLORATION**

VARIOUS

When initially running the water at sinks, the water supply was "orange" in color. This is an indicator of either inner rust of the galvanized water pipes or rusted components inside of the water heater. Evaluation of the discoloration is recommended by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.

12.9.4 Functional Flow

 Marginal Defect

WATER SUPPLY NOT PRESENT AT ALL FIXTURES

VARIOUS

See Bathroom and Kitchen Notes

Recommendation

Contact a qualified professional.

12.10.1 Functional Drainage

 Marginal Defect

HINDERED DRAINAGE PRESENT - SEE BATHROOM NOTES

BATHROOMS / KITCHEN AREAS

There were fixtures that demonstrated hindered drainage at the time of inspection in the bathroom and kitchen areas. I recommend having these fixtures evaluated by a qualified plumber.

Recommendation

Contact a qualified professional.

13: ELECTRICAL

Information

Service Entrance: Service Entrance Type

Underground Service Lateral

Service Amperage: Service Amperage

800 amps

Service Equipment / Electrical Panel: Electrical Panel / Service Equipment Location

Office Area

Service Grounding / Bonding: Present

Yes

Service Grounding / Bonding: Grounding Electrode Type

Rebar (Ground Rod)

Breakers: AFCI Breakers Present

No

General Info: Commercial Electrical Inspection

Commercial Electrical Inspections may be partially or wholly covered by a sub-contractor 3rd party provider. In addition to the report itself - there may be a separate report attached.

SEE ATTACHED REPORT FOR ALL or ADDITIONAL ELECTRICAL INSPECTION INFORMATION

Service Entrance: Underground Service Lateral Information

Rear of Structure

Power was supplied to the structure via an underground service lateral. The meter and conduit appeared to be in satisfactory condition. No deficiencies were observed at visible portions unless otherwise noted in this report.

Service Disconnect: Service Disconnect Information

The service disconnect or main OCPD (over current protection device) was inspected looking for any deficiencies and reporting on its location. This disconnect can be a breaker, fuse block, or kill switch. This is the means of shutting off all electricity entering the home.

SEE ATTACHED REPORT

Service Amperage: Service Amperage

Office Main Board

The service amperage is determined by inspecting the service entrance conductors size as well as the service disconnects size. Voltages are not tested for and therefore not confirmed, so 120/240VAC is presumed. If a concern, a

licensed electrician could test for proper voltages to see if 120/208VAC is present. In some situations the sizing of the service entrance conductors will not be legible or marked and the stated amperage will be followed by "presumed" as it could not be verified.

SEE ATTACHED REPORT

Service Equipment / Electrical Panel: Electrical Panel / Service Equipment Information

The main electrical panel (called service equipment when it contains the service disconnect) was inspected looking for any wiring deficiencies or damage that may be present in the panel. No indications of reportable conditions were present at the time of inspection unless otherwise noted in this report.

SEE ATTACHED REPORT

Distribution Panel: Distribution Panel Information

The distribution panel(s) were inspected to ensure all distribution panel rules were followed; that a 4-wire feed was present, that the EGC's and grounded conductors were isolated, that the grounded conductors were floating, that the EGC's were bonded, etc. No significant deficiencies were present in the panel(s) at the time of inspection, unless otherwise noted in this report.

SEE ATTACHED REPORT

Service Grounding / Bonding: GEC Present

The grounding electrode conductor (GEC) was present and connected in the service equipment panel. Typically the attachment point to a grounding rod, etc. is not visible. No indications of deficiencies were observed at visible portions.

SEE ATTACHED REPORT

Breakers: Breakers Information

The breakers were inspected looking for any visible signs of damage due to arcing, heat, etc. Corresponding conductors were inspected looking for multiple lugging, sizing, damage, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

SEE ATTACHED REPORT

Branch Wiring : Branch Wiring Information

The branch wiring was inspected at visible portions looking for any significant deficiencies or defects that could be a fire and/or safety hazard; including but not limited to: connections made outside of a junction box, wiring terminations, open junction boxes, damage, the wiring material, improper support, etc. The majority of branch feeders are not visible due to being behind wall and ceiling coverings, insulation, etc. No significant deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

SEE ATTACHED REPORT

Smoke Alarms / Detectors: Smoke Alarms Present at All Required Locations

No, Alarms Not Functional, Hard Wired Emergency Lighting, Fire Pull Stations



Smoke Alarms / Detectors: Alarm Company

There were smoke detector(s) present that were part of a Central Alarm System of the structure, and couldn't be tested independently. I recommend confirming proper operation of the smoke detector(s) with the monitoring company as soon as moving into the home for fire safety. Independent battery powered alarms are recommended to be installed as well, in case of service interruption with the monitoring company.

