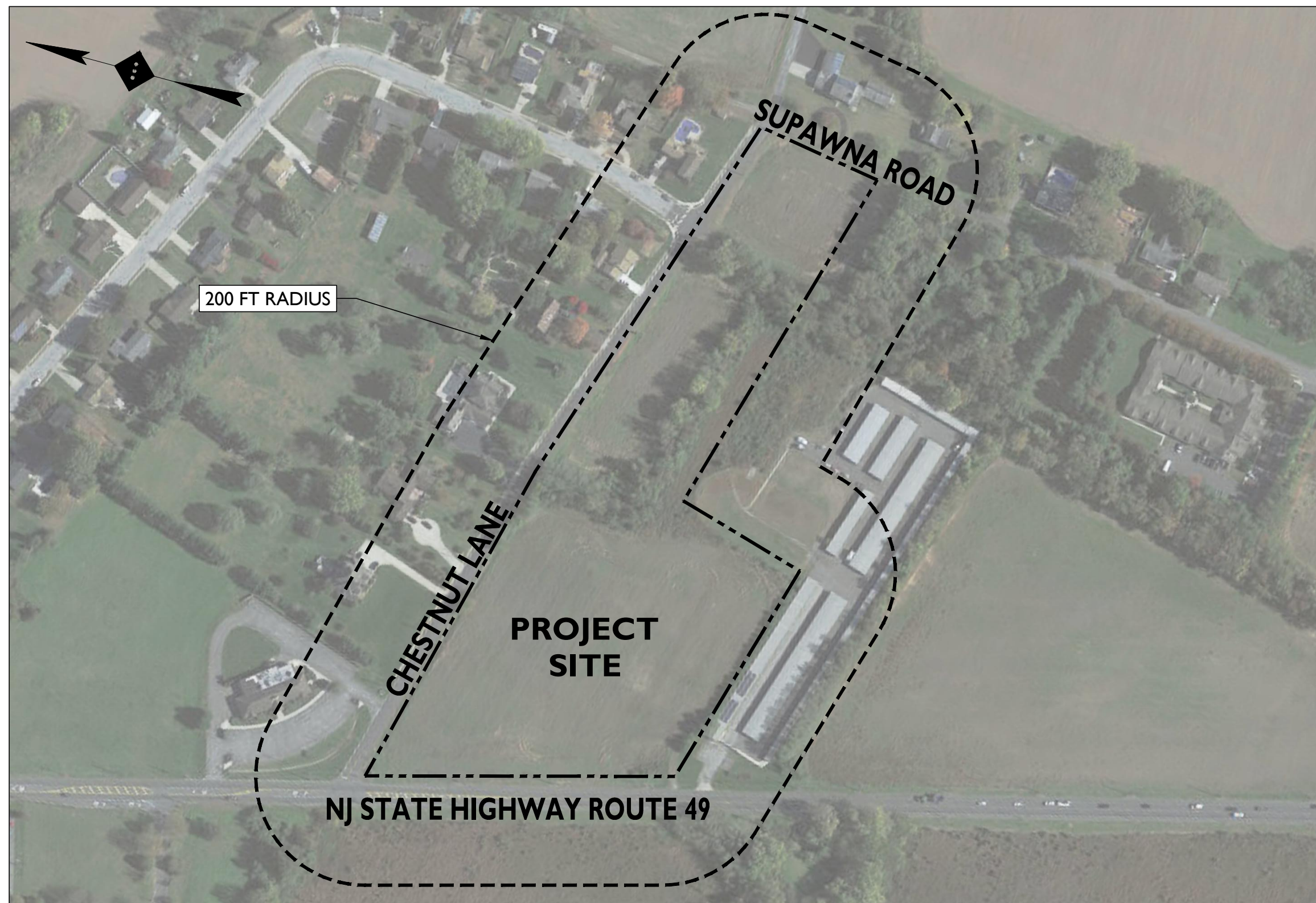


SOURCE: USGS 2015 SALEM & DELAWARE CITY TNM GEOSPATIAL MAP

LOCATION MAP

SCALE: 1" = 1000'



SOURCE: GOOGLE EARTH PRO 06.30.2023

AERIAL MAP

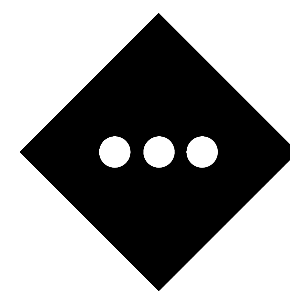
SCALE: 1" = 200'

TOWNSHIP OF PENNSVILLE 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	PROPERTY ADDRESS
4401	51	3 MILLER ROAD HOWELL, NJ 07731	SUPAWNA RD & CHESTNUT LN
4501	22	44 LENAPE DRIVE PENNSVILLE NJ 08070	44 LENAPE DR
4501	23	46 LENAPE DRIVE PENNSVILLE NJ 08070	46 LENAPE DR
4502	19	20 CHESTNUT LANE PENNSVILLE NJ 08070	37 LENAPE DR
4502	20	24 CHESTNUT LN PENNSVILLE NJ 08070	24 CHESTNUT LN
4502	21	30 CHESTNUT LANE PENNSVILLE NJ 08070	30 CHESTNUT LN
4502	22	16 CHESTNUT LN PENNSVILLE NJ 08070	16 CHESTNUT LN
4502	23	10 CHESTNUT LANE PENNSVILLE NJ 08070	10 CHESTNUT LN
4502	24	6 CHESTNUT LANE PENNSVILLE NJ 08070	6 CHESTNUT LN
4502	25	PO BOX 566 PENNS GROVE NJ 08069	740 S BROADWAY
4503	1	90 N BROADWAY PENNSVILLE NJ 08070	CHESTNUT LN
4503	3	49 MAINE TRAIL MEDFORD NJ 08055	812 S BROADWAY
4503	3.01	282 CHESTNUT ROAD BRIDGETON NJ 08302	5 BROADWAY
4503	3.02	49 MAINE TRAIL MEDFORD NJ 08055	SUPAWNA ROAD
4503	3	49 MAINE TRAIL MEDFORD NJ 08055	812 S BROADWAY
4504	7	PO BOX 1 TITUSVILLE NJ 08560	SUPAWNA RD
4504	13	42 SUPAWNA ROAD PENNSVILLE NJ 08070	42 SUPAWNA RD
4504	14	44 SUPAWNA RD PENNSVILLE NJ 08070	44 SUPAWNA RD
4701	21.01	460 PARK AVENUE 11TH FLR NEW YORK NY 10022	749 S BROADWAY
4701	23	300 WESTGATE CENTER DR #1 HADLEY MA 01035	813 S BROADWAY



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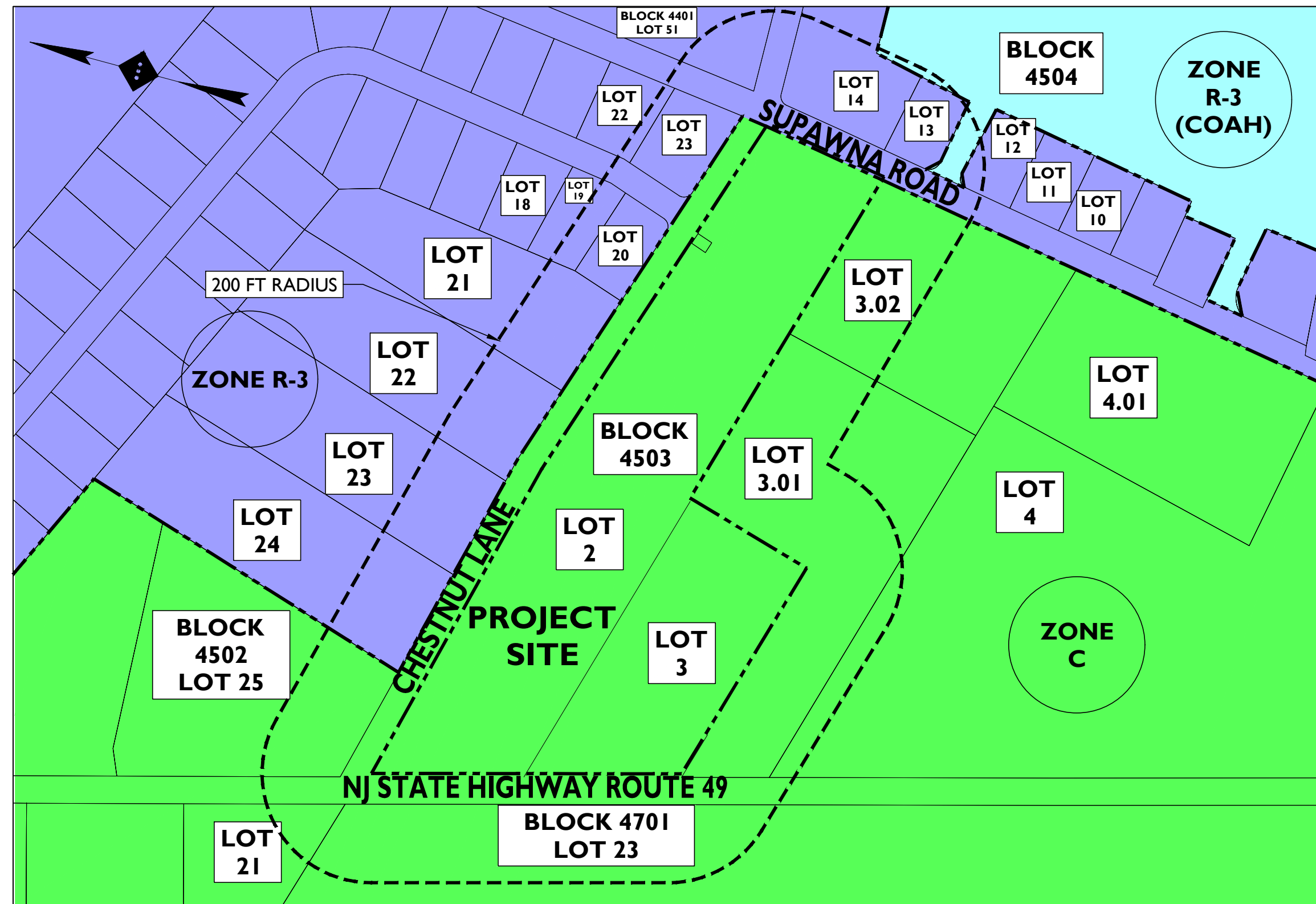
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PRELIMINARY & FINAL MAJOR SITE PLAN FOR HSC PENNSVILLE LLC PROPOSED TRACTOR SUPPLY CO.

BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP, SALEM COUNTY, NJ



SOURCE: PENNSVILLE TOWNSHIP ZONING MAP & TAX MAP SHEET 45

TAX MAP

SCALE: 1" = 200'

APPLICANT

HSC PENNSVILLE LLC
805 TRIONE STREET
DAPHNE, ALABAMA 36526
DARROW MANSFIELD
(518) 222-5323
DARROW@HIXSNEDEKER.COM

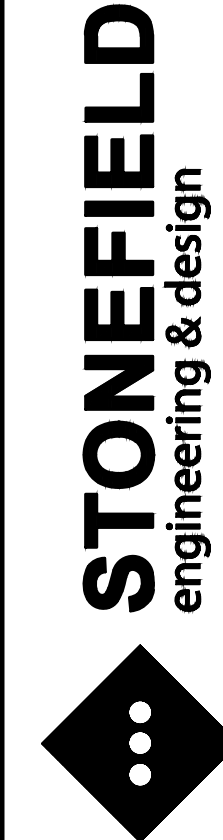
OWNERS

LOT 2 - IACONO, GIOVANNI
1525 WINDING BROOK RUN
BOOTHWYN PA 19061

LOT 3 - GALATI, JOSEPH & DEBRA
49 MAINE TRAIL
MEDFORD NJ 08055

ATTORNEY

LAWRENCE POWERS
HOAGLAND, LONGO, MORAN, DUNST & DOUKAS, LLP
40 PATERSON STREET
NEW BRUNSWICK, NJ 08903



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TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP
SALEM COUNTY, NJ



PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: PRI-220476

TITLE:

COVER SHEET

DRAWING:

C-1

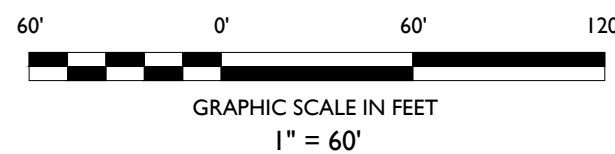
SHEET INDEX

DRAWING TITLE	SHEET #
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DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
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CONSTRUCTION DETAILS	C-16

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA SURVEY BY STONEFIELD ENGINEERING & DESIGN, LAST REVISED 07/31/2023
 - PRELIMINARY STORMWATER MANAGEMENT AREA EVALUATION PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 08/11/2023
 - REPORT OF GEOTECHNICAL INVESTIGATION PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 06/30/2023
 - AERIAL MAP RETRIEVED FROM GOOGLE EARTH PRO ON 06/30/2023
 - LOCATION MAP RETRIEVED FROM USGS DATED 2015
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

I. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



SYMBOL	DESCRIPTION
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT
	CONTOUR (MAJOR/MINOR)
	SPOT ELEVATION
	TOP OF CURB ELEVATION
	GUTTER ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	DOOR SILL ELEVATION
	TREE W/ TRUNK DIAMETER
	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
	PROPERTY CORNER EVIDENCE
	TITLE REPORT EXCEPTION
	WIRE FENCE
	EDGE OF WOODS
	OVERHEAD WIRES
	APPROXIMATE LOCATION OF UNDERGROUND GAS LINE
	APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER LINE
	APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER LINE
	APPROXIMATE LOCATION OF UNDERGROUND STORM SEWER LINE
	STATE PLANE
	DEED DIMENSION
	TITLE REPORT PARCEL
	WETLAND FLAG
	SIGN
	TRAFFIC SIGNAL
	MANHOLE
	INLET
	CLEAN OUT
	GAS METER
	ELECTRIC METER
	GAS VALVE
	WATER VALVE
	HYDRANT
	UTILITY POLE
	UTILITY POLE WITH LIGHT

PRELIMINARY & FINAL MAJOR SITE PLAN

HSC PENNSVILLE LLC
PROPOSED TRACTOR
SUPPLY CO.

TSC TRACTOR SUPPLY CO.
TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP
SALEM COUNTY, NJ



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[illegible]

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SCALE: 1" = 60' PROJECT ID: PRI-220476

TITLE:

EXISTING CONDITIONS PLAN

DRAWING:

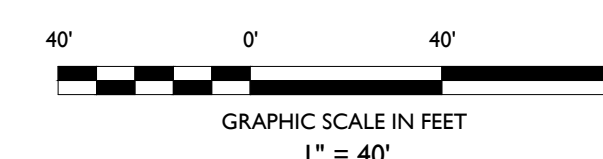
C-2



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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE ENTIRE RANGE OF ASSOCIATED DEMOLITION REFERENCE INFORMATION INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM THE OWNER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXISTING ASSURANCE SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION. REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
6. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL DEMOLISHED DEBRIS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND TO BE IN COMPLIANCE WITH THE ABOVE REGULATIONS.



ISSUE	DATE	BY	DESCRIPTION
6	01/08/2024	LR	FOR MUNICIPAL RESUBMISSION
5	01/02/2024	LR	FOR INTERNAL CLIENT REVIEW
4	12/06/2023	GC	FOR COMPLETENESS RESUBMISSION
3	10/25/2023	GC	FOR COUNTY & SCD SUBMISSION
2	09/26/2023	LR	FOR MUNICIPAL SUBMISSION
1	09/18/2023	GC	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN

HSC PENNSVILLE LLC

**PROPOSED T
SUPPLY CO.**



TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP
SALEM COUNTY, NJ



SCALE: 1" = 40' PROJECT ID: PRI-220476

TITLE:


DEMOLITION PLAN

DRAWING:

C-3



1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CALIFORNIA PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. THE CONTRACTOR SHALL BE THE STATE GRANTOR OF CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND THE STABILITY OF THE SUBGRADE.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL TAKEOUT CURB GRADE SHEETS TO THE ENGINEER AND A ENGINEERING & CONSTRUCTION, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY LOCATIONS AND RESEAL EXISTING UTILITY LOCATIONS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AGENCY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
- CURB GUTTERS: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AROUND ALL EXISTING AND NEW CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET. CONTRACTORS, WHEN ASSESSING THE PROPOSED UTILITY DEPTHS, IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL MEASURES AND METHODS SHALL BE USED TO PROTECT THE SAME. REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED TO THE CITY OF THE SAN JOSE SEWER SYSTEM. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- 40' 0' 40' 80'
- 
- GRAPHIC SCALE IN FEET
1" = 40'

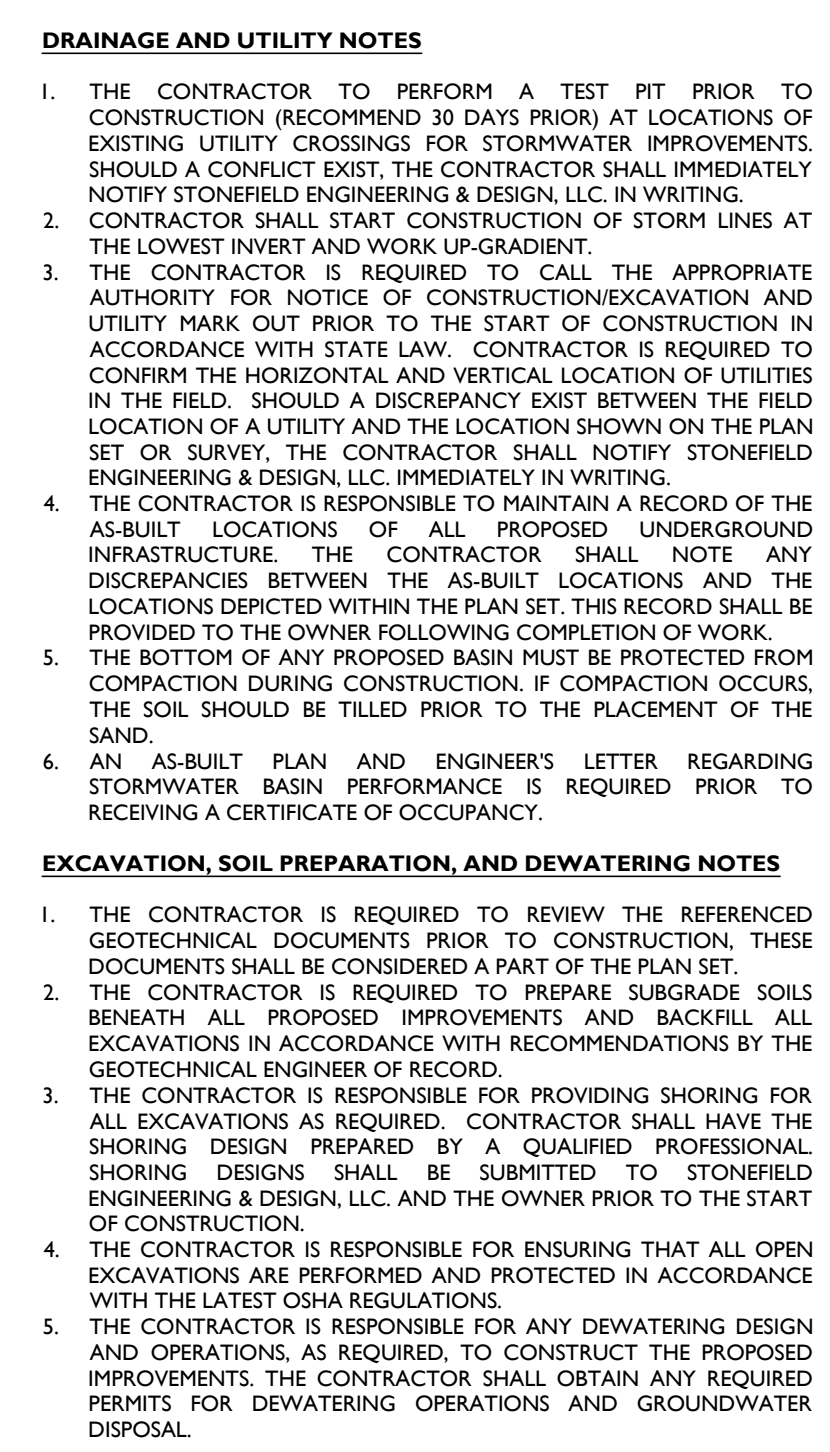
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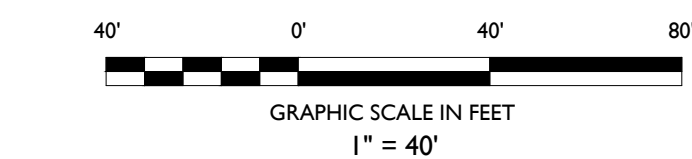
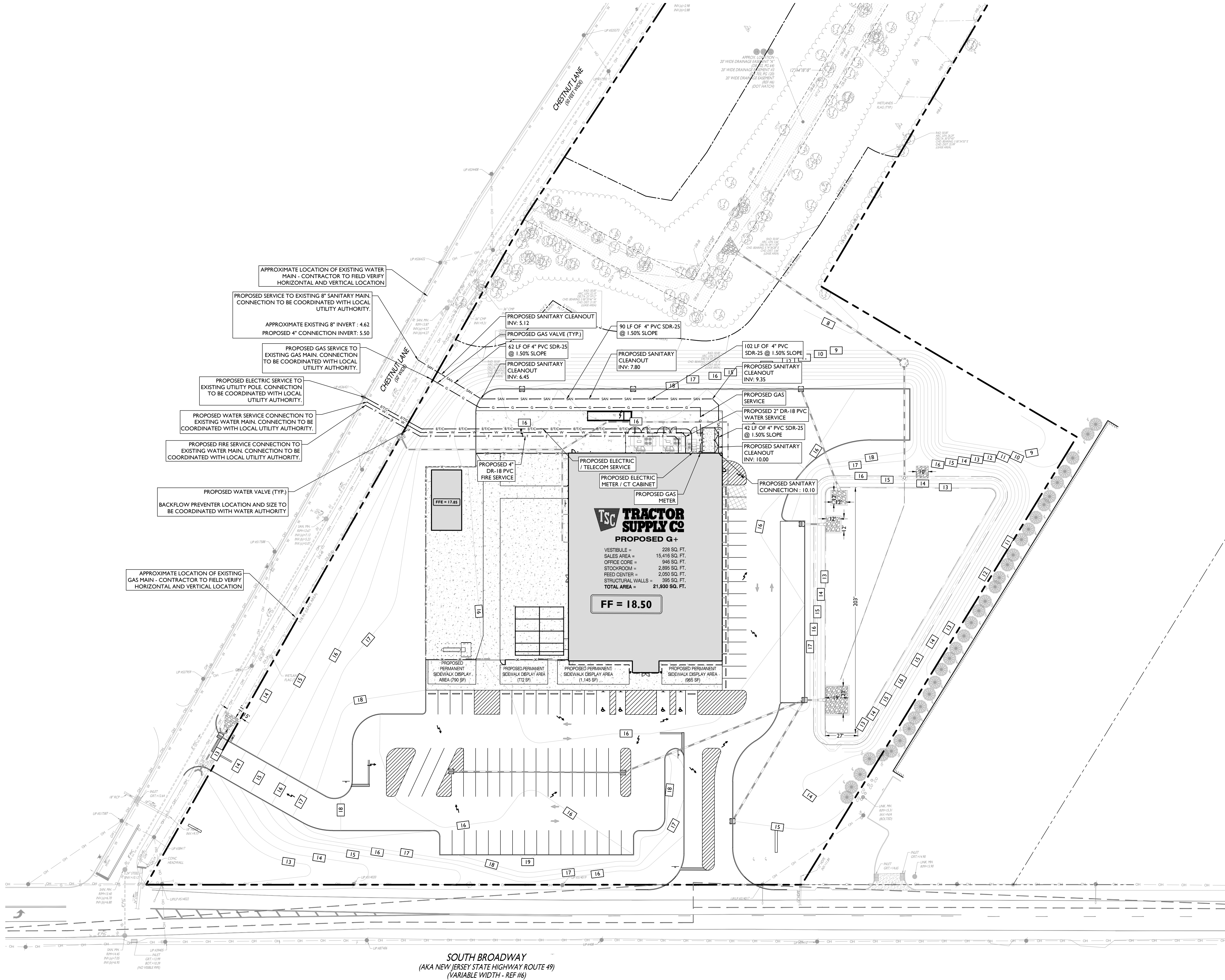
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PENNSVILLE TOWNSHIP
SALEM COUNTY, NJ