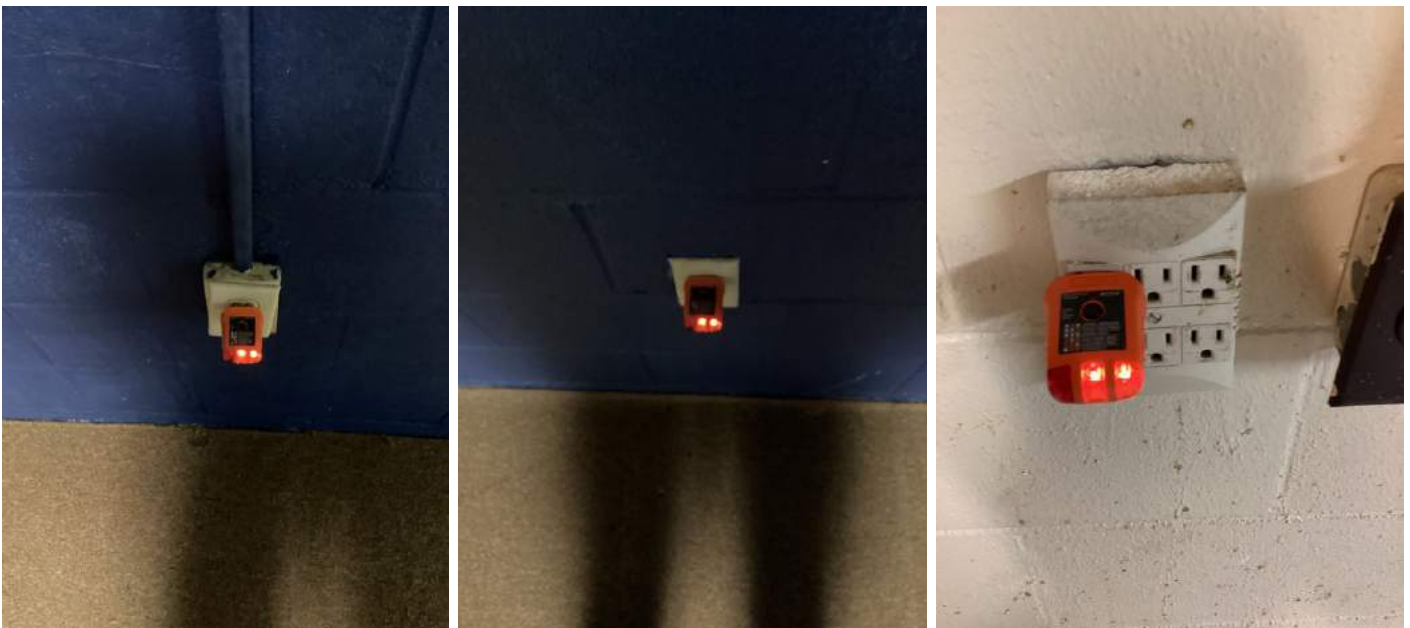
CO Detectors: CO Alarm Information

Carbon Monoxide (CO) detectors are recommended to be installed outside of each sleeping area, in the area(s) of any gas appliances, and any fireplace(s). CO alarms are recommended if any gas appliances are present in the home or if the home contains a garage. More information about CO detectors and their requirements can be found here:

<https://www.nfpa.org/Public-Education/By-topic/Fire-and-life-safety-equipment/Carbon-monoxide>

Receptacles: Receptacle Information

A representative number of receptacles throughout the home were tested with a polarity tester to confirm proper wiring. No wiring deficiencies were reported by the tester unless otherwise noted in this report.

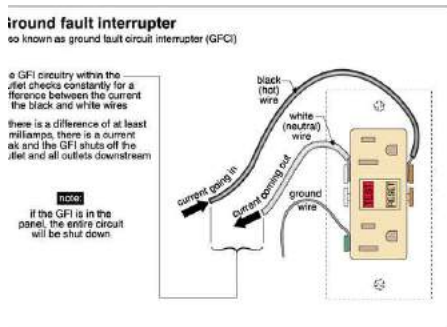


Receptacles: 220V/240V Receptacle(s) Not Tested

220V/240V receptacles are not tested for functionality or polarity, as they can not be tested with a standard receptacle polarity tester. Only visual deficiencies will be reported on with relation to these receptacle(s).

GFCI Protection: GFCI Information

Ground Fault Circuit Interrupter (GFCI) is a protection feature that allows a circuit or receptacle to "trip" or "shut off" if as little as a 5 milliamp differential is detected between the "hot" and "neutral" conductors. This protection is recommended for receptacles within 6 feet of a sinks edge, or where something plugged into a receptacle could come into contact with water, including: bathrooms, kitchens, on the exterior, in garages, laundry rooms, and basements and crawl spaces. Although GFCI protection may not have been required in some or all of these areas when the home was built, their installation is highly recommended and is typically inexpensive. This protection, if present, was tested and was in satisfactory condition at the time of inspection, unless otherwise noted in this report.



Ceiling Fans: Ceiling Fan Information

A representative number of ceiling fans were inspected by ensuring they powered on and did not wobble excessively, as well as looking for other deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.



Switches, Lights: Switches, Lights Information

A representative number of switches and lights were tested throughout the home and were found to be in good working order. No deficiencies were observed unless otherwise noted in this report.

Switches, Lights: Lights Not Tested

Exterior dusk to dawn lights, motion lights, landscape lighting, or any light not attached to the structure are not included in a home inspection, and were not tested for functionality. These items are excluded from this inspection.

Recommendations

13.2.1 Service Entrance

 Marginal Defect**OLD SERVICE FEED IN WIRING STILL PRESENT**

There is an old electrical service line still connected to the side of the home in addition to the active line. I recommend removal of this unused line.

Recommendation

Contact a qualified professional.



13.10.1 Smoke Alarms / Detectors

 Significant Defect**NOT FUNCTIONAL**

VARIOUS

The referenced smoke alarm(s) did not operate during the inspection. This is a safety hazard. I recommend testing the alarms and replacing the batteries and re-testing for operation, or replacing the units themselves if they are found to be over five years of age. Dual sensor alarms incorporating both an ionization sensing chamber and photoelectric eyes are recommended.

NOTE: The alarm system present at the time of inspection was a commercial system that featured hard wired sensors, flashing/strobe alarm lights, as well as audio speakers. These systems are required to be serviced and inspected on an annual basis for Fire Code Compliance. Recommend evaluation, testing and any needed repairs/replacements by a licensed qualified Fire Alarm Vendor.

<http://www.amazon.com/Kidde-Pi9010-Battery-Photoelectric-Ionization/dp/B00PC5THCU>

Recommendation

Contact a qualified professional.

13.10.2 Smoke Alarms / Detectors

 Significant Defect**COMMERCIAL HYDRAULIC WATER SPRINKLER SYSTEM LEAKING**

Recommendation

Contact a qualified professional.

13.10.3 Smoke Alarms / Detectors

 Significant Defect

EMERGENCY EXIT LIGHTS NOT FUNCTIONAL

INTERIOR EMERGENCY EXIT SIGNS

There were emergency exit signs that were not properly illuminated inside the building at various exits. These exit signs are part of the integrated Fire Safety program for the structure. Recommend repairs/replacement as needed to meet Fire Code.

Recommendation

Contact a qualified professional.



Cafeteria

13.10.4 Smoke Alarms / Detectors

 Significant Defect

CENTRAL ALARM SYSTEM NOT FULLY OPERATIONAL

THROUGHOUT THE STRUCTURE

There was a full commercial grade Fire Alarm system present at the time of inspection but the system did not respond to test mode attempts. This system is required to be inspected annually by a licensed commercial system technician. Recommend evaluation, servicing and repairs as needed to ensure that the system is fully operational for Fire Safety purposes.

Recommendation

Contact a qualified professional.



13.12.1 Receptacles

 Marginal Defect**MISSING COVER PLATE(S)**

VARIOUS LOCATIONS

The were receptacles present with missing cover plate(s). This is a safety hazard, as someone could be shocked by touching live wires. The installation of new plates is recommended to be conducted by a qualified person on any and all plates that are missing throughout the structure.

Recommendation

Contact a qualified electrical contractor.



Upstairs Office

13.15.1 Switches, Lights

 Marginal Defect**MISSING SWITCH COVER PLATE(S)**

There were missing switch cover plate(s) present at the referenced area(s). This exposes live wiring and is a potential shock hazard. The installation of cover plates is recommended to be conducted on any switches missing plates by a qualified person.

Recommendation

Contact a handyman or DIY project



Downstairs Classroom

13.15.2 Switches, Lights

MISSING LIGHT GLOBE - INTERIOR
 Marginal Defect

VARIOUS LOCATIONS

There were bare bulbs present on some light fixtures. The installation of covers or globes on any fixtures in the structure without globes is recommended by a qualified person to prevent accidental breakage, and possible electrocution.

Recommendation

Contact a handyman or DIY project



Upstairs Worship Hall



Worship Hall Front Room

13.15.3 Switches, Lights

FLUORESCENT FIXTURE BALLAST BURNED OUT
 Marginal Defect

A fluorescent light fixture ballast was producing an irregular noise, this is typically an indicator that the ballast is at the end of its useful life. Evaluation and repairs as needed for proper operation is recommended by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



Classroom 217

13.15.4 Switches, Lights

 Marginal Defect**DISPLACED LIGHT FIXTURE**

There were light fixture(s) present that were not secured properly. Proper securement of the fixture(s) is recommended to be conducted by a licensed electrician as needed.

Recommendation

Contact a qualified electrical contractor.



Downstairs Closet

13.15.5 Switches, Lights

 Marginal Defect**OVERHEAD LIGHTS NOT FUNCTIONING PROPERLY**

Overhead lights that were not functioning properly (would not stay lit). Repairs are recommended as needed for proper operation by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



13.15.6 Switches, Lights

MISSING LIGHT SWITCH PLATE

VARIOUS LOCATIONS

The were light switches present with missing cover plate(s) at the time of inspection. This is a safety hazard, as someone could be shocked by touching live wires. The installation of new plates is recommended to be conducted by a qualified person on any and all plates that are missing throughout the structure.

Recommendation

Contact a qualified professional.