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SCALE: 1" = 40'	PROJECT ID: PRI-220476
TITLE:	
STORMWATER MANAGEMENT PLAN	
DRAWING:	
C-6	

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SALEM COUNTY, NJ

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE NO. 55094
LICENSED PROFESSIONAL ENGINEER

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


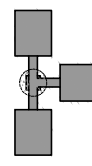
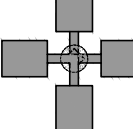
SCALE: 1" = 40' PROJECT ID: PRI-220476

TITLE:

UTILITY PLAN

DRAWING:






C-7

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	12	LITHONIA D- SERIES LED WALL LUMINAIRE	TYPE T2M	0.9	LITHONIA	DSXW1 LED 20C 700 50K T2M MVO
	B	3	HI-LITE MFG WALL MOUNT CANOPY	TYPE T2M	0.9	HILITE	NEWH-CGU-1B LED3
	C	4	RSX1 POLE LIGHT	TYPE RS	0.9	ACUITY	RSX1 LED P3 50K R3S EGFV_2
	D	12	RSX1 POLE LIGHT	TYPE RS	0.9	ACUITY	RSX1 LED P3 50K R3S EGFV_2
	E	2	RSX1 POLE LIGHT	TYPE RS	0.9	ACUITY	RSX1 LED P3 50K R3S EGFV_2
	F	2	RSX1 POLE LIGHT	TYPE RS	0.9	ACUITY	RSX1 LED P3 50K R3S EGFV_2

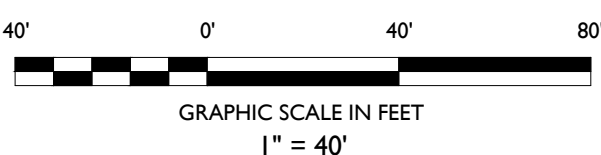
LIGHTING REQUIREMENTS		
CODE SECTION		PROPOSED
§ 8.3.E.1	LIGHT HEIGHT CANNOT EXCEED THIRTY-FIVE (35) FEET.	20 FT
§ 8.3.E.1	LIGHTS MUST BE SHIELDED TO RESTRICT MAXIMUM ILLUMINATION APEX TO 150 DEGREES.	COMPLIES
§ 8.3.E.2	THERE MUST BE LIGHTING ALONG STREETS, PARKING AREAS, AT ALL INTERSECTIONS, AND AT ALL BUILDING ENTRANCES/EXITS.	COMPLIES
§ 8.3.E.4	AVERAGE FOOTCANDLE FOR PARKING LOTS/WALKWAYS IN BUSINESS AND SIMILAR AREAS: 2 FC	2.72 FC
§ 8.3.E.4	AVERAGE FOOTCANDLE FOR COMMERCIAL LOADING AREA: 10 FC	3.7 FC (V)
§ 8.3.E.4	AVERAGE FOOTCANDLE FOR STREET LIGHTING AT INTERSECTIONS: 1.2 FC	1.2 FC


(V) VARIANCE




<u>SYMBOL</u>	<u>DESCRIPTION</u>
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

- ## GENERAL LIGHTING NOTES
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO MANUFACTURING VARIATIONS, VOLTAGE FLUCTUATIONS, SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROPRIATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURES.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - FLUORESCENT SODIUM: 0.80
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING PRIOR TO START OF CONSTRUCTION OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND SPECIFICATIONS FOR ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
- ## ATM LIGHTING NOTES:
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RELAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - EXISTING 'X' MINIMUM WATTAGE
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE INDICATED.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURES SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY EXISTING BURNING MOUNTED LIGHTING FIXTURE WILL NOT INTERFERE WITH THE PROPOSED LIGHTING FIXTURES. ANY ELEMENT (E.G. CANOPY SUPPORT BEAMS), THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL TREES WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO 6 FEET ABOVE GRADE. THE CONTRACTOR SHALL REMOVE ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING AND FIXTURES. THE CONTRACTOR SHALL NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THE PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND SIGNAGE STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES SHALL BE IDENTIFIED WITHIN THE PLAN SET. THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET, THE PROPOSED LIGHTING LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM LIGHTING LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UNCONTROLLED LIGHT FIXTURES.




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6	01/08/2024	LR	FOR MUNICIPAL RESUBMISSION						
5	01/02/2024	LR	FOR INTERNAL CLIENT REVIEW						
4	12/06/2023	GC	FOR COMPLETENESS RESUBMISSION						
3	10/25/2023	GC	FOR COUNTY & SCD SUBMISSION						
2	09/26/2023	LR	FOR MUNICIPAL SUBMISSION						
1	09/18/2023	GC	FOR MUNICIPAL SUBMISSION						

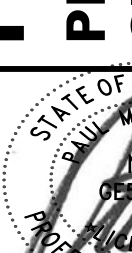

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PRELIMINARY & FINAL MAJOR SITE PLAN
HSC PENNSVILLE LLC
PROPOSED TRACTOR
SUPPLY CO.


**TSC TRACTOR
SUPPLY CO.**



PAUL D. MUTCH Jr., P.E.
 NEW JERSEY LICENSE No. 55094
 LICENSED PROFESSIONAL ENGINEER

TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
 NJ ROUTE 49 and CHESTNUT LANE
 PENNSVILLE TOWNSHIP
 SALEM COUNTY, NJ


STONEFIELD
 engineering & design

SCALE: 1" = 40' PROJECT ID: PRI-220476
 TITLE: LIGHTING PLAN
 DRAWING: C-8



CUMBERLAND COUNTY SCD STATEMENTS:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE APPLICABLE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROJECT STRUCTURES/UTILITIES.
 2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THE PLAN SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE DISTRICT ENGINEER AND SEDIMENT CONTROL IN NEW JERSEY.
 3. ALL APPLICABLE SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS RESTORED TO ORIGINAL OR BETTER CONDITION.
 4. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEED AND MULCHED TO PREVENT EROSION.
 5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEED AND MULCHED TO PREVENT EROSION.
 6. TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH MULCH OR STRAW MULCH. MULCH SHALL BE APPLIED AT A RATE OF TWO (2) TONS PER ACRE. THE MULCH SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 7. ALL SOIL EROSION AND SEDIMENTATION STRUCTURES WILL BE KEPT MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
 8. SOIL STOCKPILES ARE NOT TO BE PROTECTED WITHIN FIFTY (50) FEET OF ANY FACILITY. THE NEW JERSEY SEDIMENT CONTROL ACT, THE BASE OF ALL STOCKPILES SHOULD BE LOCATED BY A HOLE BARRIER OR SEDIMENT FENCE, PROPOSED IN THE PLAN.
 9. A STONE CURB, THE CLEANING PAD, WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. THE RIP-RAP PAD MUST BE 100 FEET LENGTH AND THE STONE MUST BE 13" - 14" IN SIZE PLACED 12" THICK AND THE FULL WIDTH OF THE ENTRANCE. IT SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC FIBER FABRIC AND MAINTAINED/ THE STRUCTURE MUST BE DELIMATED AND DETAIL INCLUDED OF THE PLANS.
 10. IF A STONE CONSTRUCTION ENTRANCE IS TO BE USED AS AN EXIT ON TO A MAJOR HIGHWAY, A THIRTY (30) FOOT PAVED TRANSITION AREA SHALL BE INSTALLED.
 11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
 12. PAVED DRIVEWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 13. ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (FILTER DETAILS APPEAR ON PLAN).
 14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
 15. ALL Dewatering operations must discharge directly into a sediment filtration device. The sediment filter must be capable of filtering the sediment and BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. DETAILS AND MAINTENANCE OF THE DEVICE MUST BE INCLUDED ON THE PLAN.
 16. THE USE OF THE STRUCTURE MUST BE APPROVED BY THE DISTRICT EROSION CONTROL INSPECTOR PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
 17. THE CUMBERLAND/SALEM SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
 18. ANY HILLSIDE THAT IS MORE THAN 10% SLOPE OR ANY HILLSIDE MUST BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL, HAVING A P OF 0.06 OR MORE BEFORE SEEDING PREPARATION.
 19. A SHAUL OF THE CUMBERLAND/SALEM DEVELOPER TO PROVIDE CONFIRMATION OF LINE, FERTILIZER AND SEED APPLICATION RATES AT THE REQUEST OF THE CUMBERLAND/SALEM DISTRICT.
 20. N.J.A.C. 44-3.43, ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION STANDARDS ARE FULLY COMPLETED AND PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE
- BY THE MUNICIPALITY.
N.J.A.C. 44-3.43, ET SEQ., REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR A FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.

11. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION AND SEDIMENT CONTROL DISTRICT.

12. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.

13. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ALL SUBSEQUENT OWNERS.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS, AND PROTECT THE STOCKPILE WITH EROSION CONTROL MEASURES. PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.

15. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE DISTRICT ENGINEER. THE REVISED PLAN MUST BE APPROVED BY THE DISTRICT ENGINEER. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR EROSION AND SEDIMENT CONTROL.

16. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.

17. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
- AREA SUBJECT TO SOIL COMPACTION TESTING
27.038 SF / 0.62 AC

AREA SUBJECT TO SOIL
COMPACTION TESTING
27,038 SF / 0.62 AC













PROPOSED LIMIT OF
DISTURBANCE
(245,415 SF, 5.63 AC)

PROPOSED 15"
FES #4 INV : 10.48

AREA SUBJECT TO SOIL
COMPACTION TESTING
19.801 SF / 0.45 AC

SOUTH BROADWAY
(AKA NEW JERSEY STATE HIGHWAY ROUTE 49)
(VARIABLE WIDTH - REF #6)

PROPOSED 30-FOOT PAVED
TRANSITION FROM EDGE OF STATE
HIGHWAY 49 AND STABILIZED
CONSTRUCTION ENTRANCE

SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
 LOD 	PROPOSED LIMIT OF DISTURBANCE
 SF 	PROPOSED SILT FENCE
 TPF 	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER
	PROPOSED OPEN SPACE COMPACTION AREA

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CONTROL MEASURE ACTIVITY DURING AND THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.
4. STREAM ENCROACHMENT REGULATIONS ARE NOT APPLICABLE.

STABILIZATION SPECIFICATIONS:

- I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATION
FERTILIZER - APPLY 1 LB/BS/1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL, AVERAGE 100,000 SEEDS PER LB. OF SEED OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTATED STRAW OR HAY AT RATE OF 70 TO 90 LBS./1,000 SF. APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
I.B. PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATION
FERTILIZER - APPLY 1 LB/BS/1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 4 POUNDS PER 1,000 SF OR 175 POUNDS PER ACRE OR OTHER APPROVED SEEDS.
PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).
MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF. APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

DUST CONTROL NOTES

2. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
3. VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 5-1
4. PERMANENT VEGETATIVE COVER - SEE STANDARD OF STABILIZATION, PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 4-1
5. SPRAY-ON ADHESIVES - ON MINERAL SOLS (NOT EFFECTIVE ON MUCK) SOLIDS, KEEP TRAFFIC OFF THESE AREAS
6. MULCHES - MULCHES SHOULD BE APPLIED AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS, BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLUMES ARE ABOUT 12 INCHES LONG AND 12 INCHES WIDE. CHISEL-TYPE HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
7. SPRINKLING - SILENT IS SPRINKLED UNTIL THE SURFACE IS WET.
8. FENCING - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
9. MULCHING - MULCHING - MULCHING IN THE FORM OF LOOSE, DRY GRANULES OR FLUMES IS ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT PLANT RATE. MULCH WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE IF USED ON STEEP SLOPES. THEN USE OTHER PRACTICES TO PREVENT EROSION AND STRIP SURFACE FROM PLANTS.
10. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SEQUENCE OF CONSTRUCTION

1. INSTALL INLET FILTERS ON EXISTING INLETS (1 DAY).
2. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCING. (3 DAYS).
3. CLEAR EXISTING LOT, PERFORM DEMOLITION (4 DAYS).
4. ROUGH GRADING AND TEMPORARY SEEDING (21 DAYS).
5. CONSTRUCT CONDUIT AND STORM PIPING. (21 DAYS).
6. BUILDING AND SITE CONSTRUCTION. (3 MONTHS).
7. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
8. REMOVE SILT FENCE AND SOIL EROSION MEASURES (2 DAYS).

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

PRELIMINARY & FINAL MAJOR SITE PLAN

HSC PENNSVILLE LLC

**PROPOSED TRACTOR
SUPPLY CO.**

TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP
SALEM COUNTY, NJ

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CONCLUSION

ISSUE

BY

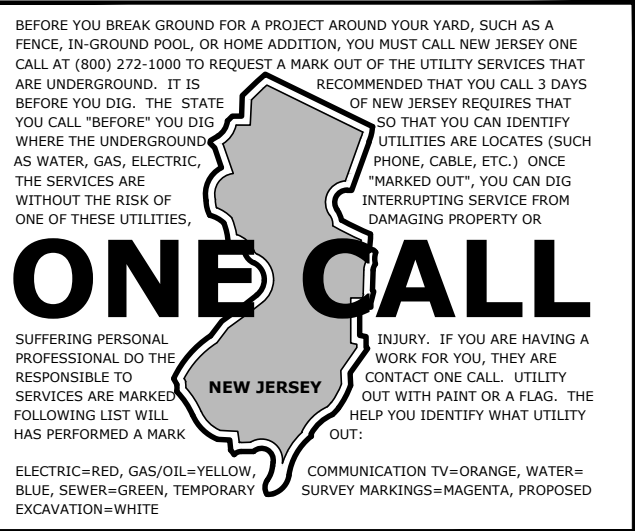
DESCRIPTION

EROSION & SILT CONTROL PLAN

DRAWING

C-9

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

[illegible]

1. SOW ABOVE MIX AT A RATE OF 20 LBS./ACRE
2. SUPPLEMENT ABOVE MIX WITH ANNUAL RYE AT A RATE OF 30 LBS./ACRE.
3. NO MOWING SHALL TAKE PLACE.

LAPING AND BUFFER REQUIREMENTS	
MUURED	PROPOSED
<u>BARRIER REQUIREMENTS</u>	
BARRIER REQUIRED WHERE COMMERCIAL USE IS RESIDENTIAL USE.	PLANTINGS PROPOSED ⁽²⁾
<u>DSCAPE</u>	
DSCAPE MUST PROMOTE INTERIOR CLIMATE CONTROL	PROPOSED ⁽¹⁾
DSCAPE TREES PER 100 LF OF STREET FRONTAGE	
STREET LANE	12 PROPOSED TREES
4 FT) * (2 TREE / 100 FT FRONTAGE) = 25 TREES	13 EXISTING TREES
TH BROADWAY:	
4 FT) * (2 TREE / 100 FT FRONTAGE) = 9 TREES	9 TREES
TREES SHALL BE OAK OR HARD MAPLE	COMPLIES

IRRIGATION NOTICE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS SUBSURFACE IRRIGATION SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL RELOCATE ALL EXISTING SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION AND AS SHOWN ON DRAWINGS.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO BEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABUTT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
7. STREET TREES ARE TO BE PLACED 5'-10' BEHIND THE SIDEWALK AND PLANTING 10' - 60' APART; PARALLEL TO THE CURB AND OUTSIDE ANY EASEMENT.