 Marginal Defect



Upstairs Office

13.15.7 Switches, Lights

WATER & MOISTURE INTRUSION INTO EXTERIOR LIGHT FIXTURE

EXTERIOR LIGHTING

There were various exterior light fixtures that showed signs of water & moisture intrusion damage at the time of inspection. Recommend replacement of all damaged exterior light fixtures by a qualified electrician.

Recommendation

Contact a qualified professional.

 Marginal Defect



13.16.1 Emergency Exit Directional Signs

POORLY ILLUMINATED EMERGENCY EXIT DOOR SIGNAGE

 Significant Defect

At the time of inspection there were several poorly illuminated emergency exit signs on ceiling areas in front of exit doors. Safety Standards require that any such emergency exit signs be well illuminated for ease of recognition in emergency situations. I recommend that all signs be inspected, serviced and repaired or replaced to meet current safety standards.

Recommendation

Contact a qualified professional.



13.17.1 Fire Extinguishers

HYDROLIC FIRE SUPPRESSION SYSTEM LEAKING

 Significant Defect

GYM STORAGE ROOM

There was a full commercial hydraulic fire suppression system in place that was significantly leaking at the time of inspection. Recommend evaluation and repairs as needed to this system by a qualified licensed fire suppression system technician.

Recommendation

Contact a qualified professional.



Gym Closet



Gym Closet

13.18.1 Elevator

ELEVATOR NOT FUNCTIONAL

INTERIOR ELEVATOR

There was a interior elevator present that was not operable at the time of inspection and was not tested. Commercial elevators require annual inspection and servicing by a licensed elevator contractor to meet local code. Recommend evaluation, servicing, and any needed repairs/replacements if the elevator will be utilized.

Recommendation

Contact a qualified professional.



Middle Entry Foyer

14: ATTIC, ROOF STRUCTURE, & VENTILATION

Information

General Info/Limitations: Attic View(s)

General Info/Limitations: No Attic - Commercial Metal Building

Inspection Method: Inspection Method

From Access Opening, Just Inside of Opening, From Below Access Opening



Inspection Method: Amount of Attic Physically Accessible
20-30%

Inspection Method: Amount of Attic Visually Accessible
50-60%

Inspection Method: Attic Accessibility
Hindrances/Limitations
Framing, HVAC Ductwork, Low Clearance, Electrical Conductors, Plumbing Stacks, Obstructions

Between Attic Sections,
Suspended Ceiling No Access,
Plumbing Pipes

Inspection Method: Areas of Attic Not Visibly Accessible or Fully Accessible
Various

Attic Access: Access Location(s)
Suspended Ceiling

Ventilation: Ventilation Types
Gable Vents, Fixed Roof Deck Vents



Roof Structure / Framing: Roof Structure Type
Rafters / Ceiling Joists,
Sheathing, Metal Sheeting, Metal Support Trusses

Roof Structure / Framing: Indications of Condensation Present
Yes

Roof Structure / Framing: Indications of Leak(s) Present?
Yes

Insulation: Insulation Type
Fiberglass Batts

Insulation: Insulation Amount (Average)
3 - 5"

General Info/Limitations: Accessibility Limitations

Attics are navigated as best I can; levels of high insulation, HVAC ductwork, framing, and other factors can prevent physical and visual accessibility of some areas and items. The amount of the attic that was able to be safely physically and visually inspected will be listed as an approximate percentage above. Insulation is not moved or disturbed for visual accessibility of items. The inspection of this area is limited to visual portions only. Any areas that were not visible are excluded from this inspection.

Inspection Method: Physical Limitations Information

The referenced physical obstructions listed above may block or hinder physical accessibility of the attic or portions of the attic. The inspection of the attic area and roof structure is limited to visual portions only. Any items or areas not visible are excluded from this inspection.

Inspection Method: From Opening - Configuration of Framing and HVAC Ductwork

The attic was inspected from the access opening due to HVAC ductwork and electrical conductors making accessibility dangerous. The evaluation of the attic area is limited to portions visible from the access opening only. The possibility of damage or deficiencies exists at areas that were not visible.

Inspection Method: Areas Not Accessible

There were areas of the attic that were not accessible. These areas and their items and components are excluded from this inspection.

Attic Access: Attic Access Information

The attic access(es) were inspected by reporting on their location and type, as well as looking for any significant defects in association with the access. No reportable conditions were present at the time of inspection unless otherwise noted

in this report.

Ventilation: Ventilation Information

The attic ventilation was reported on by a visual inspection of said ventilation sources, and looking for indications of improper ventilation. Measurements of ventilation sources are beyond the scope of a home inspection and were not conducted. No indications of inadequate ventilation was observed at the time of inspection unless otherwise noted in this report.

Roof Structure / Framing: Roof Structure Information

The roof structure was inspected at visible portions looking for any signs of moisture infiltration, damage, or other deficiencies. Any indications of past or present leaking is addressed in additional deficit comments in the report.