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SALEN COUNTY, NJ**

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PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE NO. 55094
LICENSED PROFESSIONAL ENGINEER



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SCALE:	1" = 40'	PROJECT ID: PRI-220476
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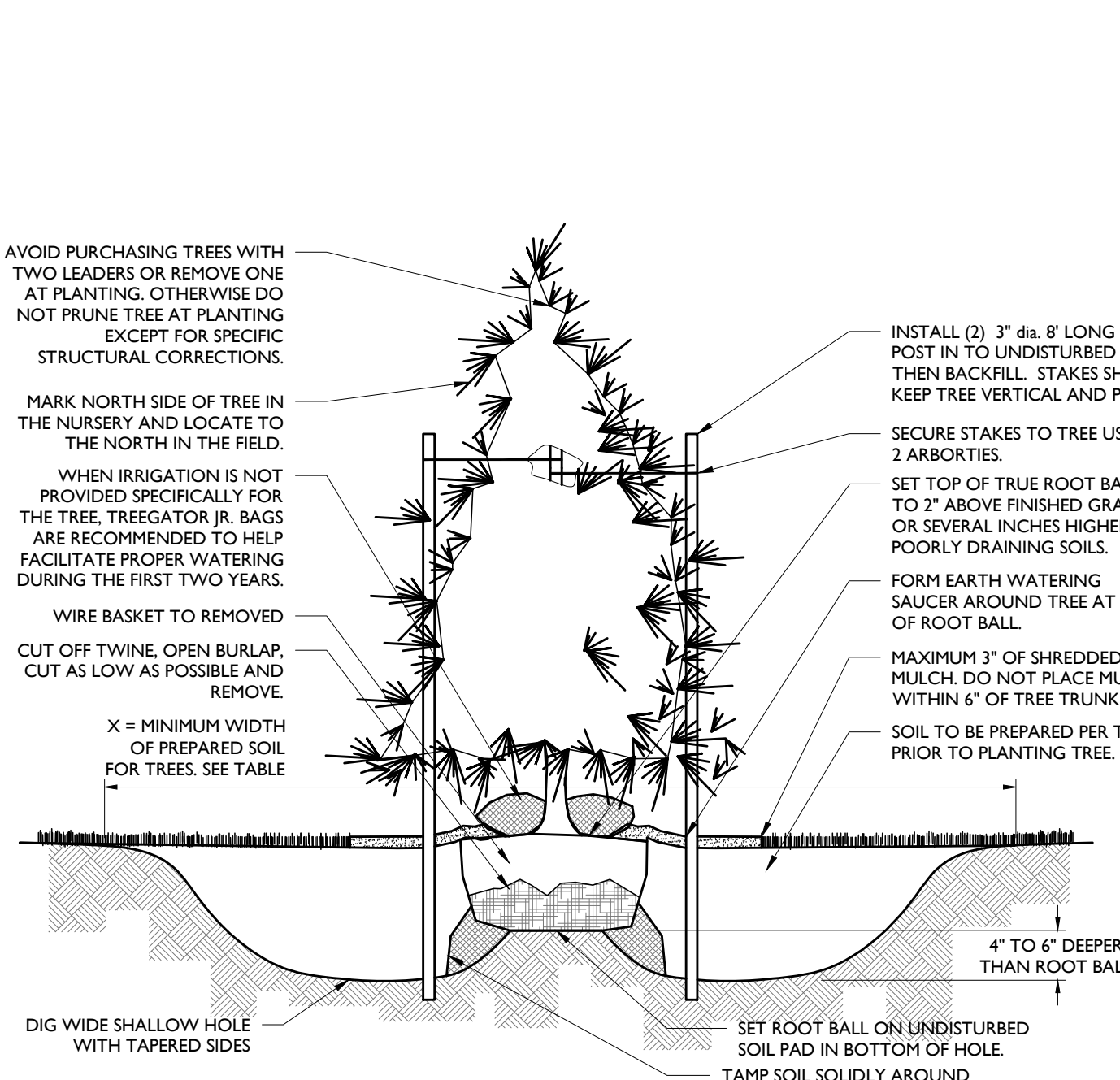
LANDSCAPING PLAN

DRAWING:

C-11

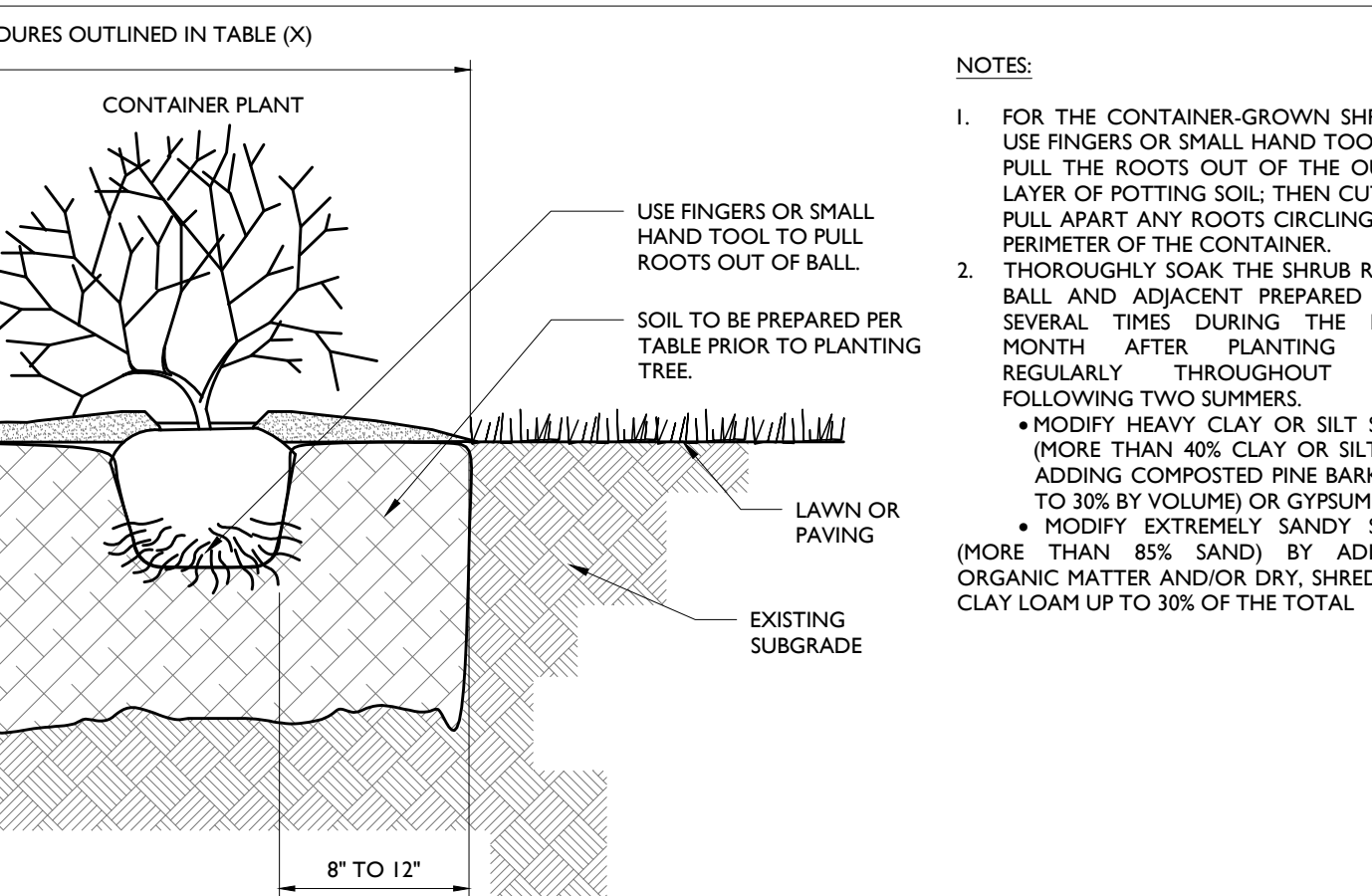
NOTES

2. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF THE POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
4. SOIL AMENDMENTS:
 - a. MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - b. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

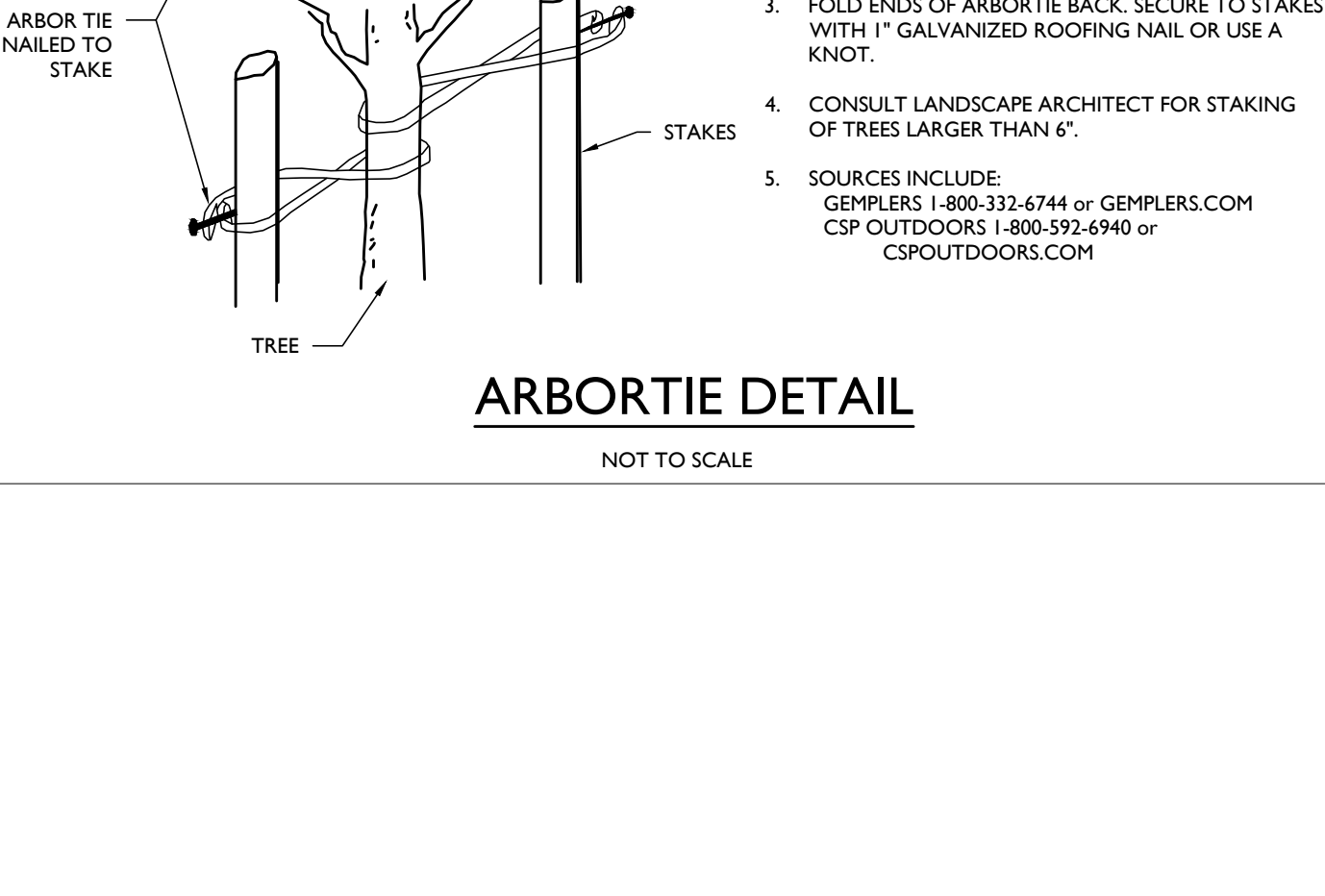
NOT TO SCALE



DETAIL

5

-
- ARBOR TIE
- INSTALLATION GUIDELINES:
1. LOOP TIE AROUND TREE AND NAIL TO CEDAR STAKE.
 2. REMOVE ALL STAKING AND TIES AT END OF FIRST GROWING SEASON.
 3. HOLD TIES AS SUPPORTIVE BACK AGAINST STAKES



1

PLANT QUALITY AND HANDLING NOTES

2. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z660-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER ANY COMMON NAMES.
4. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY OF GROWTH. PLANTS SHALL BE FREE OF DISEASE, INSEST PESTS, EGGS OR LARVAE.
5. ALL PLANTS SHALL BE FREE OF DISEASE, INSEST PESTS, EGGS OR LARVAE.
6. ALL PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR BREAKS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT BEEN COMPLETELY CALLOUSED SHALL BE REJECTED.
7. ALL PLANTS SHALL BE THE PROPER SPECIES OR VARIETY OR SEALS AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE TYPICAL TRADE NAME AND SIZE.
8. THE PLANTS SHALL BE OF THE TYPE OF PLANT SPECIES WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
9. ALL PLANTS DESIGNATED BALL AND BURLAP (BB&B) SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH. THE BALLS OF EARTH SHALL BE SUFFICIENTLY LARGE TO PROTECT THE ROOTS OF THE PLANTS. THE BALLS OF EARTH SHALL ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN IN CONTACT DURING ALL OPERATIONS, ALL PLANTS SHALL BE MOVED WITH CARE TO PREVENT THE ROOTS FROM BEING EXPOSED TO THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
10. ALL PLANTS SHALL BE MOVED TO THE SITE OF INSTALLATION BY TRUCK OR OTHER SUITABLE CARRIER. PLANTS SHALL BE SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS, EVIDENCE OF INADEQUATE PROTECTION FOLLOWING LOADING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING SHALL BE CAUSE FOR REJECTION OF THE PLANTS. ALL PLANTS SHALL BE MOVED TO THE SITE OF INSTALLATION AND PLANTING WITHIN THE TIME FRAME TO ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
11. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIMES AND COVERED WITH MOISTENED MULCH OR AGED BARK.

- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR GEOTEXTILE. PLANTS WITH DAMAGED OR MISSING SUPPLIES SHALL BE REPLACED. PLANTS SHALL NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTING PROPOSED TO BE PLANTED TO A HEIGHT OF EIGHT FEET OR MORE, THE PLANTING SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED THREE (3) FEET ABOVE GRADE. GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2) ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
PLANTS (MARCH 15 - DECEMBER 15)
LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO PLANTING SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON

ABIES CONCOLOR

- ACER FREEMIAN
ACER RUBRUM
ACER SACCHARINUM
AGAVE VARIETIES
BETULA VARIETIES
CARPINUS VARIETIES
CEDRUS DEODARA
CELTIS VARIETIES
CERCIDIPHYLLUM VARIETIES
CERCIS CAMDENENSIS
CORNUS VARIETIES
CRATAEGUS VARIETIES
- CUPRESSOCYPARIS LEPYLANDII
FAGUS VARIETIES
HALESIA VARIETIES
ILEX EX FOSTERII
ILEX NELLIE STEVENS
ILEX OPACA
JUNIPERUS VIRGINIANA
KOLERUTERA PANICULATA
LIQUIDAMBAR VARIETIES
LIQUIDAMBAR VARIETIES
LIQUIDAMBAR VARIETIES
LYNUS IN LEAF
MYRTA SYLVATICA
- PLATANUS VARIETIES
POPULUS VARIETIES
PRUNUS VARIETIES
PYRUS VARIETIES
QUERCUS VARIETIES (NOT Q. PALMISTRI)
SALIX WEEPING VARIETIES
SORBUS VARIETIES
TAXODIUM VARIETIES
TAXUS REFLEXA
TILIA TOMENTOSA VARIETIES
ULMUS PARVIFOLIA VARIETIES
ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGER HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY REMOVED AND PROPERLY DISPOSED AT THE END OF EACH DAY. EXCESS MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, BRINGING BACK WEEDS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3") MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE GRASS IS HEAVY, IT WILL BE REQUIRED TO PREVENT DISTURBANCE TO THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRASSSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL REPAIR THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. LANDSCAPE MAINTENANCE WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MEAN.
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND 6 INCHES IN DIAMETER. THE PRODUCT SHOULD BE MIXED INTO THE BACKFILL TO THE SOIL SATURATION POINT. THE PRODUCT AND MOYRONT TREE SAVERS ARE EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.

PH: THE PH RANGE OF THIS PRODUCT IS 3.0 TO 3.2.

SOIL PH: THE FLUNG IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS.

PLANTING: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.

PLANTING: FERTILIZERS, INSECTICIDES, AND FUNGICIDES CAN INHIBIT MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.

2. SOD OR SOD SEEDS SHALL BE OBTAINED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."


3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.

4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION."

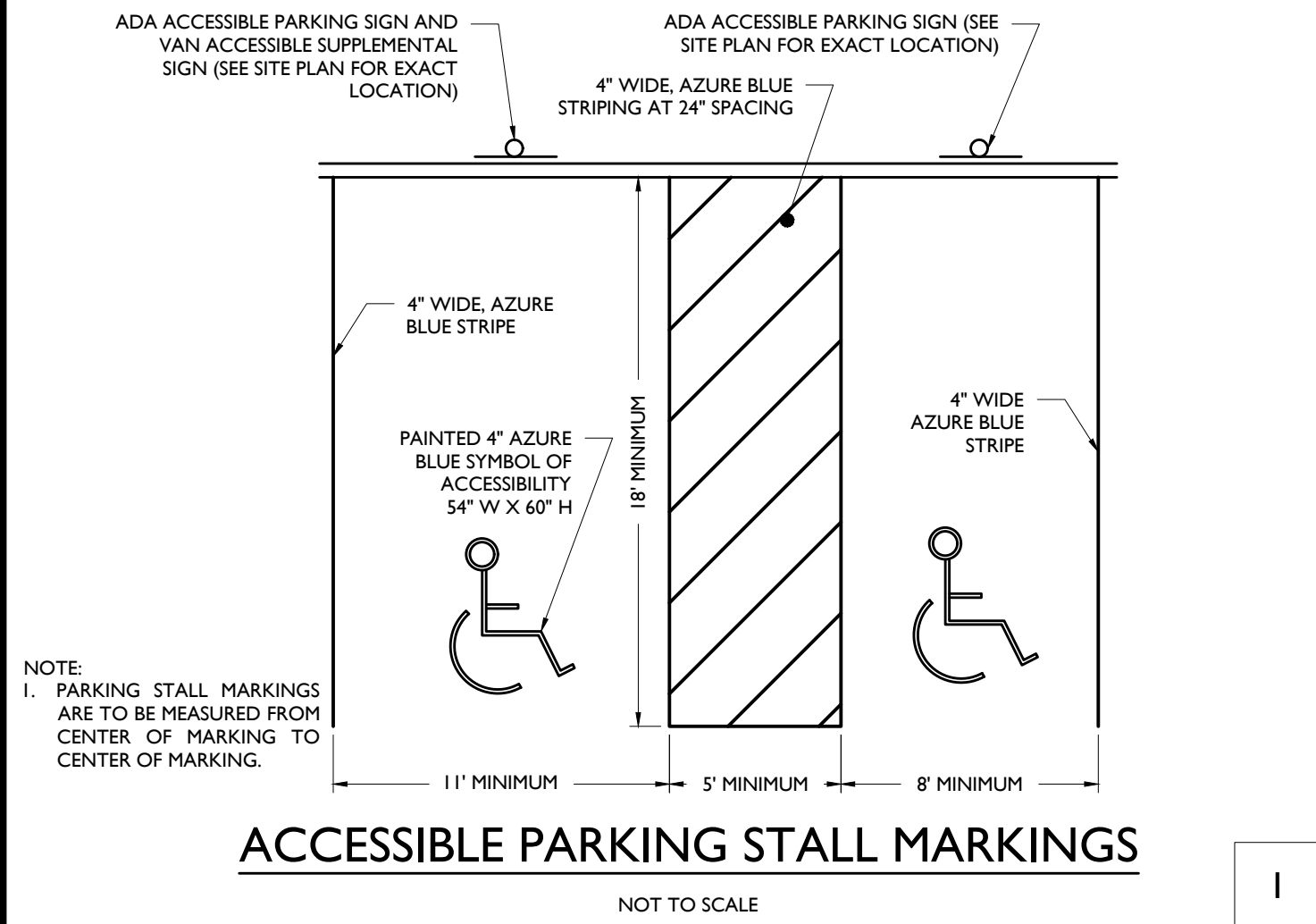
5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS, OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, OR WEATHER SHALL BE REPAIRABLE BY THE LANDSCAPE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

PERMANENT STABILIZATION, T

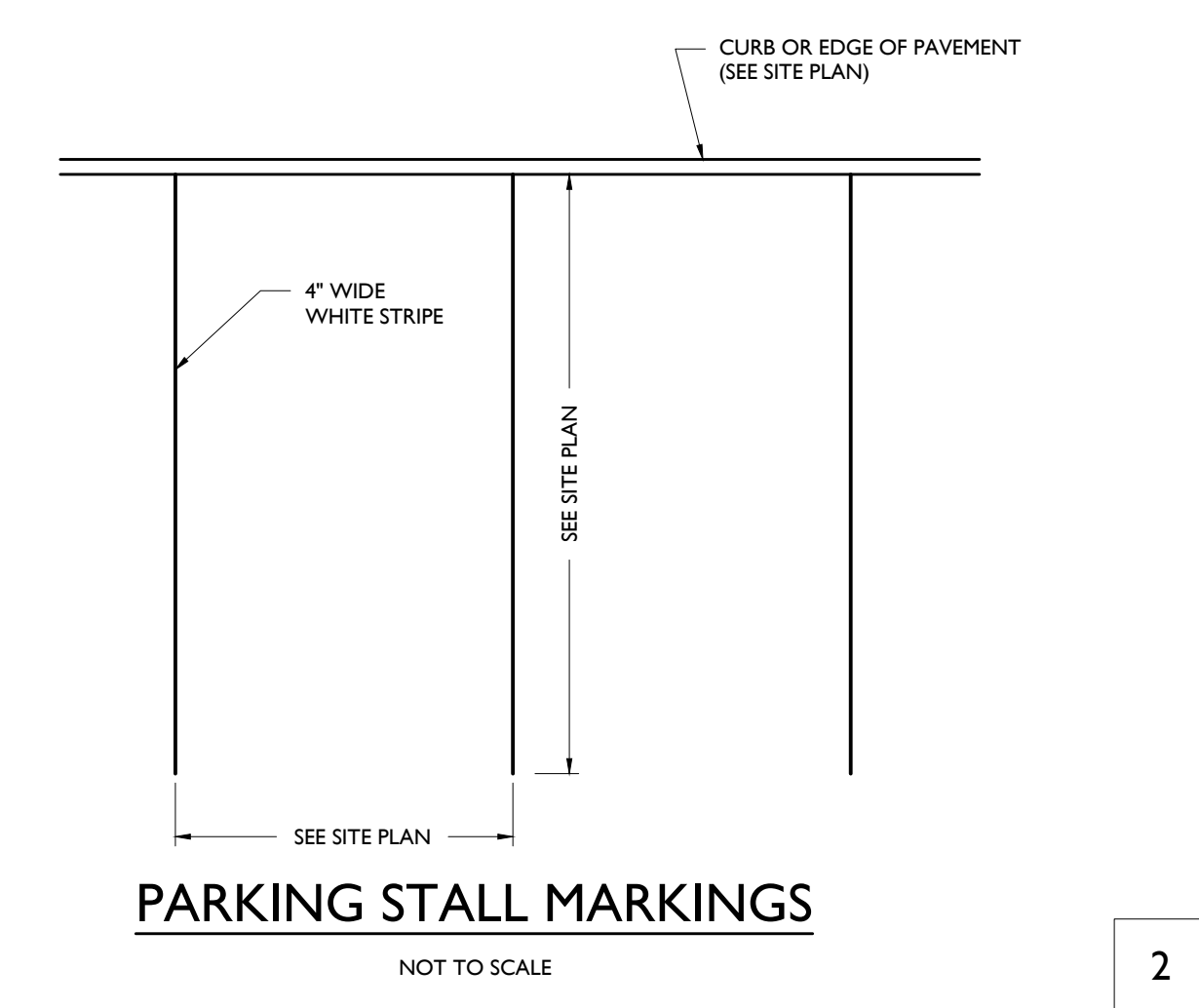
- TABLE NOTES:**
1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
3. WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

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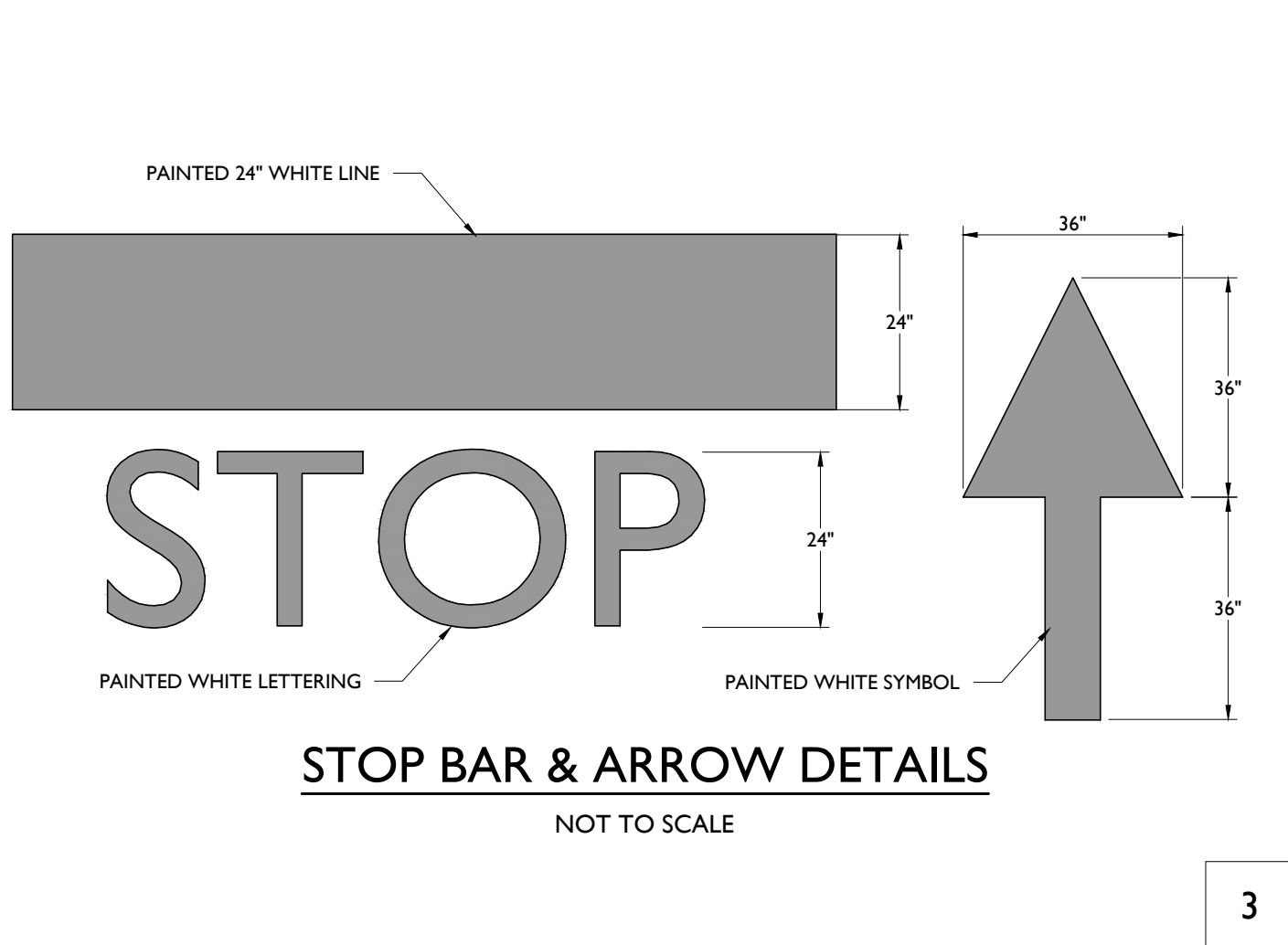
\\STONEFIELD\ENR\COMP\HSC\PROJECTS\TOWNSHIP\2022\903.204\HSC_SKEWER - SOUTH BROADWAY AND CHESTNUT LANE PENNSVILLE, NC\DRAWING\11-DET.DWG



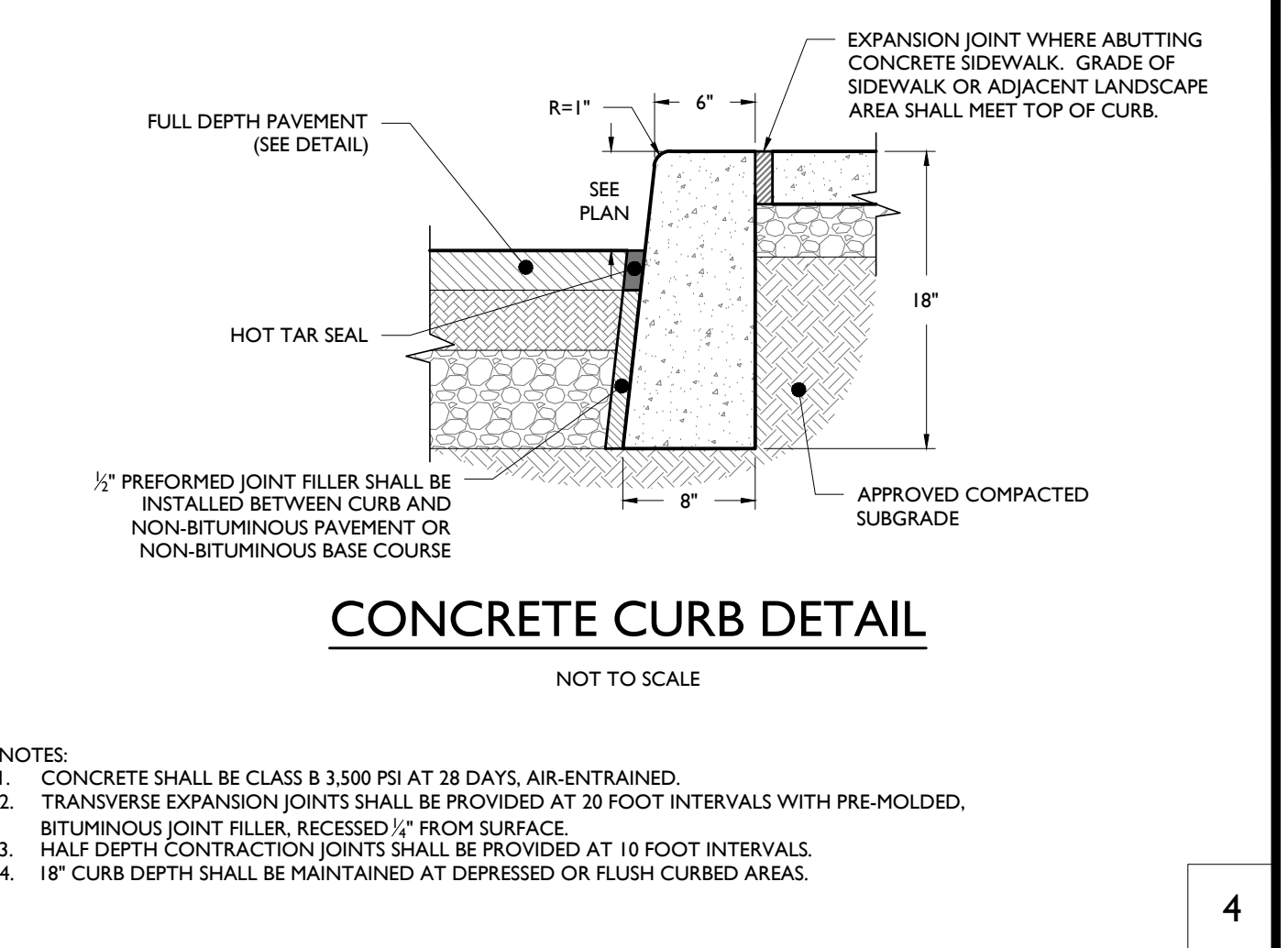
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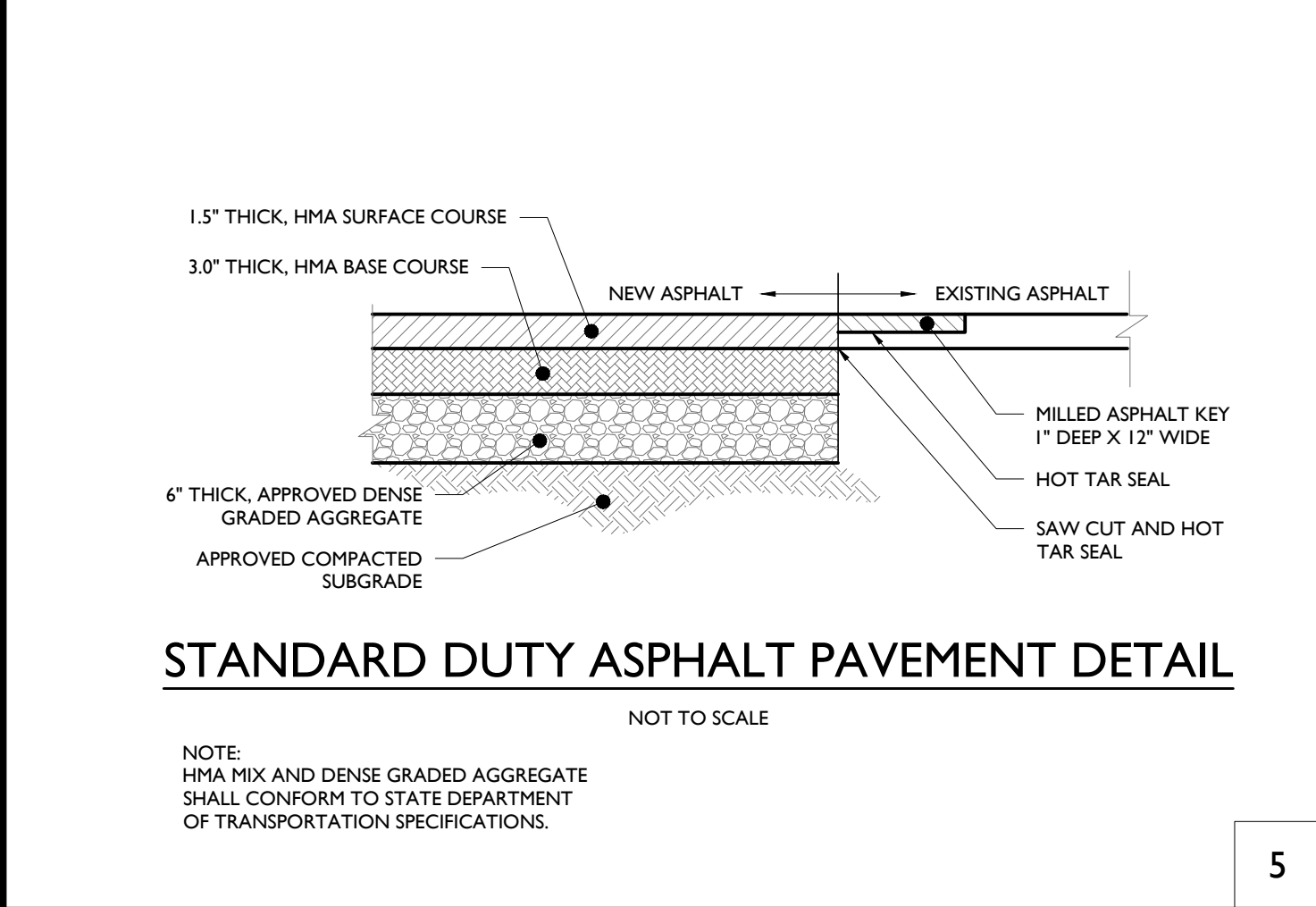
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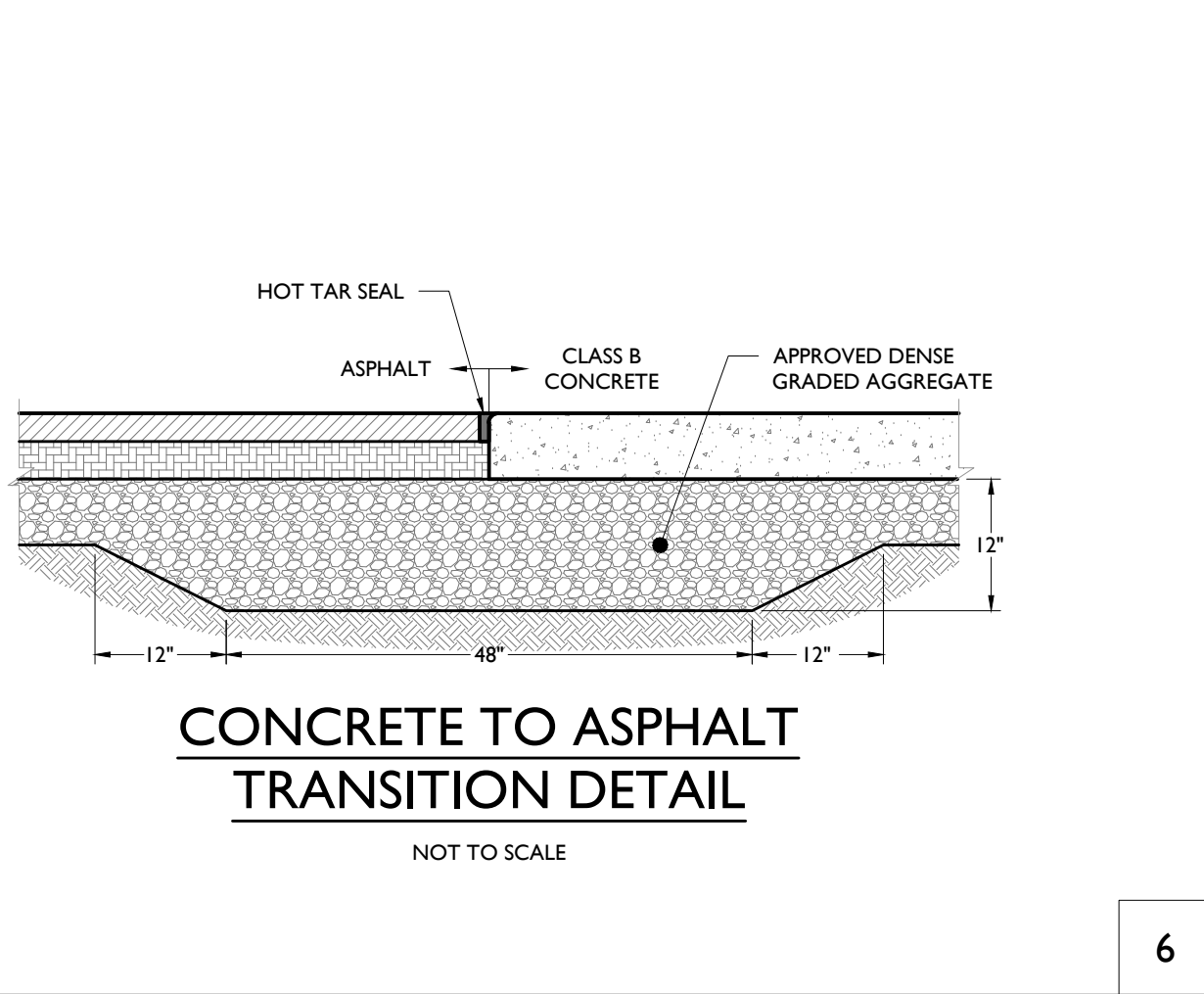
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5



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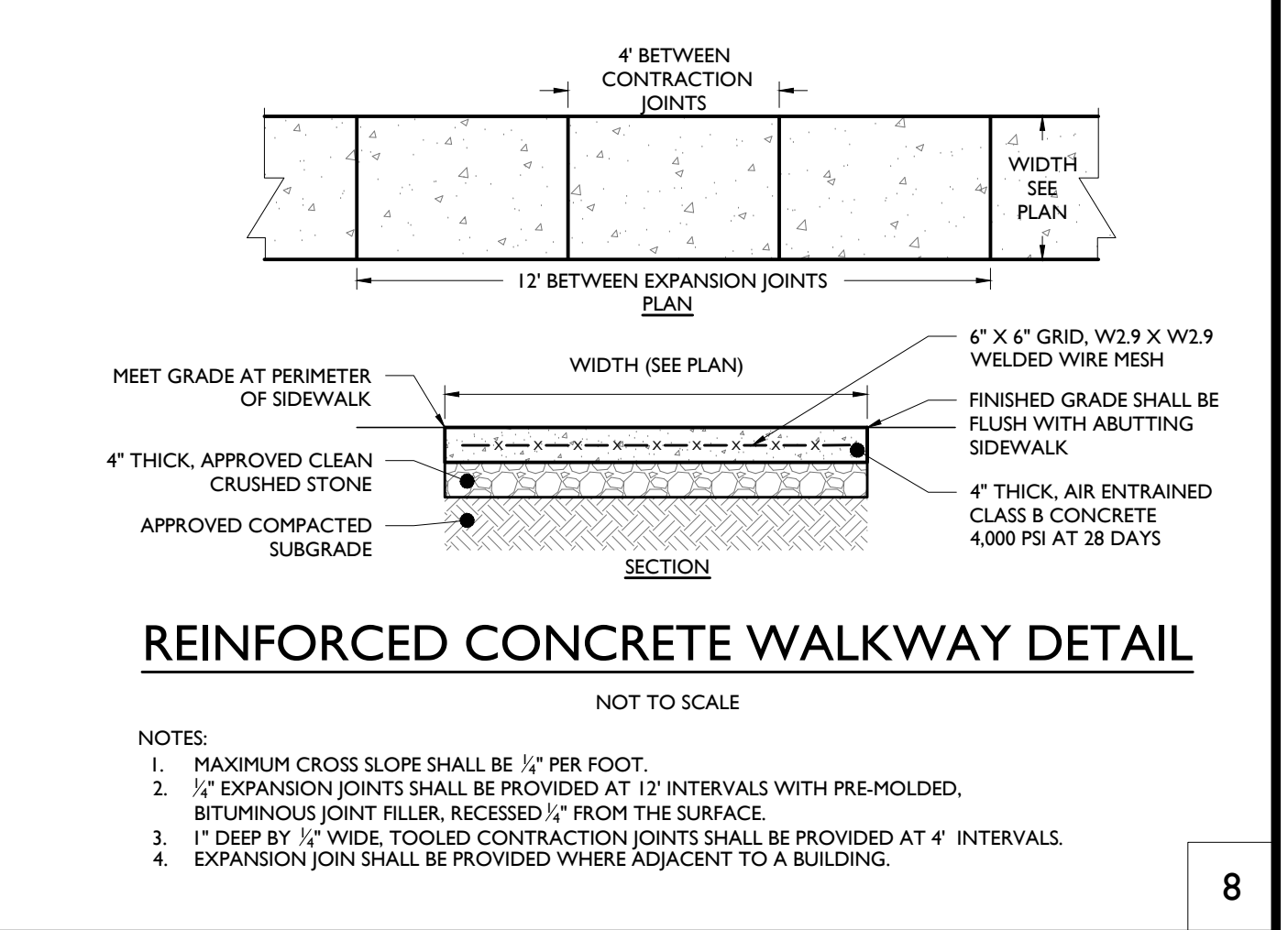
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND
NO TRUCKS (R5-2a)		BLACK	WHITE	24"x24"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