Insulation: Insulation Information

The insulation was inspected to determine the approximate depth and type. Current energy star standards recommend approximately 14 inches of insulation to achieve an R-38 rating. Depending on when the home was constructed anywhere from 8-14 inches may be present. No reportable deficiencies were observed with the insulation unless otherwise noted in this report.

Exhaust Fan(s): Exhaust Fan(s) Information

Bathroom and kitchen (as applicable) exhaust fan ducts were inspected at visible portions ensuring that they vented to exterior air and that no damage was present to their ducts. No indications of deficiencies were present unless otherwise noted in this report.

Plumbing Stack Vents: Vent Stack Information

Visible portions of the plumbing stack vent(s) were inspected looking for any disconnected portions and looking at the condition of the sheathing or decking surrounding them for indications of past or present leaks. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

Roof Structure / Framing

COMMERCIAL FLAT ROOF

Recommendations

14.5.1 Roof Structure / Framing



Marginal Defect

INDICATIONS OF PAST/PRESENT LEAKING PRESENT

There were indications of leak(s) on the rafters and/or decking in the attic. I can only report on the conditions as they existed at the time of inspection and can not confirm if this is from a past or present leak. I recommend inquiring with the sellers as they would have the best knowledge pertaining to if the leak is active, and/or if repairs were made to the roof to address this issue. If they can not produce information or invoices for repair, evaluation is recommended to be conducted by a qualified roofing contractor with repairs made as needed, if needed.

Recommendation

Contact a qualified roofing professional.

14.5.2 Roof Structure / Framing

MOISTURE DAMAGE PRESENT

There was moisture/water damage present on areas of the sheathing/decking in the attic. I can only report on the conditions as they existed at the time of inspection and can not confirm if this damage is from a past or present leak. I recommend inquiring with the sellers concerning any repairs in association with the leak, and having a roofing contractor make repairs to any damage as needed.

Recommendation

Contact a qualified roofing professional.

14.5.3 Roof Structure / Framing

ROOF LEAK PRESENT

An active roof leak was present. Repairs are recommended as needed by a roofing contractor to rectify the leak, along with repairs to any damage that may be present as a result.

Recommendation

Contact a qualified roofing professional.

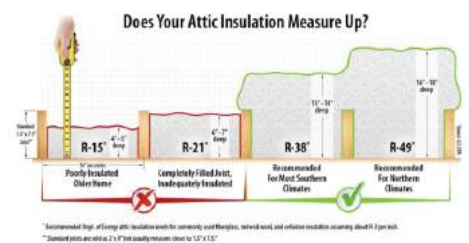
14.6.1 Insulation

TYPICAL FOR AGE - MORE RECOMMENDED

The insulation level was typical for when the home was built, but current energy star standards recommend approximately 14 inches of insulation to achieve an R-38 rating. The installation of additional insulation is recommended for comfort and energy efficiency by an insulation contractor.

Recommendation

Contact a qualified insulation contractor.



15: FOUNDATION AREA(S)

Information

General Info: Foundation Type

Slab on Grade

General Info: Visual Limitations Information

The referenced visual obstructions listed above may block or hinder visual accessibility of the floor structure and other areas. The inspection of the foundation area and floor structure is limited to visual portions only. Any items or areas not visible are excluded from this inspection. Insulation or any other item is not moved or disturbed for visual accessibility.

Crawl Space Access: Crawl Space Access Information

The crawl space access was inspected by reporting on its location as well as inspecting for any significant defects. No reportable conditions were present at the time of inspection, unless otherwise noted in this report.

Crawl Space Inspection Method: Crawl Space Inspection Information

The crawl space area was inspected where possible. I make every attempt to inspect around the perimeter of the crawl space and then throughout the crawl space evaluating areas for moisture intrusion, damage, or other deficiencies. Inherently there are often areas that are either physically or visually inaccessible due to referenced obstructions and/or clearance issues. A percentage of the amount of the crawl space that was safely and visually accessible will be listed above. The inspection of the crawl space area is limited to visual portions only, and any items or areas not visually accessible are excluded from this inspection.

Moisture Presence: Moisture Infiltration Information - Areas Below Grade

Areas below grade were inspected for signs of past or present water intrusion by examining visible portions of the foundation walls, floors, and/or soil looking for moisture stains and/or other signs of current or prior water intrusion. No indications of water/moisture intrusion was present at visible areas below grade unless otherwise noted in this report. I can only report on the conditions as they existed at the time of inspection, and can not guarantee that water will not infiltrate this area at a future time due to a heavy rain or changes in conditions. **I have inspected homes where no water or indications of water intrusion was present at the time of inspection, but days later water infiltration occurred due to a rainfall event.** For this reason, I highly recommend consulting with the sellers as to prior moisture infiltration into areas below grade.

Foundation Walls: Foundation Walls Information

Visible portions of the foundation walls were inspected looking for significant cracking, moisture intrusion, or any other indications of damage or significant deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Framing / Floor Structure: Floor Structure Information

Visible portions of the framing and floor structure were inspected looking for damage or other significant deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Floor / Slab Condition: Slab Information

The concrete slab was inspected looking for irregular cracking, signs of moisture, or significant deficiencies. No reportable conditions were present at visible portions, at the time of inspection unless otherwise noted in this report.