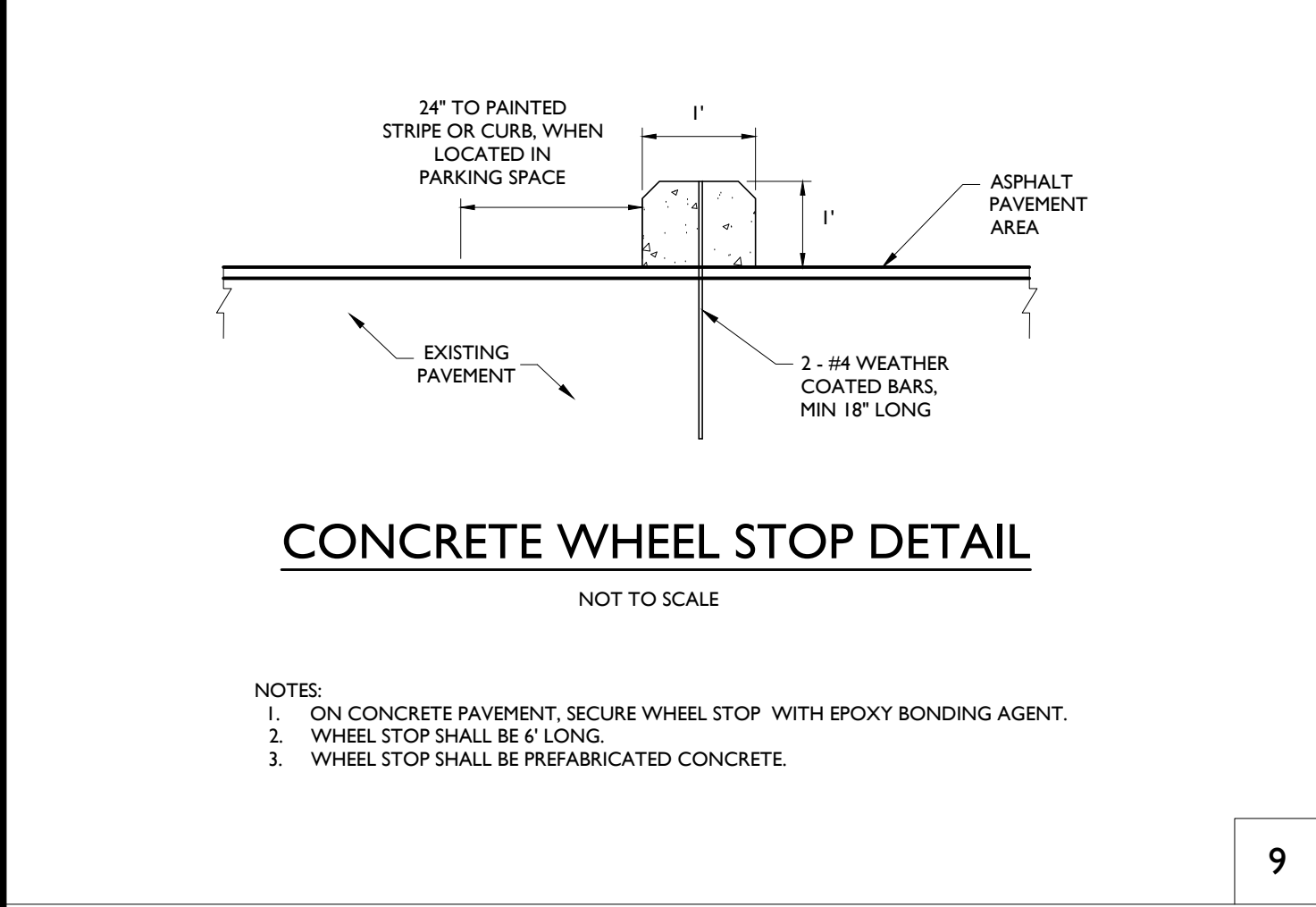
SIGN DATA TABLE

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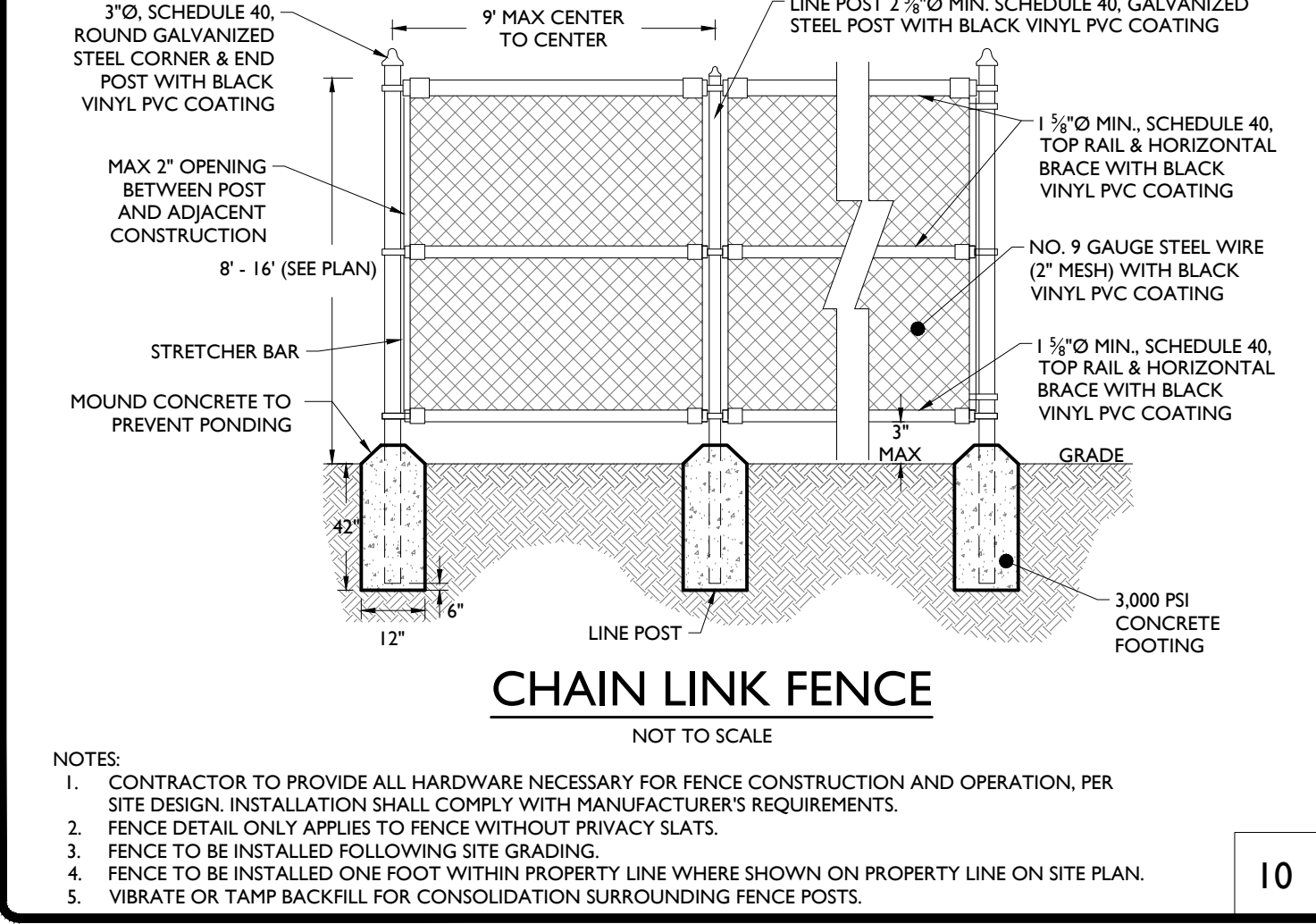
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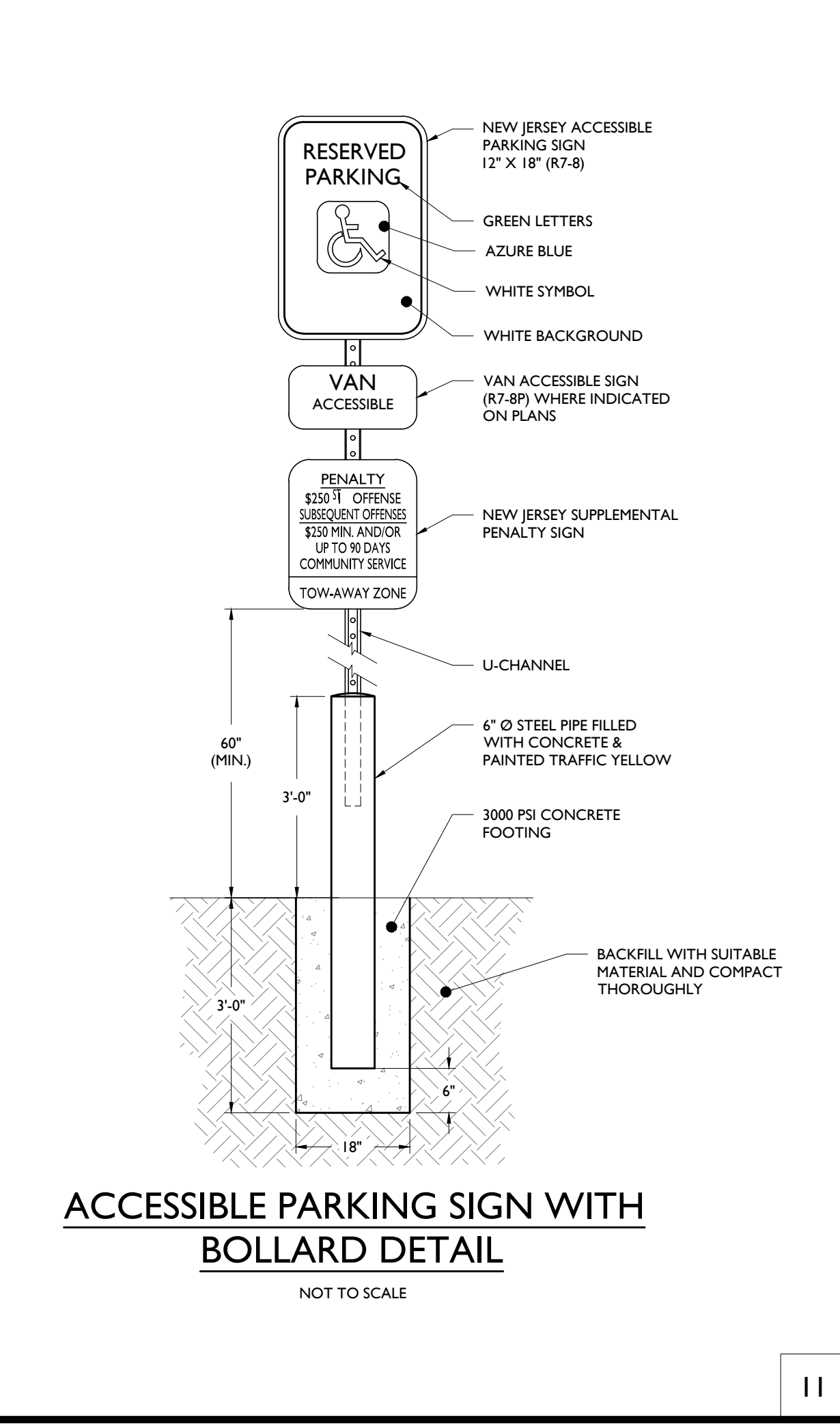
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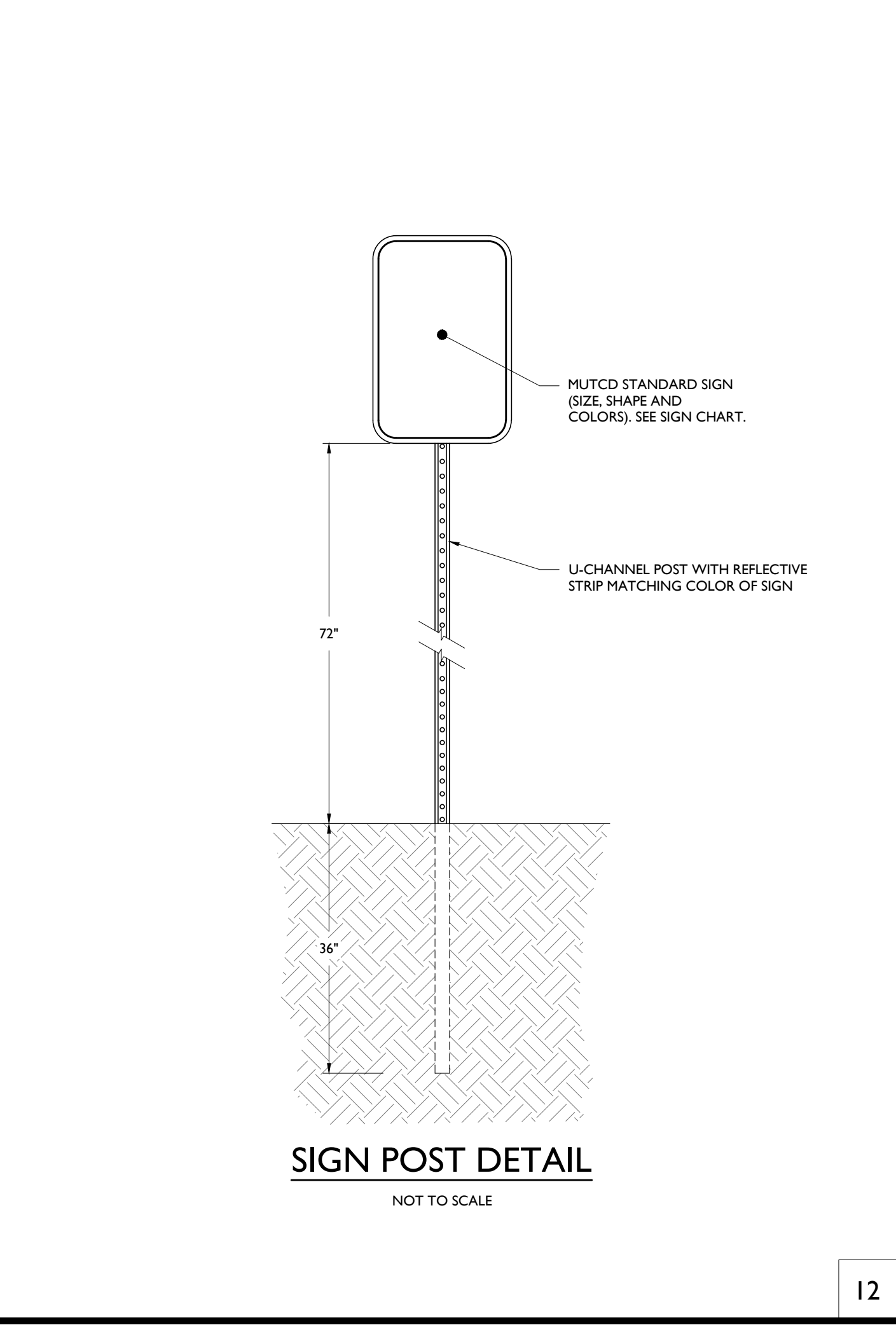
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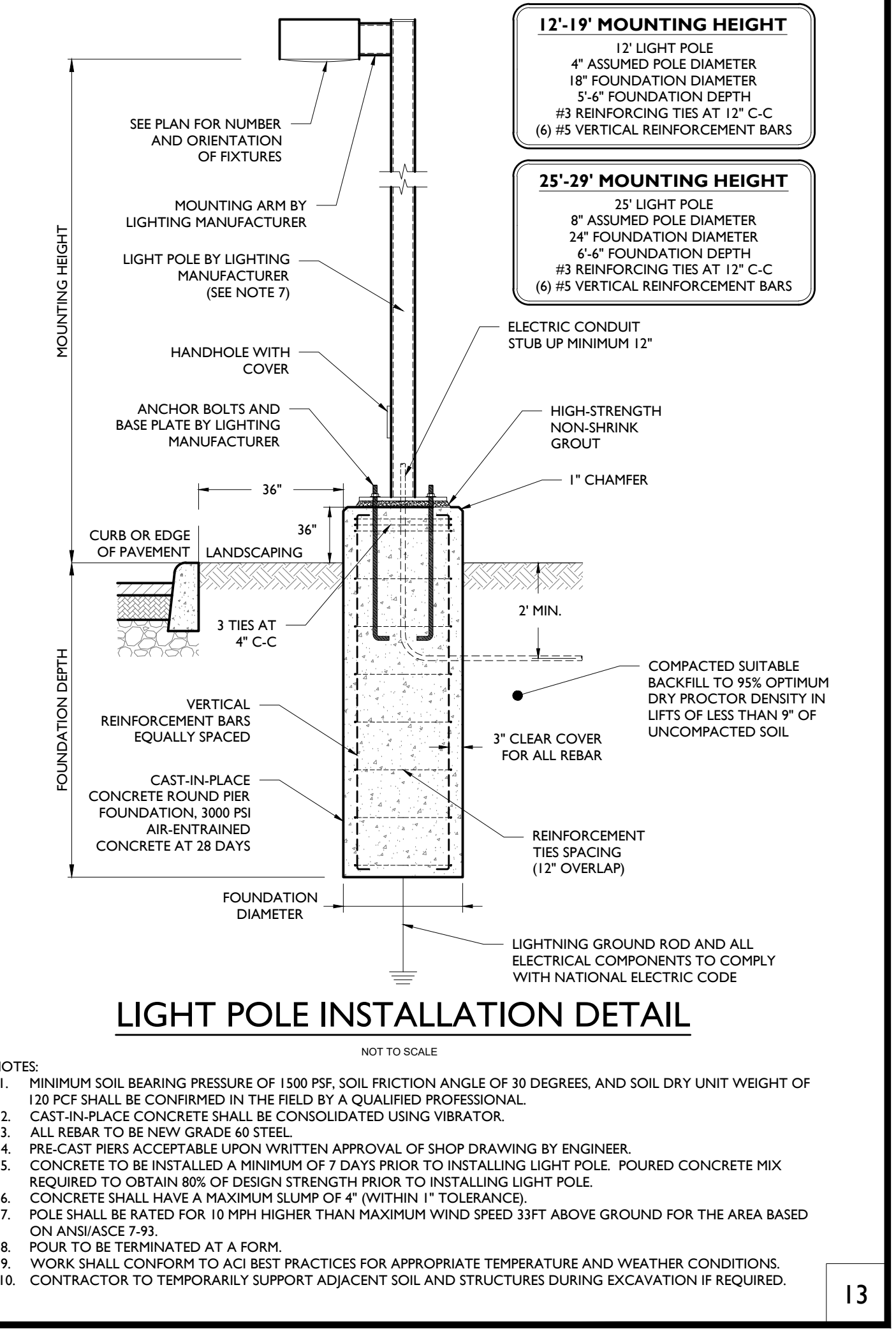
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11



12



13

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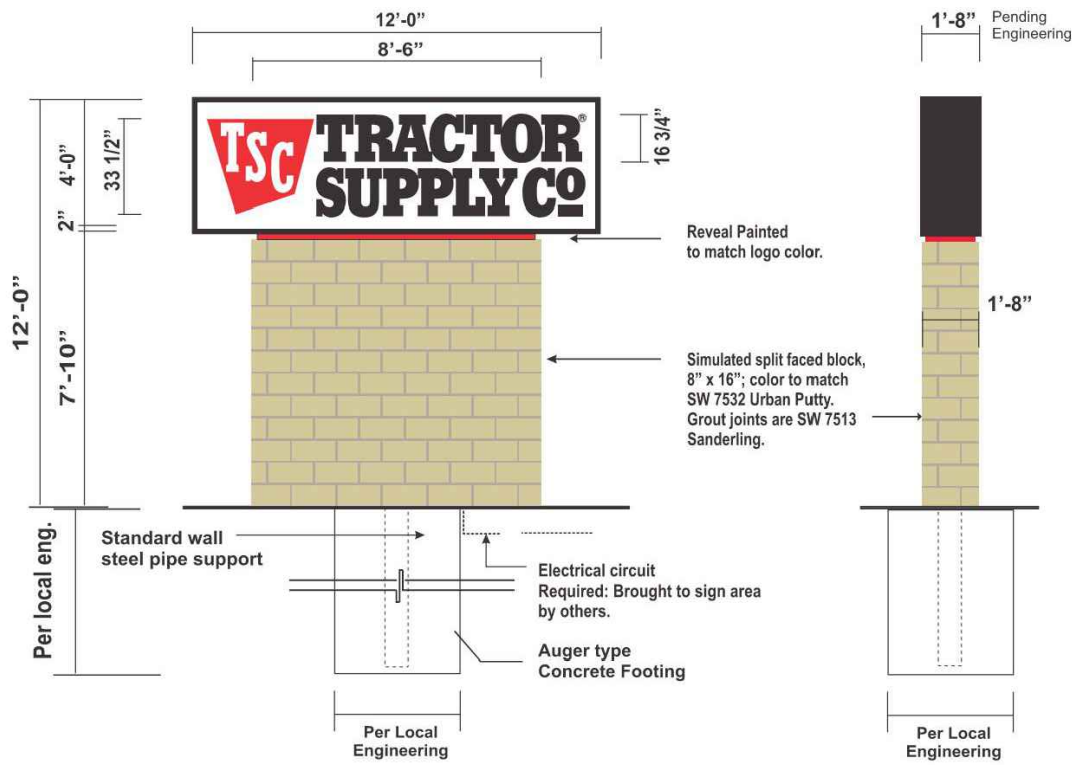
TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP
SALEM COUNTY, NJ

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SCALE: NTS PROJECT ID: PRI-220476

CONSTRUCTION DETAILS

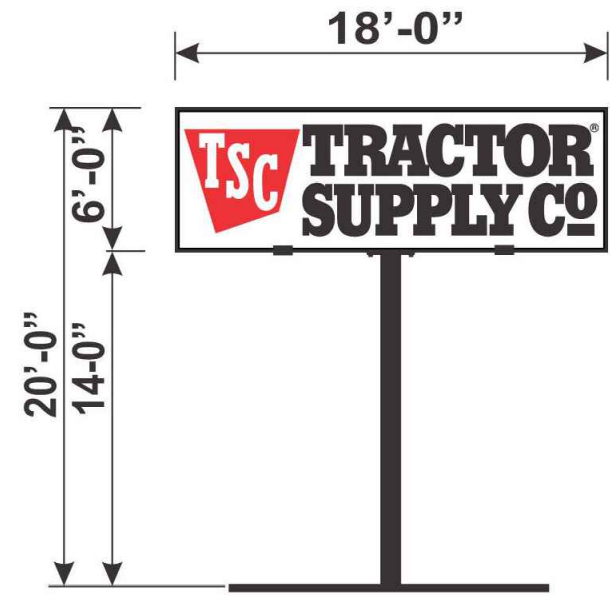
DRAWING: C-13



Double Sided Monument Sign:
48.9 Sq. Ft.