Any references to cracks on basement or garage concrete slabs will need to be sealed with an appropriate material by a qualified person at a minimum, regardless of the cracks size. This will prevent the possibility of moisture/water infiltration rising through the crack(s) during periods of heavy rainfall.

Ground Cover / Vapor Barrier : Vapor Barrier Information

Vapor barriers also called ground covers (if present) are inspected to ensure they cover the entirety of the soil in the crawl space, that they are not damaged or dry rotted, and contain no gaps. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Ventilation: Ventilation Information

The crawl space ventilation was reported on by stating its presence and looking for indications of improper ventilation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Garage Door Safety: Resistance Not Tested

The "Resistance" test of the garage door(s) was not conducted due to the possibility of damaging the door and/or the opener. Garage doors contain two safety measures to prevent someone from being injured or pinned by a closing garage door. Photoelectric eyes, and the ability to auto reverse, if the door meets resistance or a solid object. I recommend testing this feature for functionality once taking ownership of the home. The test can be conducted by placing a 2" X 4" laid at on the ground, underneath of the door. When the door is closed, it should contact the 2" X 4", and auto-reverse. If it does not, adjustments to the "force close" setting on the opener will need to be made, or a garage door contractor should evaluate.

Exterior Door: Exterior Basement Door Information

The exterior basement door was inspected by looking for damage, lack of proper flashing, deficiencies with its operation, etc. No reportable deficiencies were present at the time of inspection unless otherwise noted in this report.

Stairs: Stairs Information

The stairs were inspected by evaluating the risers and treads, applicable railings, etc. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

16: DETACHED STRUCTURE

17: ENVIRONMENTAL CONCERNS

Information

Odors Present: Odors Information

If any odors are noticed in the home I will include them in this section with recommendations made as needed. If no additional information is included in this report in respect to odors, then no discernible odors were present or noticed in the home at the time of inspection.

Asbestos: Asbestos Information

The possibility exists that homes built prior to 1978 may contain building components or items (textured ceiling material, adhesives, tile, tapes, insulation, etc) that contain asbestos. In accordance with the Standards of Practice these items are not reported on during a home inspection. **If I see obvious signs of a material that I may believe to contain asbestos, I will immediately advise of it's presence and offer further evaluation through an ancillary inspection specific to asbestos if agreed upon. In the absence of such agreement and specialty asbestos testing, any other comments pertaining to possible asbestos are strictly provided as a courtesy, but these individual references should not be construed as an all-inclusive list.** Furthermore, any remodeling or repairs that may take place in the future may reveal asbestos or other environmental hazards that were not visible at the time of inspection.

If asbestos is a concern, you are advised to have a full environmental inspection by an environmental contractor prior to the end of your inspection contingency period.

More information can be found at this link: <https://www.epa.gov/asbestos/protect-your-family-exposures-asbestos>

Lead Based Paint: Lead Based Paint Information

The possibility exists that homes built prior to 1978 may contain paint that was lead based. In accordance with the Standards of Practice lead based paint is not reported on, or tested for during a home inspection unless ancillary services are selected and arranged with us as part of your home inspection. **If not, and lead based paint is a concern, you are advised to consult an environmental company prior to the end of your inspection contingency period and have additional inspections specializing in environmental hazards.**

Fungal Growth: Fungal Growth and Mold Information

In accordance with the standards of practice reporting on the presence of mold is excluded from a home inspection. **If I see obvious signs of fungal growth, I will recommend further evaluation and testing as a courtesy, but these individual references should not be construed as an all-inclusive listing of areas of fungal growth present.** Furthermore, the removal of personal belongings or any remodeling or repairs that may take place in the future may reveal fungal growth or mold that was not visible at the time of inspection. **If mold is a concern, you are advised to have a mold inspection and indoor air quality testing conducted by a certified mold inspector or industrial hygienist prior to the end of your inspection contingency period.**

Pest/Insect/Wildlife Concerns: WDI-Termite Inspection Recommended

Inspecting for, and reporting on the presence of WDI activity (wood destroying organisms) including but not limited to; termites, powder post beetles, carpenter ants, carpenter bees, etc. is beyond the scope of a home inspection, is excluded by the Standards of Practice, and is excluded from this inspection. **It is highly recommended that you have a WDI-Termite inspection prior to the end of your inspection contingency period. While we do provide a basic visual inspection as part of our home inspection, any comments made in this report in regards to wood destroying insects was done as a courtesy only, should not be viewed as an all-inclusive listing of activity, and requires further evaluation by a licensed pest control company.**

18: IRRIGATION SYSTEM PRESENT

19: POOL

20: RECOMMENDATIONS

Information

Recommendation Summary

1. Full Roof Evaluation (including church steeples) with repairs or replacements as needed to prevent water/moisture intrusion.
2. Guttering & Roof Drainage repairs/replacements as needed to prevent water/moisture intrusion.
3. Pressure washing, evaluation, repairs and sealing exterior sparge cladding on structure.
4. Full HVAC evaluation of structures multi-zoned units with repairs/replacements and removals as needed to ensure proper and efficient HVAC system - by a qualified commercial HVAC contractor. **(See Attached HVAC System Report)**
5. Full evaluation of commercial hydraulic fire suppression system, which was significantly leaking and repairs as needed to this system by a qualified licensed fire suppression system technician.
6. Full evaluation of commercial central fire alarm system with repairs/replacements as needed by a licensed fire alarm system contractor.
7. Evaluation of current fixtures in bathrooms and kitchens - including water heaters - for any needed repairs/replacements by a qualified plumber.
8. Recommend Sewer Scope due to age of structure and presence of cast iron & galvanized steel water distribution, venting and discharge piping.
9. Repairs to noted electrical fixture and switch issues by qualified electrician.
10. Repairs to any and all damaged ceilings, walls and flooring as noted in report.

21: WELL

22: FINAL CHECKLIST

STANDARDS OF PRACTICE

Inspection Information

Grounds

In accordance with the Standards of Practice, the home inspector **shall observe** Exterior electrical receptacles and the presence of GFCI protection (GFCI protection was not required prior to 1975, but upgrading is recommended for safety). Decks, balconies, stoops, steps, areaways, porches, and applicable railings that are directly attached to the structure. Vegetation, grading, and drainage of grounds, driveways, patios, walkways, and retaining walls will be inspected with respect to their effect on the condition of the structure.

The home inspector is **not required to observe**: Fences and gates, Geological conditions, Soil conditions, Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities), Detached buildings or structures, or the Presence or condition of buried fuel or waste storage tanks. The home inspector is **not required to**: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

Roof

In accordance with the Standards of Practice, the home inspector shall observe: The roof covering, roof drainage systems, visible flashings, skylights, chimneys, and roof penetrations; and report on signs of leaks or abnormal condensation on building components. **The home inspector shall**: Describe the type of roof covering materials, and Report on the method used to observe the roofing.

The home inspector is not required to: Walk on the roofing (although every safe attempt to do so, will be taken), report on the age or remaining life of the roof covering, move leaves, snow, or other items on the surface that may block visual accessibility, or observe attached accessories including but not limited to solar systems, antennae, satellite dishes, and lightning arrestors. No claims will be made as to the remaining roof material life expectancy, and no guarantee or warranty should be expected from comments or observations. The sellers or the occupants of a residence will generally have the most relevant knowledge of the roof and of its history. Therefore, I recommend that you consult with the sellers about the age of the roof covering and that you either include comprehensive roof coverage in your home insurance policy or that you obtain a roof certification from an established local roofing company.

Exterior

In accordance with the Standards of Practice **the home inspector shall observe from ground level**: - Wall cladding, flashings, and trim; entryway doors and a representative number of windows; eaves, soffits, and fascias. **The home inspector shall**: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; and probe exterior wood components where deterioration or damage is suspected.

The home inspector is not required to observe: Storm windows, storm doors, screening/screens, shutters, awnings, and similar seasonal accessories; Presence of safety glazing in doors and windows; Detached buildings or structures; or the Presence or condition of buried fuel storage tanks, water tanks, or septic tanks. **The home inspector is not required to**: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

Kitchen

In accordance with the Standards of Practice, the inspector will examine and report on the condition and operation of the dishwasher by initiating a cycle, the range by testing heating elements and the oven, the mounted microwave by starting a warm-up cycle, test the hot/cold water supply at the fixture, look for leaks in the plumbing and fixtures/faucet, examine counters, walls, ceilings, floors, a representative number of cabinets, windows, doors, and the presence of GFCI receptacles and their operation, if applicable. Homes built prior to 1987 were not required to have GFCI receptacles in the kitchen, but upgrading is recommended for safety.

The home inspector is not required to report on: Clocks, timers, self-cleaning oven functions, or thermostats for calibration or automatic operation; Non-built-in appliances; or Refrigeration units. **The home inspector is not required to operate**: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Bathroom(s)

In accordance with the Standards of Practice, the inspector will examine and report the condition of the: sinks, showers, tubs, enclosures, toilets, exposed plumbing, presence of leaks from plumbing, fixtures, and/or faucets. As well as the walls, floors, ceilings, a representative number of windows and doors, heating/cooling source, ventilation, and presence of GFCI protection, if applicable. GFCI protection in bathrooms was not required in homes built prior to 1975, but upgrading is recommended for safety.

The home inspector is not required to: Operate any valve except water closet flush valves, fixture faucets, and hose faucets; or Inspect the system for proper sizing, design, or use of proper materials.

Interior Areas

In accordance with the Standards of Practice, **the home inspector shall observe** walls, ceilings, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows; fireplaces by examining the firebox, operating the damper, and reporting on the presence of a gas shut off valve. **The home inspector shall:** Operate a representative number of receptacles, switches, windows, and interior doors; and report on signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting, tile; or Draperies, blinds, or other window treatments. Gas fireplaces are not tested for functionality, and the pilot light will not be lit if it's off at the time of inspection. An evaluation by a gas company is recommended before using any gas appliances in the home.