MONUMENT SIGN DETAIL

NOT TO SCALE



P108
(4) Lamps
total required

PYLON SIGN DETAIL

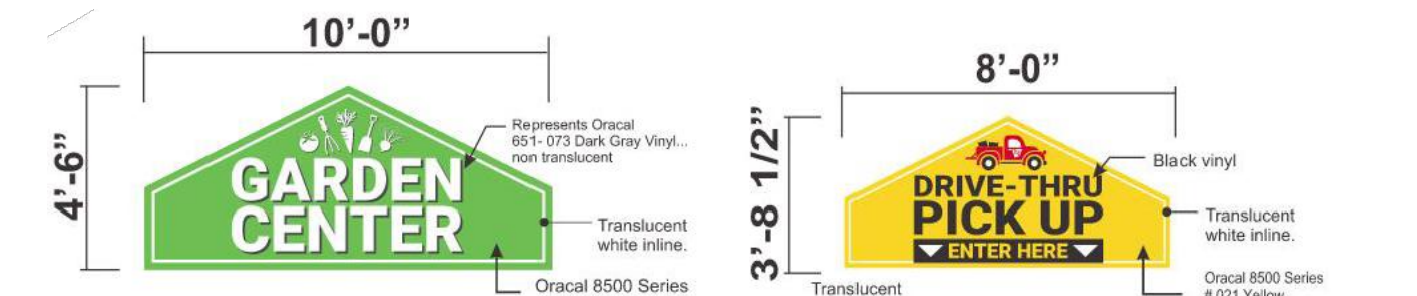
NOT TO SCALE



W192

WALL SIGN DETAIL

NOT TO SCALE



Proposed Illuminated Sign
45.0 Sq. Ft.
GARDEN CENTER & PICKUP SIGN DETAILS

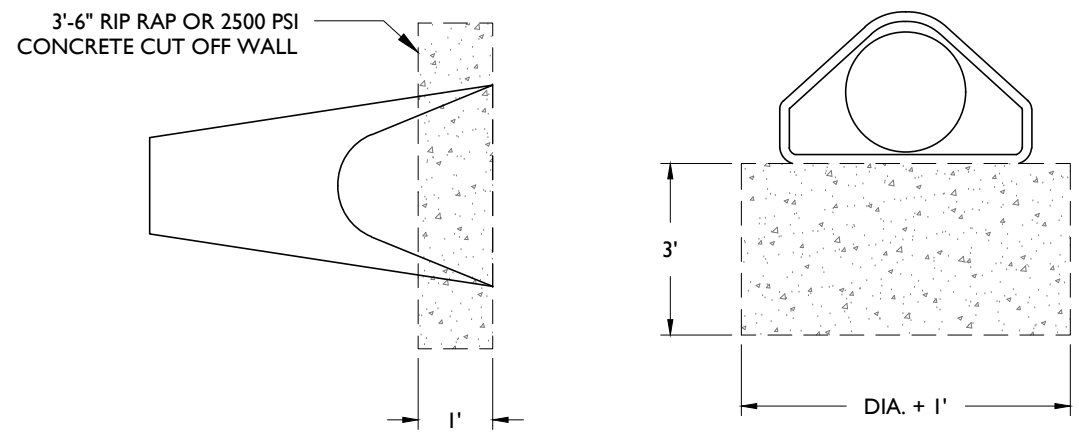
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WAYFINDING SIGN DETAILS

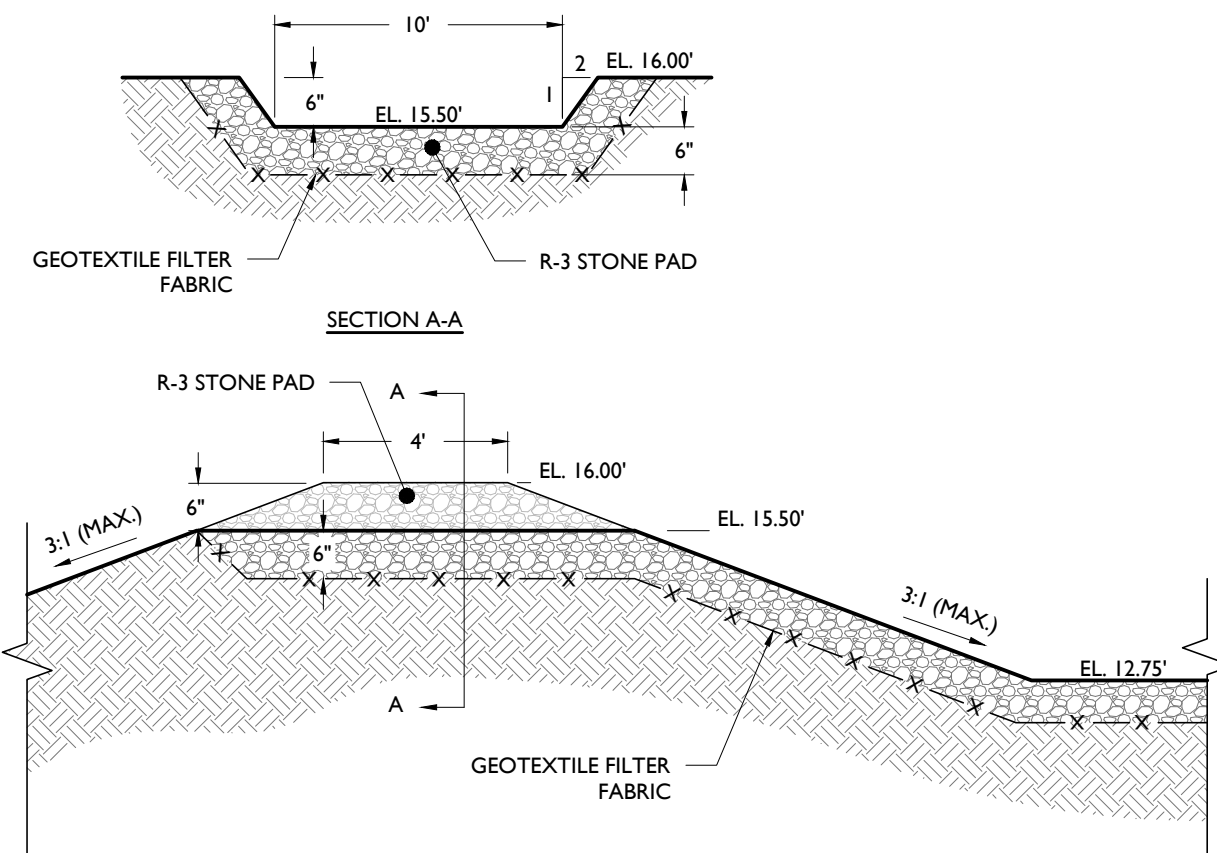
NOT TO SCALE

RIP-RAP SIZING CHART						
FES #	L (ft)	W ₁ (ft)	W ₂ (ft)	D ₅₀ (in)	Th* (in)	
1	17.04	22.73	8.75	6.00	12.00	
2	2.55	6.30	7.50	6.00	12.00	
3	3.09	6.84	3.75	6.00	12.00	
4	11.20	14.95	3.75	6.00	12.00	
5	12.63	16.38	3.75	6.00	12.00	



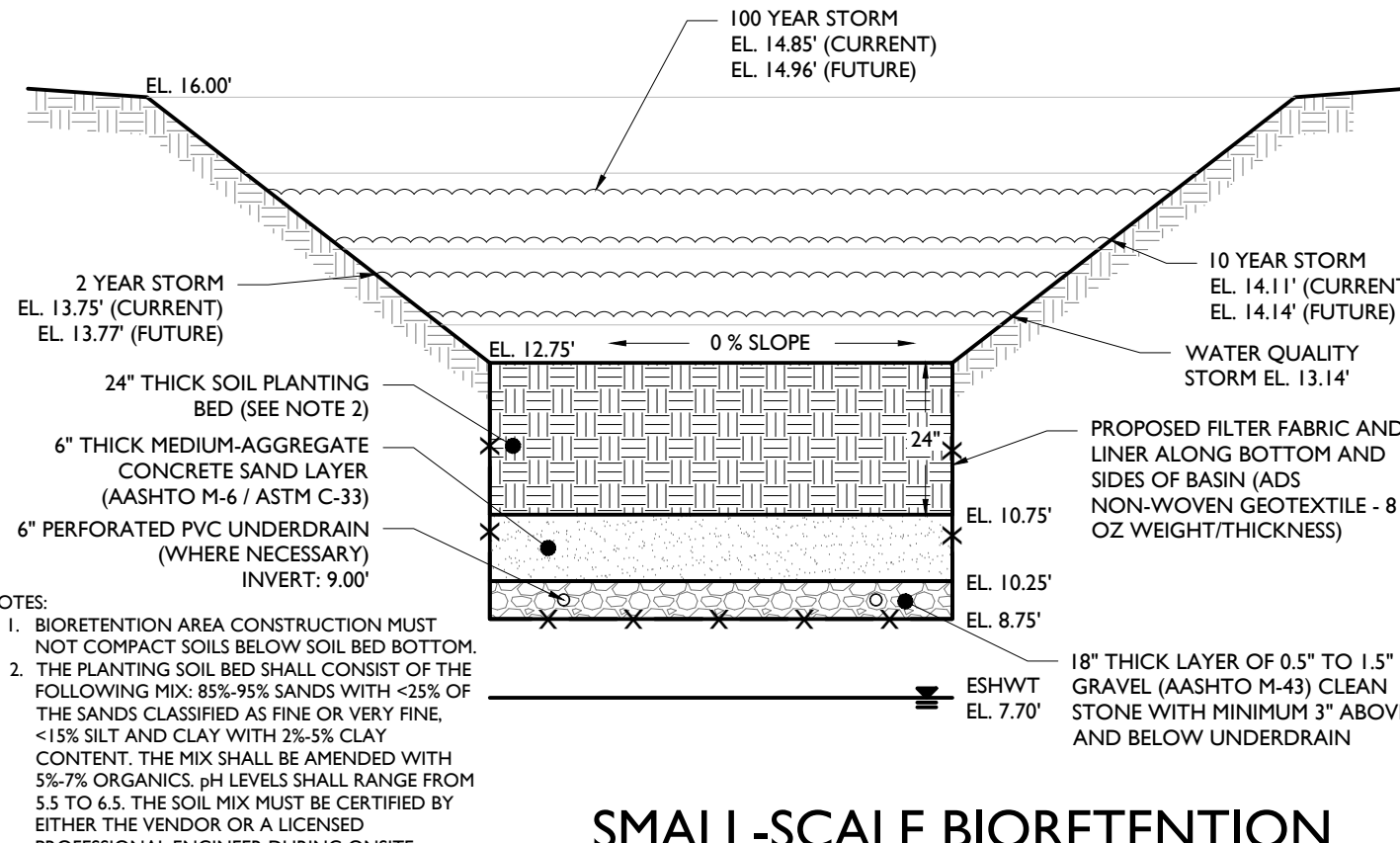
FLARED END SECTION DETAIL

NOT TO SCALE



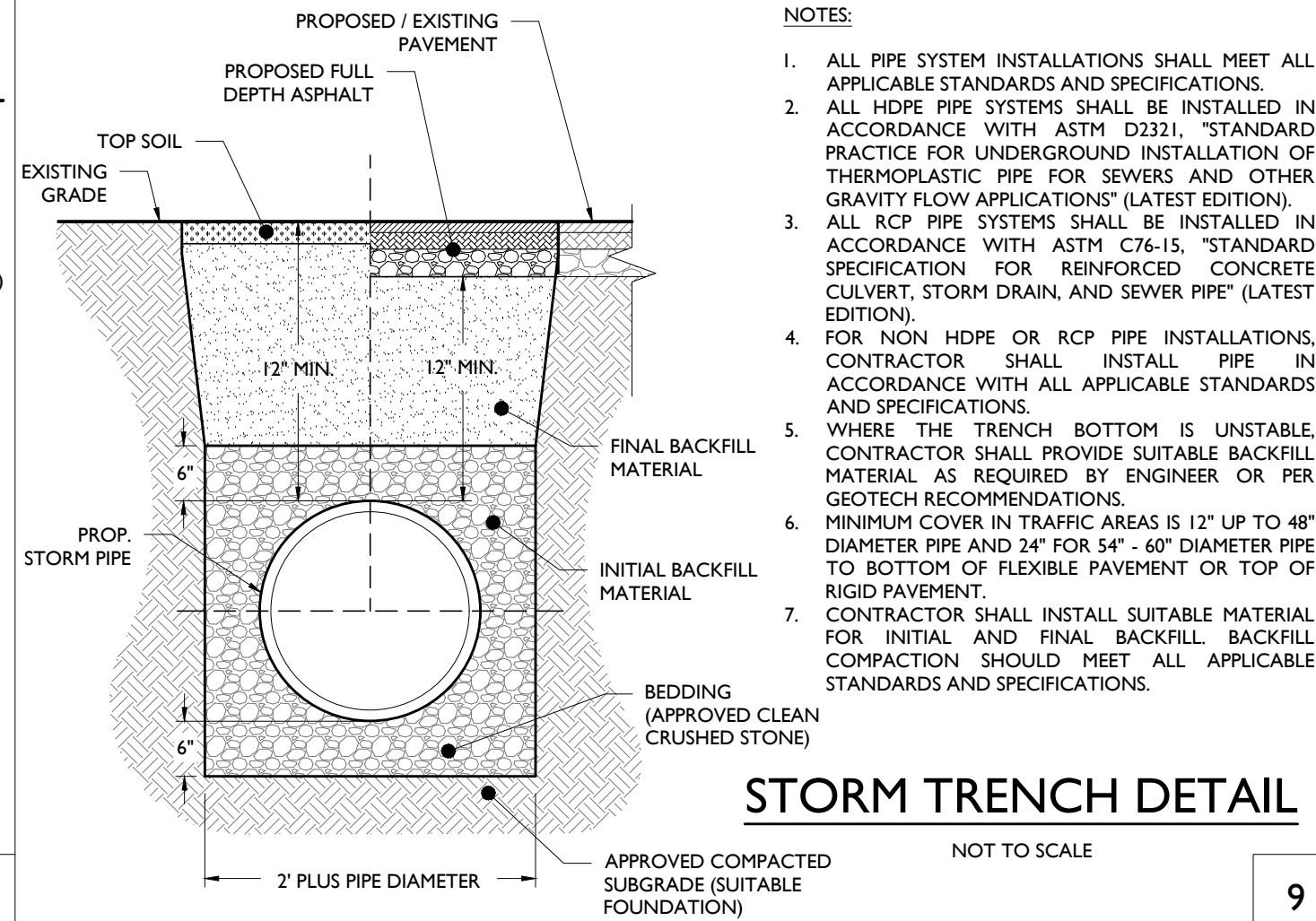
EMERGENCY SPILLWAY DETAIL

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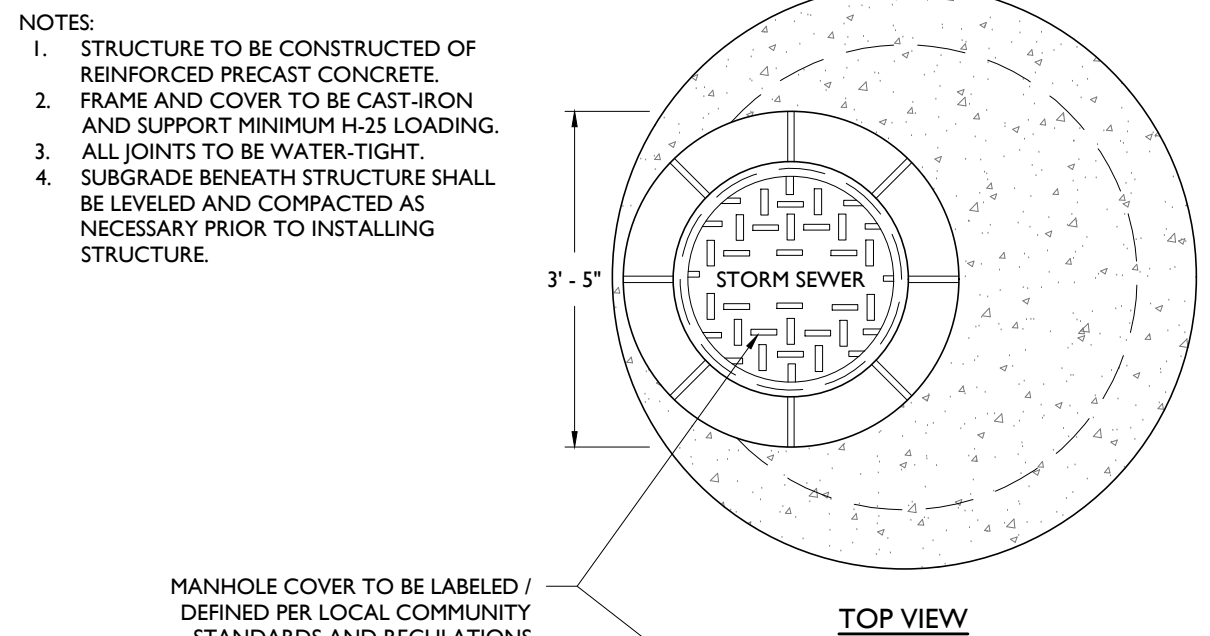
SMALL-SCALE BIORETENTION BASIN (B-I) DETAIL