Laundry

In accordance with the Standards of Practice **the inspector will examine and report on the condition of:** the exposed plumbing; the presence of a 240-volt receptacle, GFCI receptacles, dryer vent condition, and termination, as well as the walls, floors, ceilings, doors, cabinets, counters, and windows, if applicable.

The inspector is not required to: Inspect or move washers and dryers, operate water valves where the flow end of the faucet is connected to an appliance, Inspect the plumbing for proper sizing, design, or use of proper materials.

Garage

In accordance with the Standards of Practice **the inspector will examine:** the Attached garage and report the condition of the: garage door(s) (including related parts), the garage door opener, the presence and operability of photoelectric eyes (safety feature), and the doors ability to auto-reverse when met with resistance, doors, ceilings, floors, a representative number of windows and receptacles, and the presence of GFCI receptacles. Current safety standards require the presence of 1/2" Type X drywall for wall/ceiling surfaces, as well as a steel or fire-rated door between the garage and living areas for fire safety. We recommend that these improvements be considered for the safety of the occupants. The home inspector is **not required to inspect:** Remote controlled garage door opener transmitters.

Heating, Cooling

In accordance with the State of Tennessee Standards of Practice, **the home inspector shall observe:** the permanently installed heating and cooling systems including heating and cooling equipment that is central to the home; visible ducts and piping, air filters, registers, and the presence of an installed heating and cooling source in each room. **The home inspector shall describe** the energy source and heating equipment. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance. **The home inspector is not required to:** Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. The efficiency of the units and load testing is not conducted. Air conditioning units can not be tested when temperatures are lower than 60 degrees, due to the possibility of damaging the compressor. Clients are advised to have an HVAC company perform maintenance on the system on an annual basis.

Water Heater

In accordance with the Standards of Practice, the inspector will examine and report the condition: of the water heater enclosure, plumbing supply, energy source, venting, and TPR valve, if applicable. The inspector is not required to: activate the system if it is powered down, or the pilot flame is not lit, Inspect the system for proper sizing, design, or use of proper materials.

Plumbing

In accordance with industry standards **the home inspector shall observe at visible portions:** Interior water supply and distribution system, including: piping materials and supports; fixtures and faucets; functional flow; leaks; and cross connections. Interior drain, waste, and vent system, including: traps; drain and waste lines; leaks; and functional drainage. **The home inspector shall describe:** Water supply and distribution piping materials; Drain, waste, and vent piping materials; and Location of the main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Electrical

In accordance with the Standards of Practice, **the home inspector shall observe** Service entrance conductors; Service equipment, grounding equipment, the main overcurrent device, and main and distribution panels; Amperage and voltage ratings of the service (if the conductors' sizing text is present/legible); Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages. **The home inspector shall describe** Service amperage and voltage (if known); Service entry conductor materials; Service type as being overhead or underground; and the location of main and distribution panels. **The home inspector shall report on:** the presence of any observed aluminum branch circuit wiring.

The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any overcurrent device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Motion or Dusk to Dawn lighting, Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

Attic, Roof Structure, & Ventilation

In accordance with the Standards of Practice, **the inspector will examine:** the attic area and report on the condition of the access opening (including location), insulation type (and current depth), ducts, visible electrical components, exhaust terminations, plumbing components, and ventilation if applicable.

The inspector is not required to: move or disturb insulation, or report on the adequacy of current ventilation, Calculate the strength, adequacy, or efficiency of any system or component including framing. Enter any attic that may damage the property or its components or be dangerous to or adversely affect the health or safety of the home inspector or other persons. Therefore, I do not attempt to enter attics with less than 36" of headroom; where insulation obscures the ceiling joists; or where ducts block access. In these cases I will evaluate from the access opening as best I can.

Foundation Area(s)

In accordance with the standards of practice, **the inspector will examine and report on the condition of:** the foundation walls, the framing (including probing of any framing that looks to have damage/deterioration), columns / piers, the crawl space access, and insulation, if applicable.

The inspector is not required to: enter any area that could be considered a safety hazard to the inspector; report on the adequacy of structural components; or report on spacing, span, or size of structural components. Ductwork, framing, plumbing, and insulation may block the visual accessibility of some areas. The inspection is limited to the conditions on the inspection day; I inspect several items to try and determine if moisture is or has infiltrated the basement/crawl space area. But, can not guarantee that water will not infiltrate the area at a future time due to conditions unforeseen at the time of inspection.

Environmental Concerns

Items reported on in this section are beyond the scope of a structure inspection and were included as a courtesy for your information, these items should not be viewed as an all-inclusive listing of deficiencies in the related area of concern. Evaluations are recommended by qualified professionals in any environmental or pest related field prior to the end of your inspection contingency period.

Final Checklist

Final checklist showing the home was left as it was found, and was locked when complete.