NOT TO SCALE

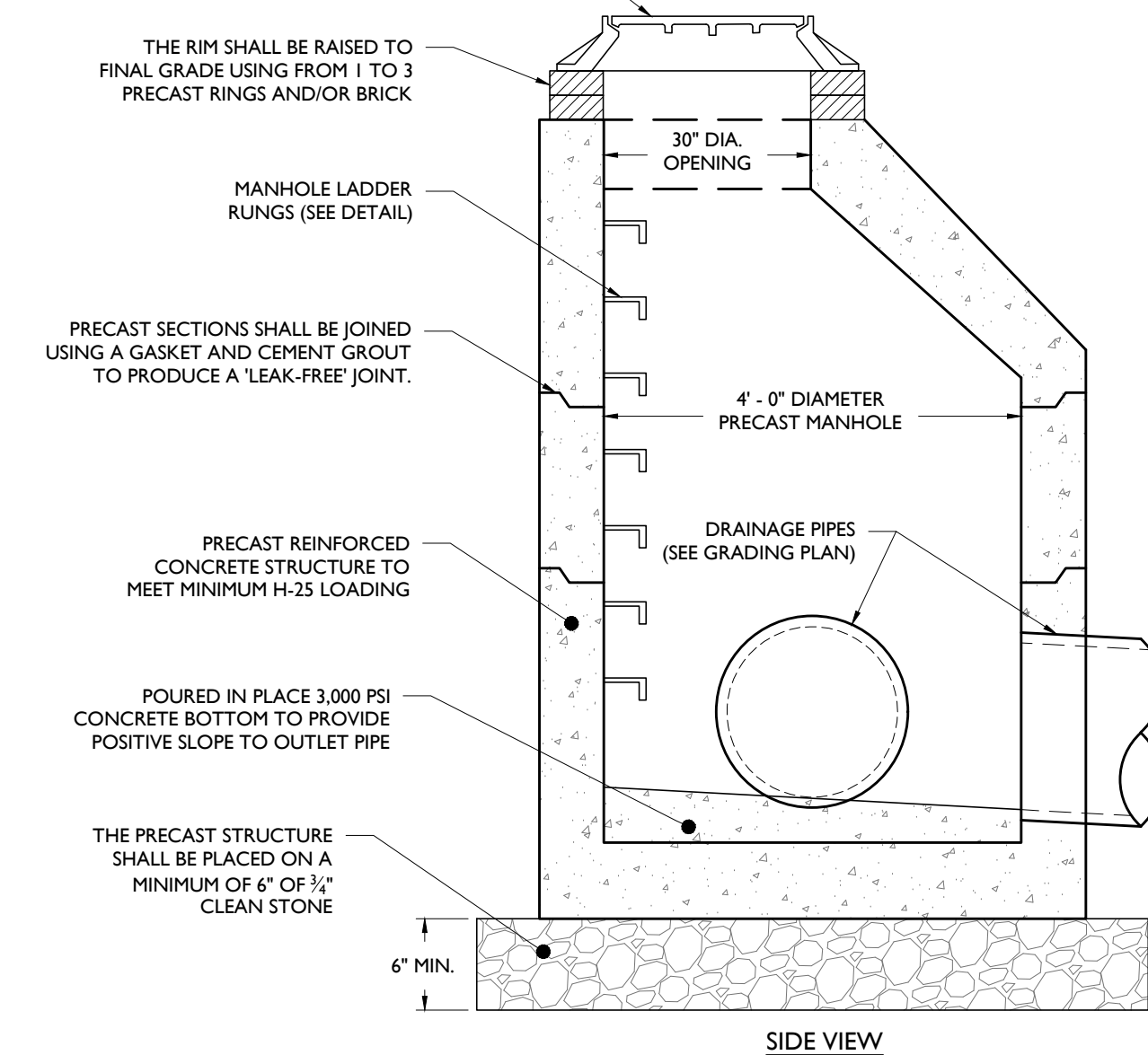


STORM TRENCH DETAIL

NOT TO SCALE



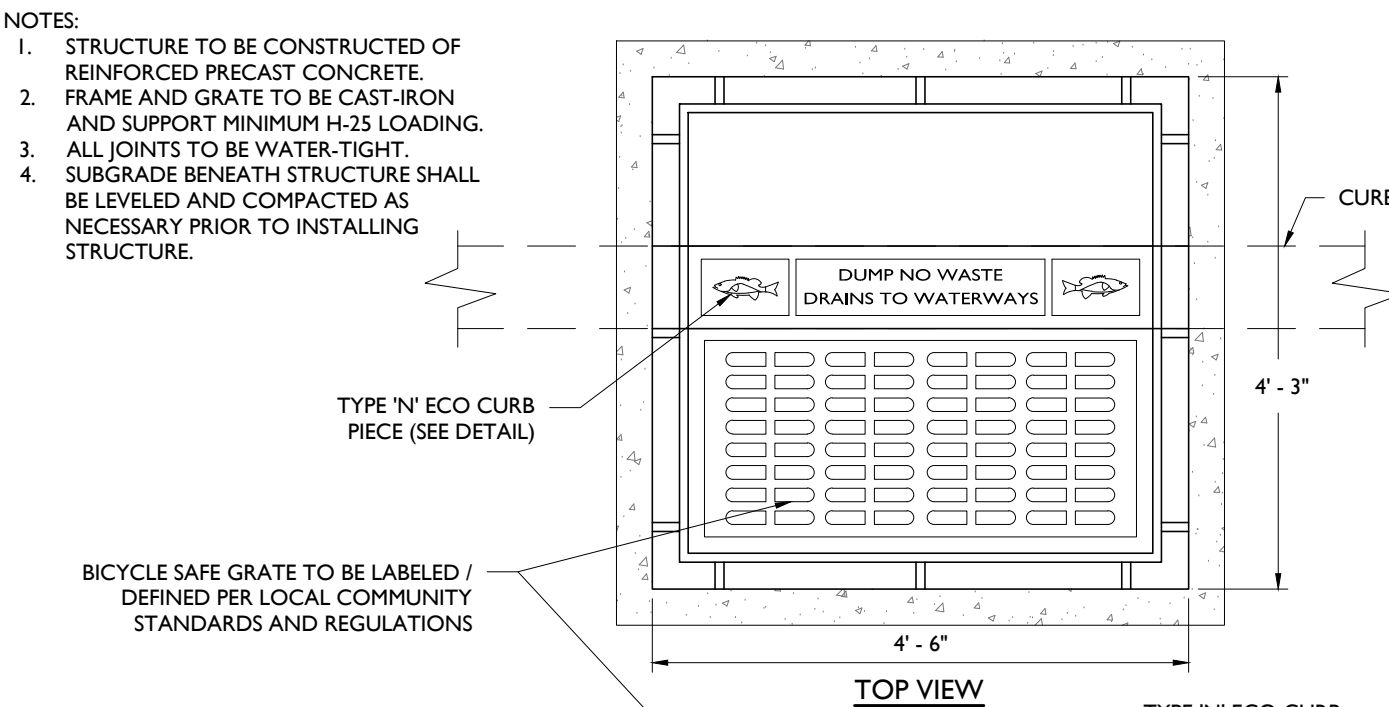
TOP VIEW



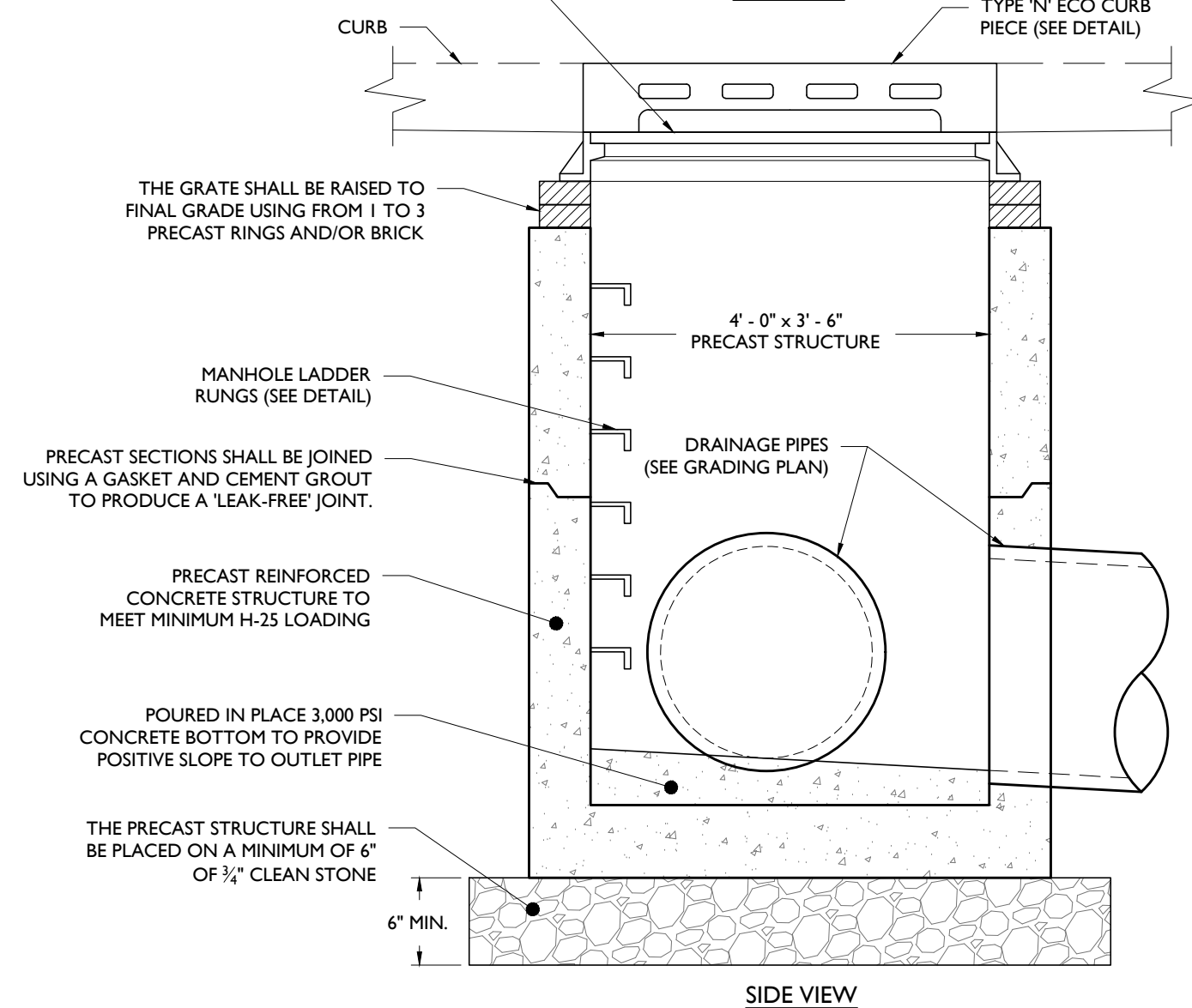
SIDE VIEW

STORM MANHOLE DETAIL

NOT TO SCALE



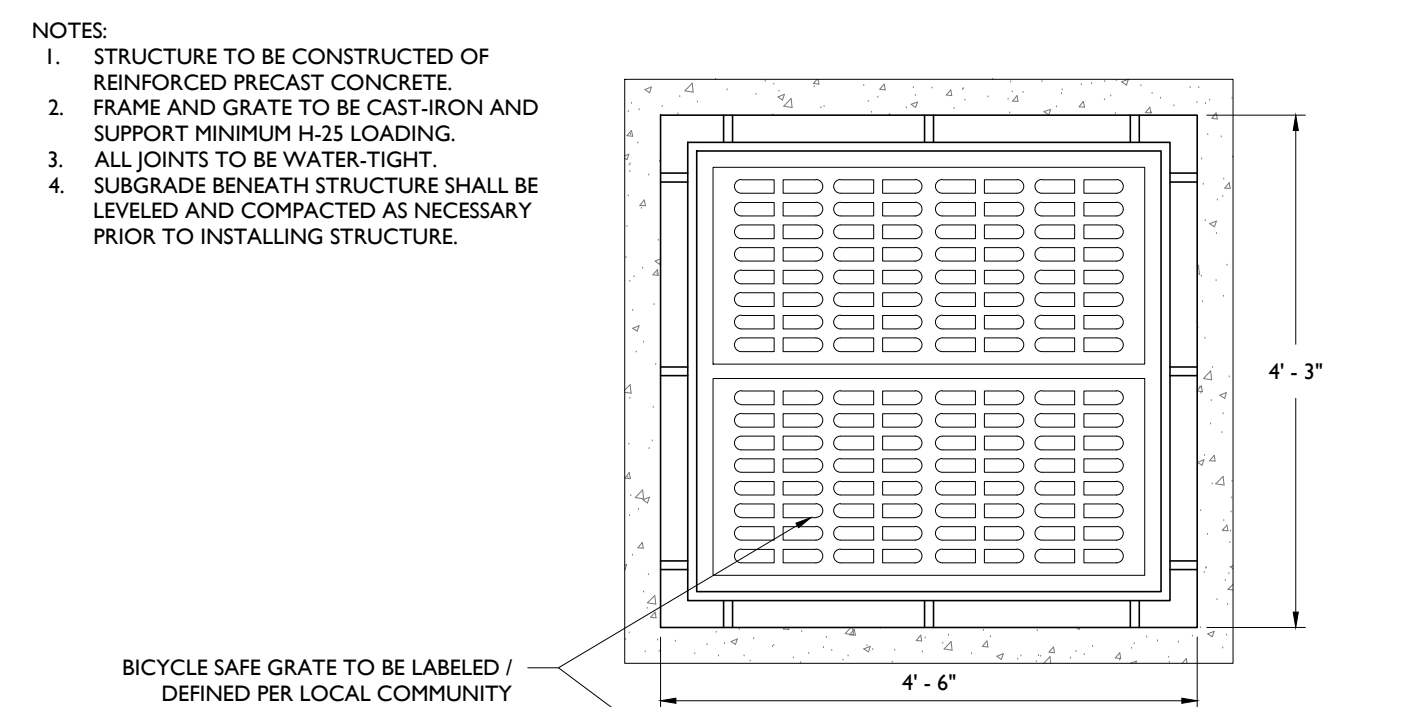
TOP VIEW



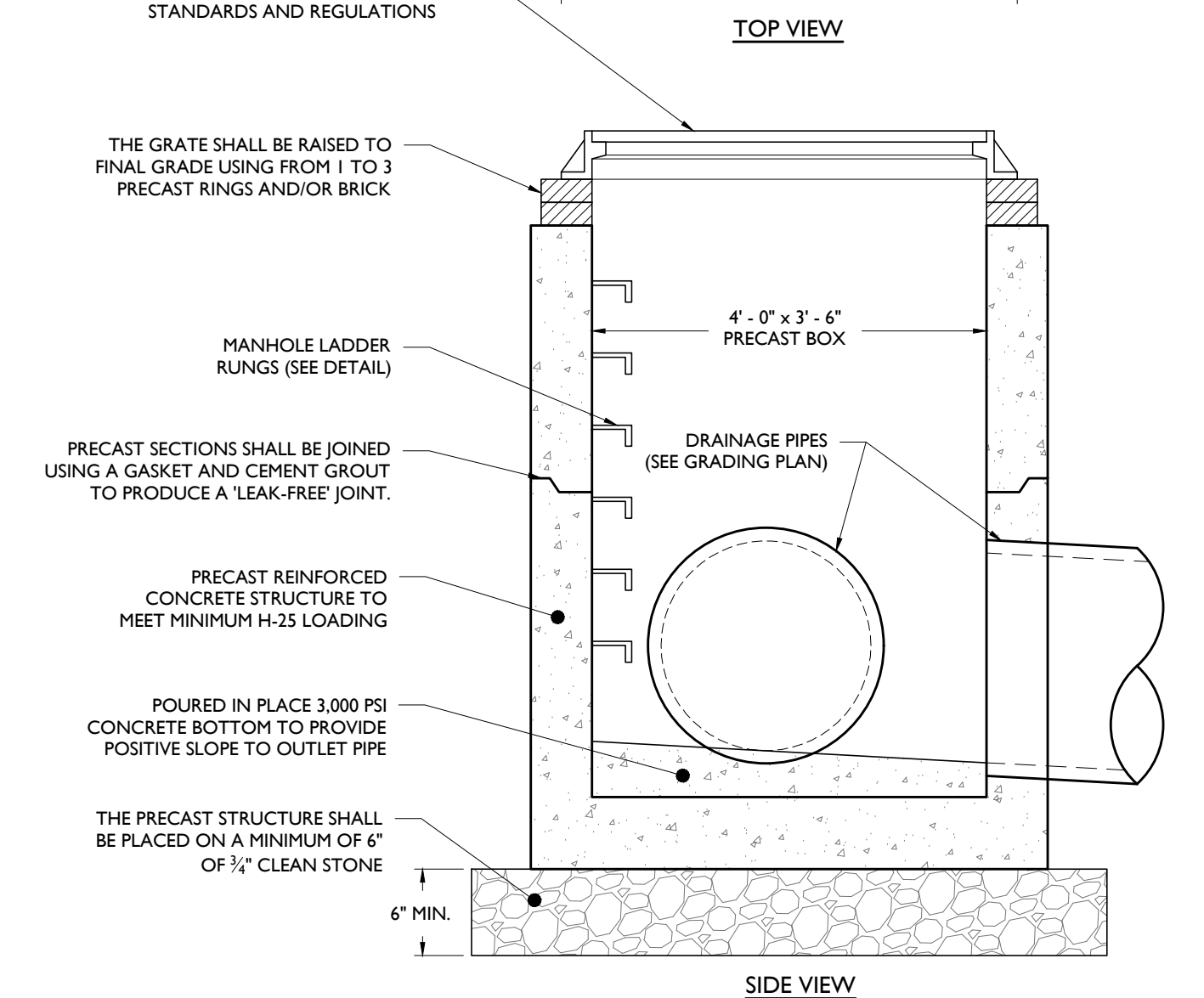
SIDE VIEW

TYPE 'B' STORM INLET DETAIL

NOT TO SCALE



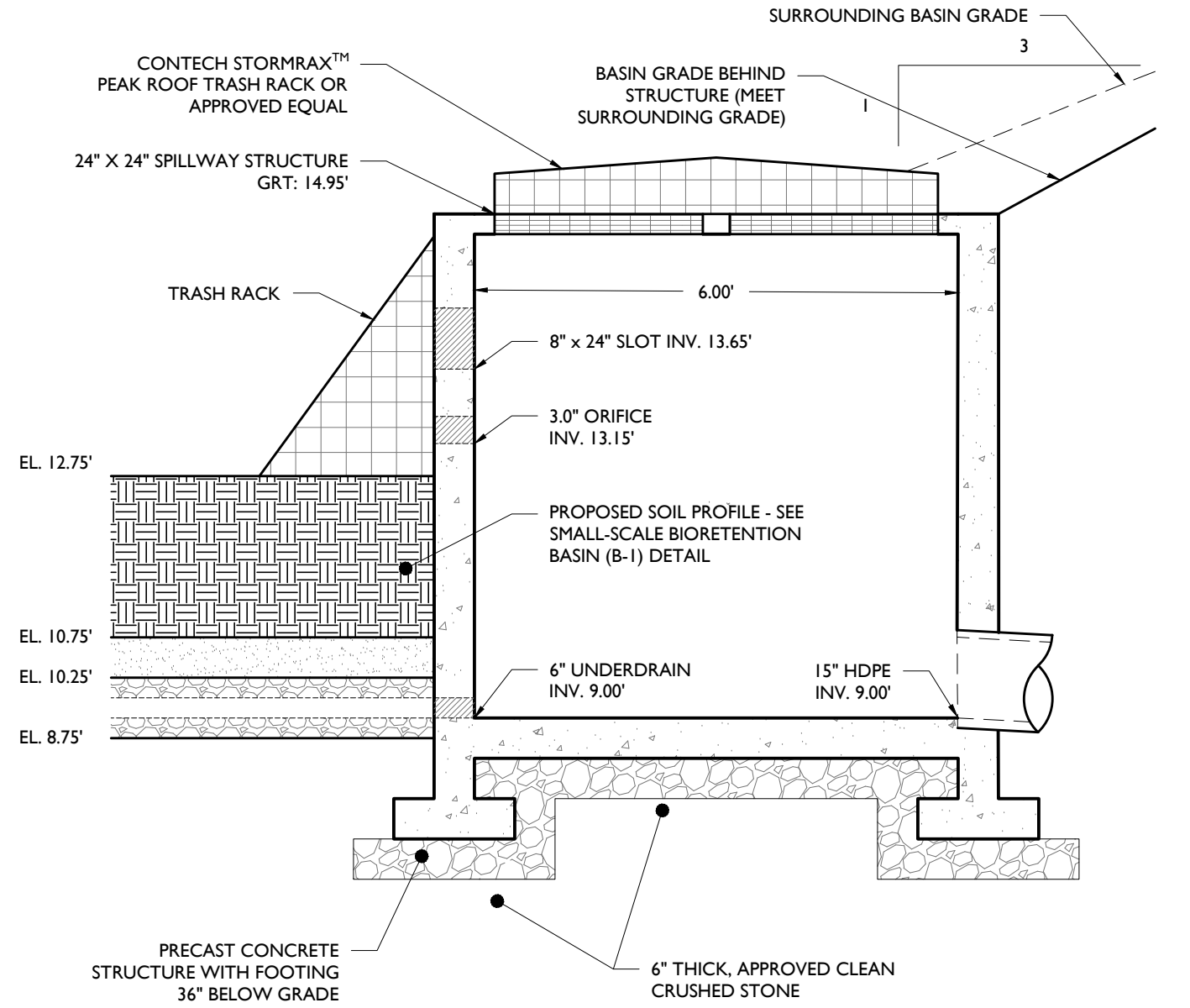
TOP VIEW



SIDE VIEW

TYPE 'E' STORM INLET DETAIL

NOT TO SCALE



ABOVE-GROUND OUTLET STRUCTURE (OS-I) DETAIL

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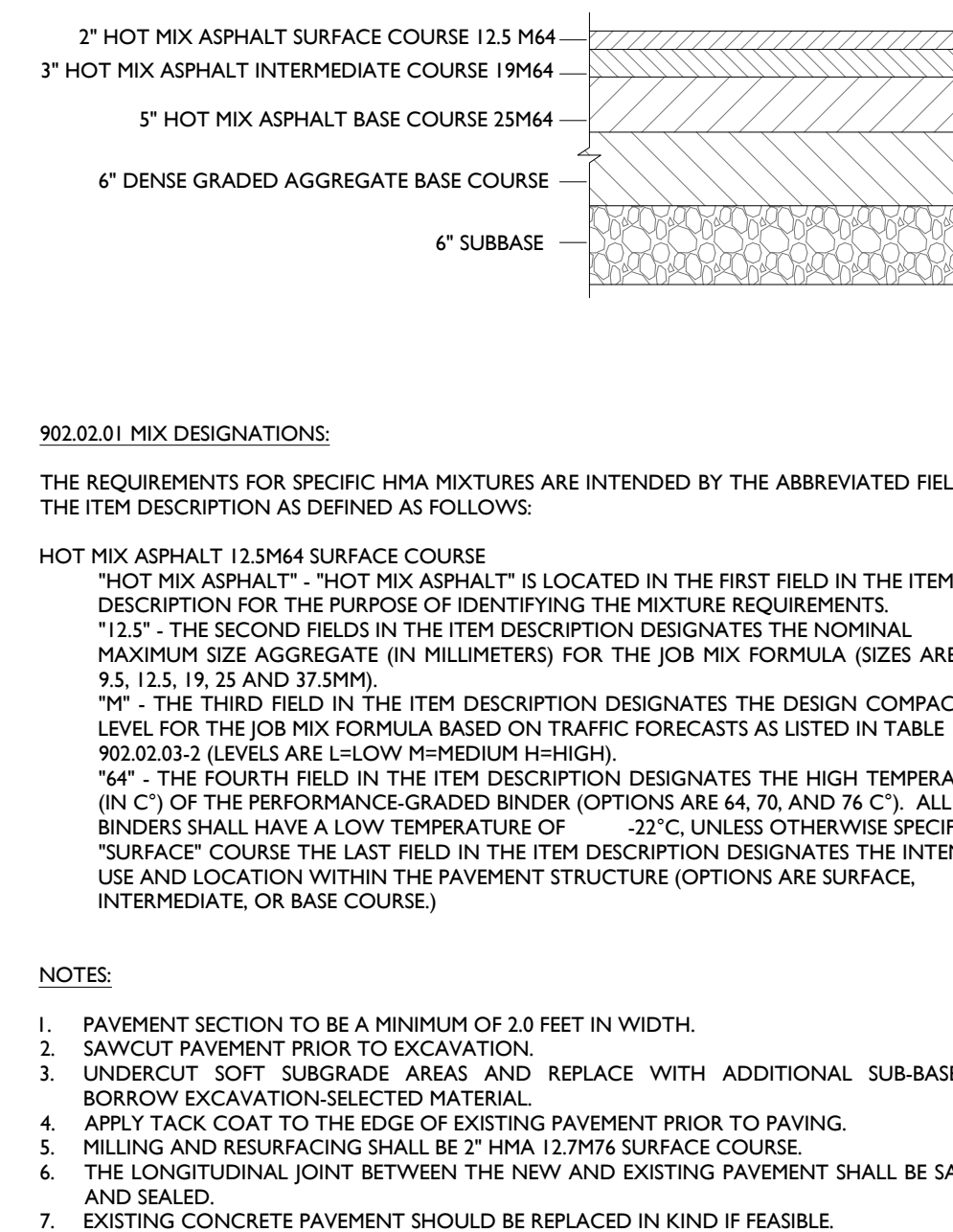
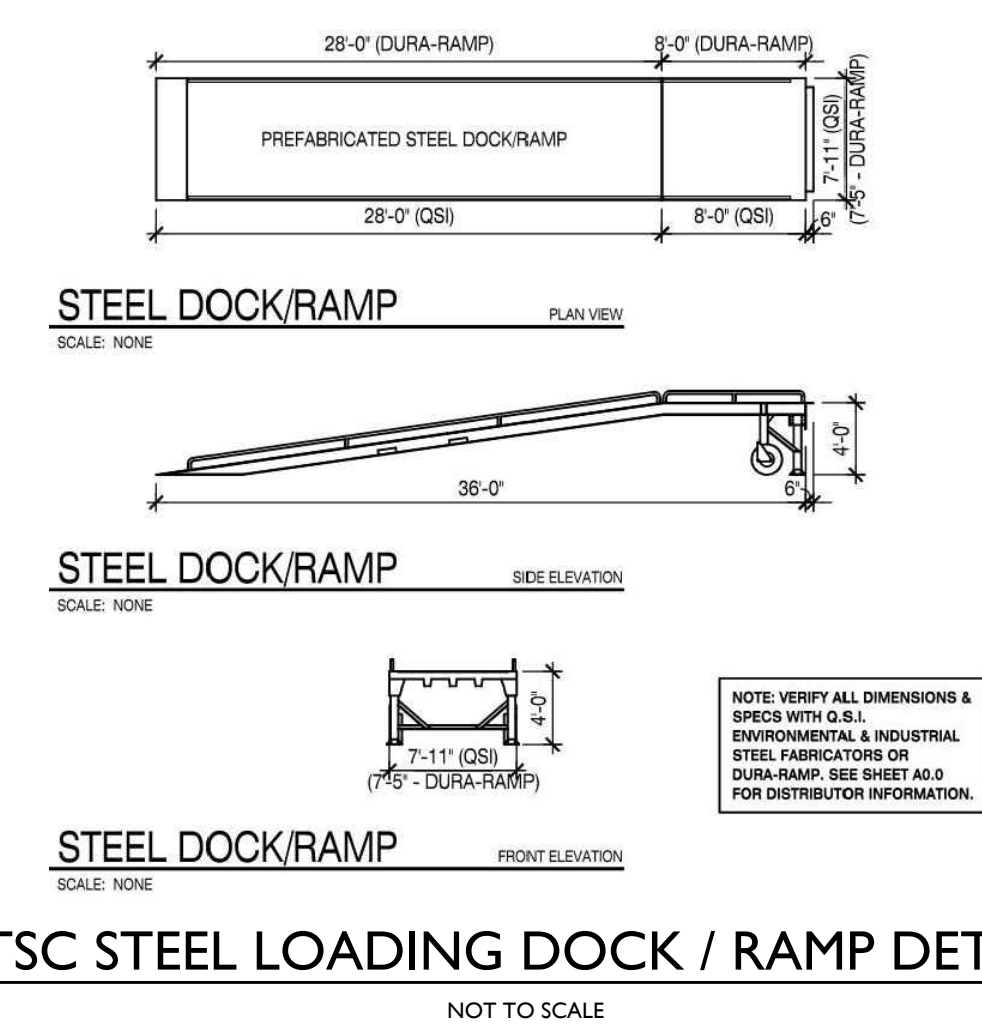
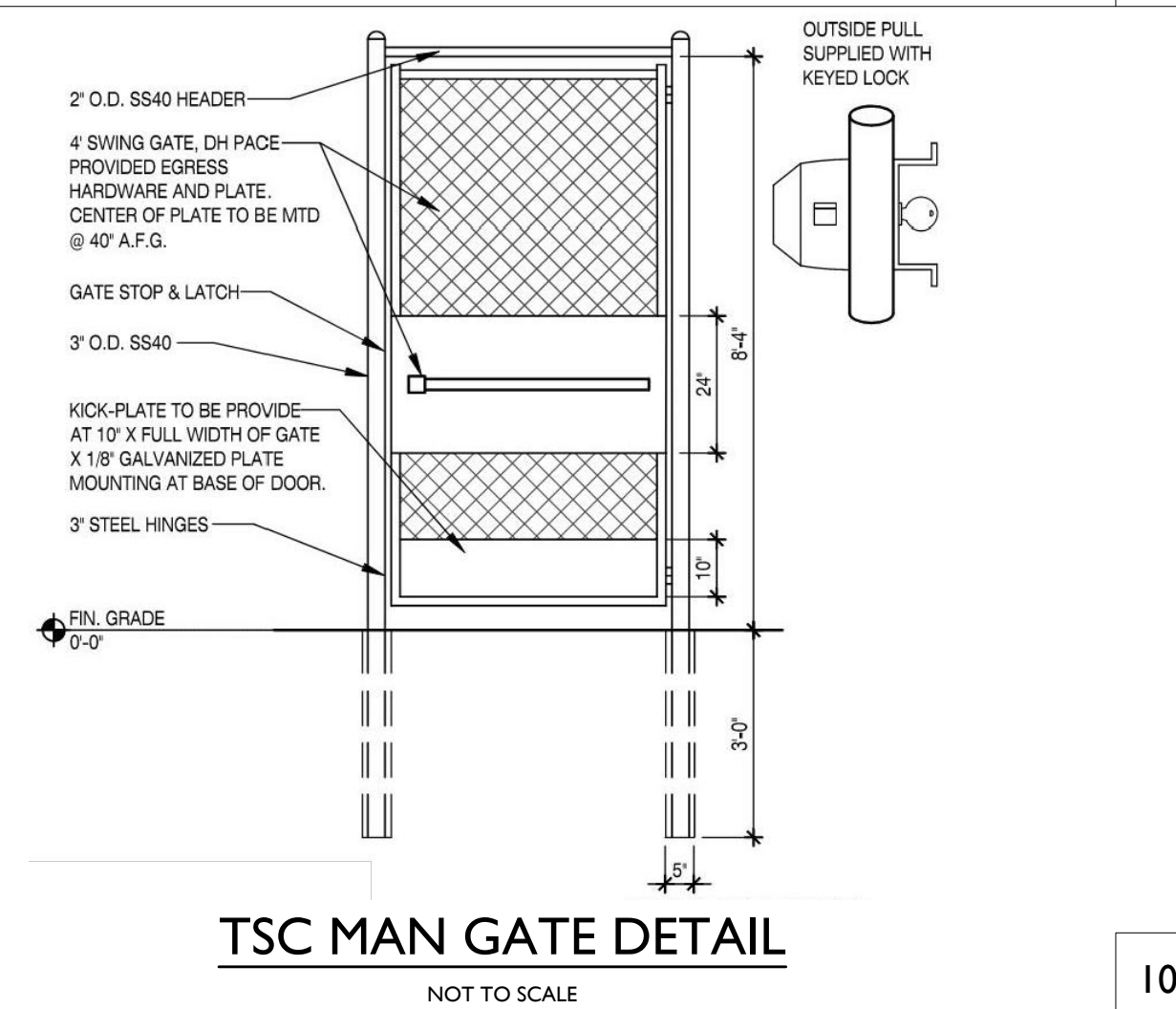
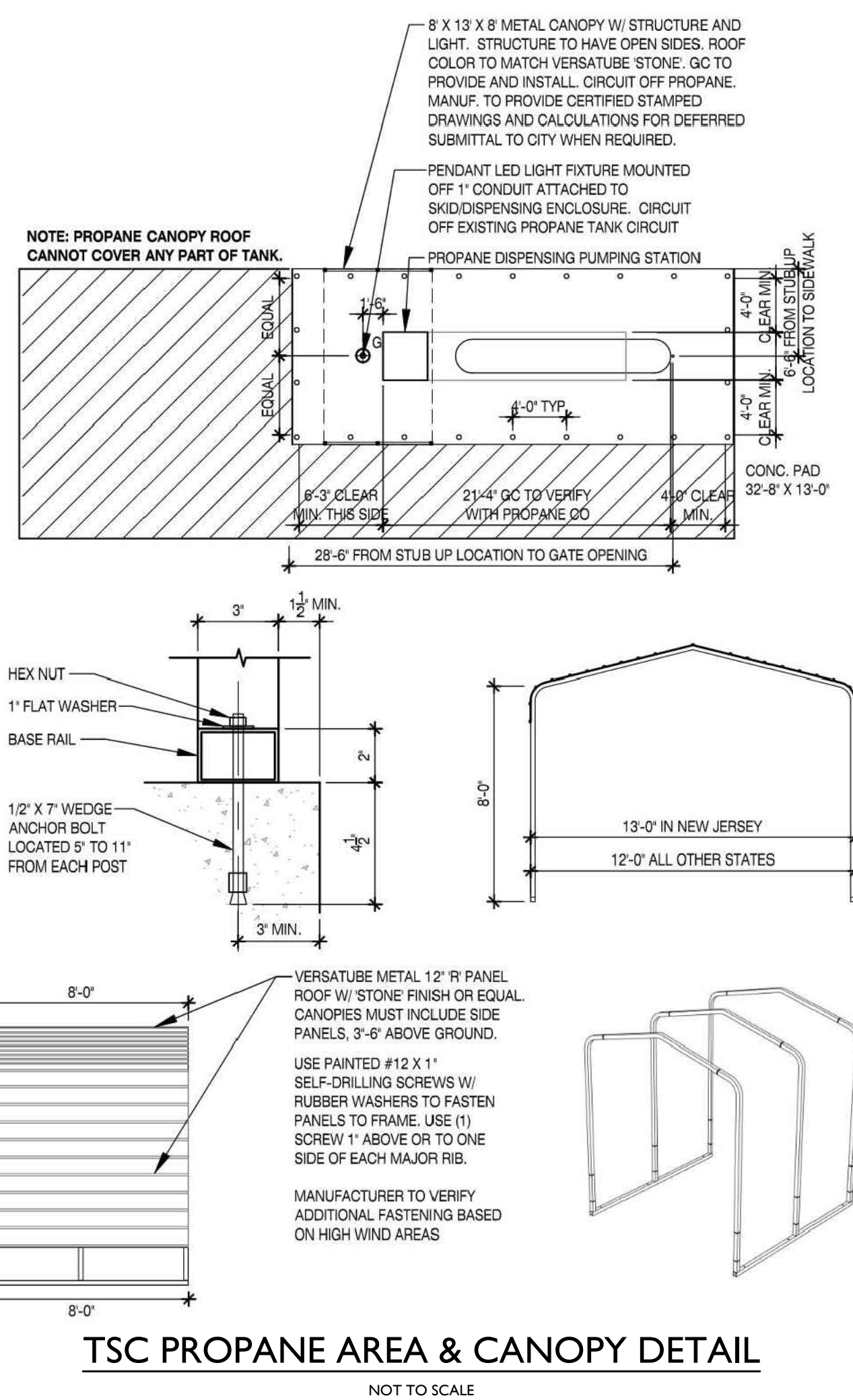
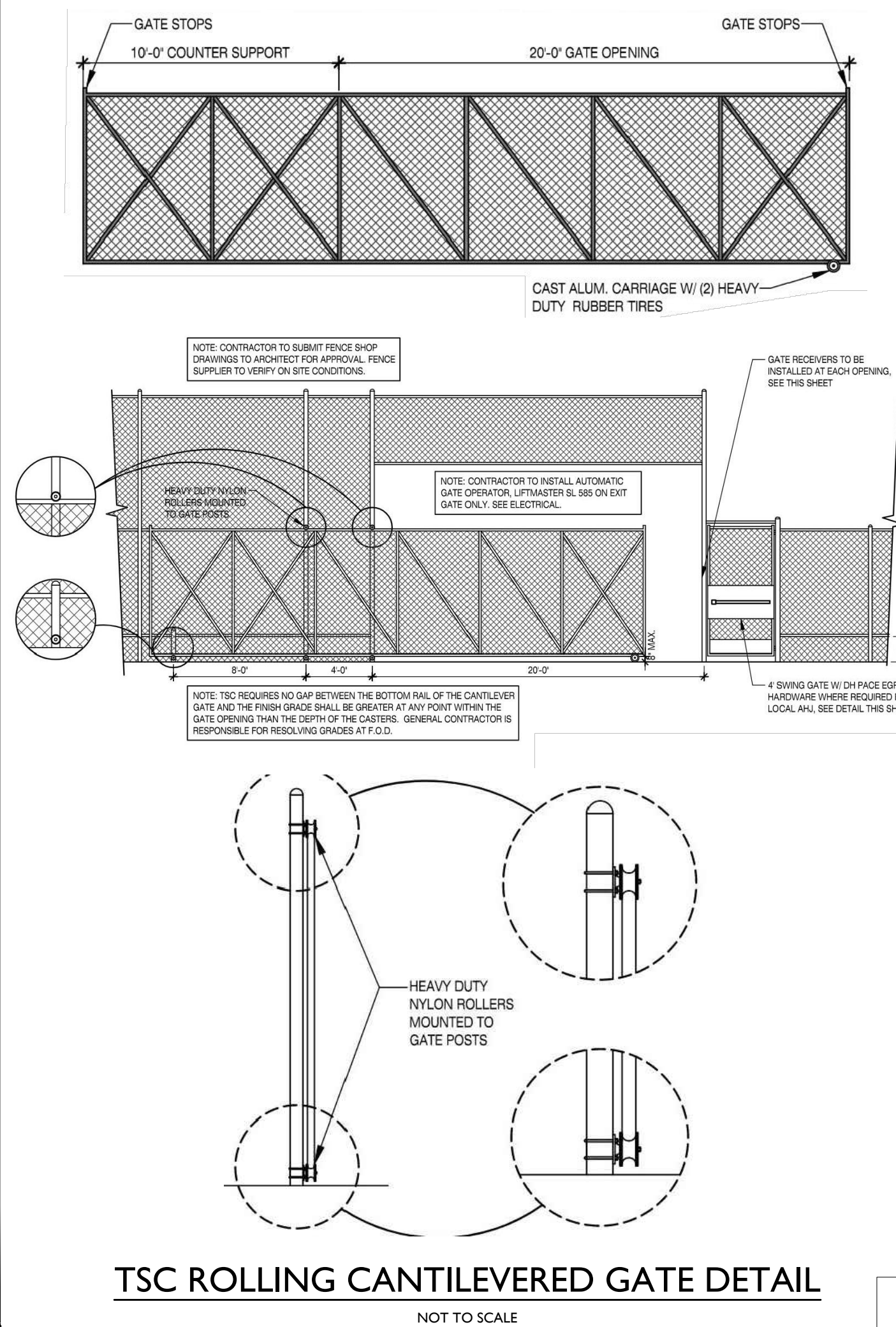
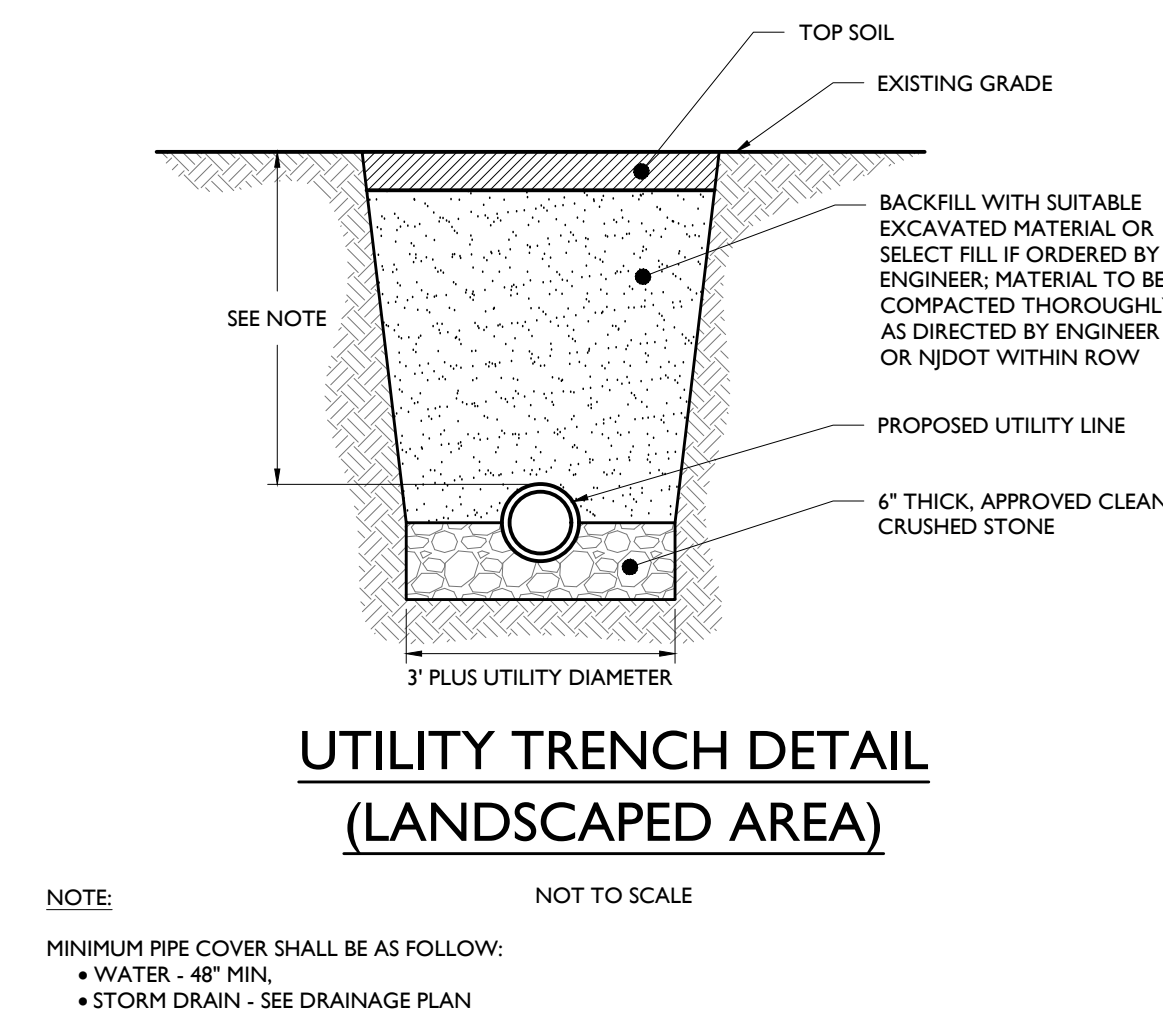
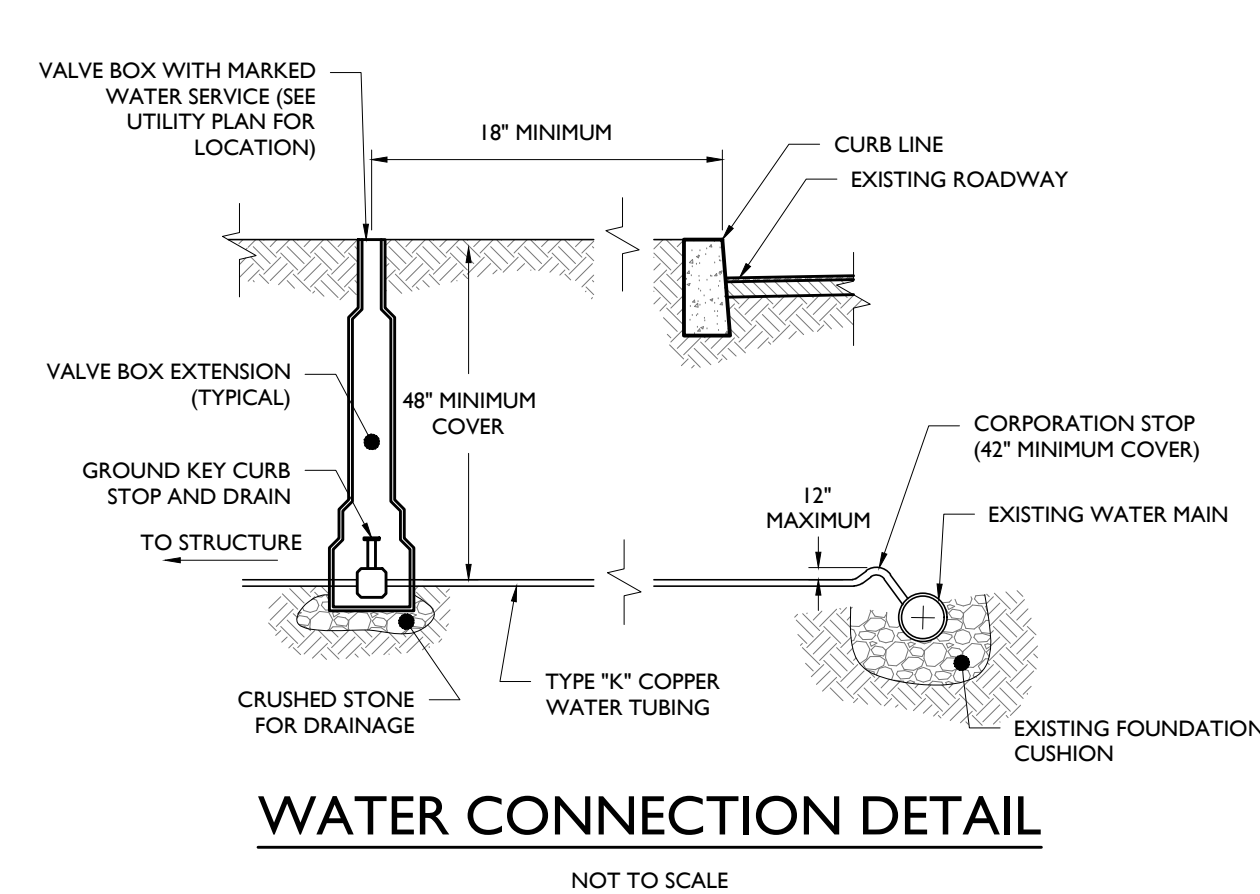
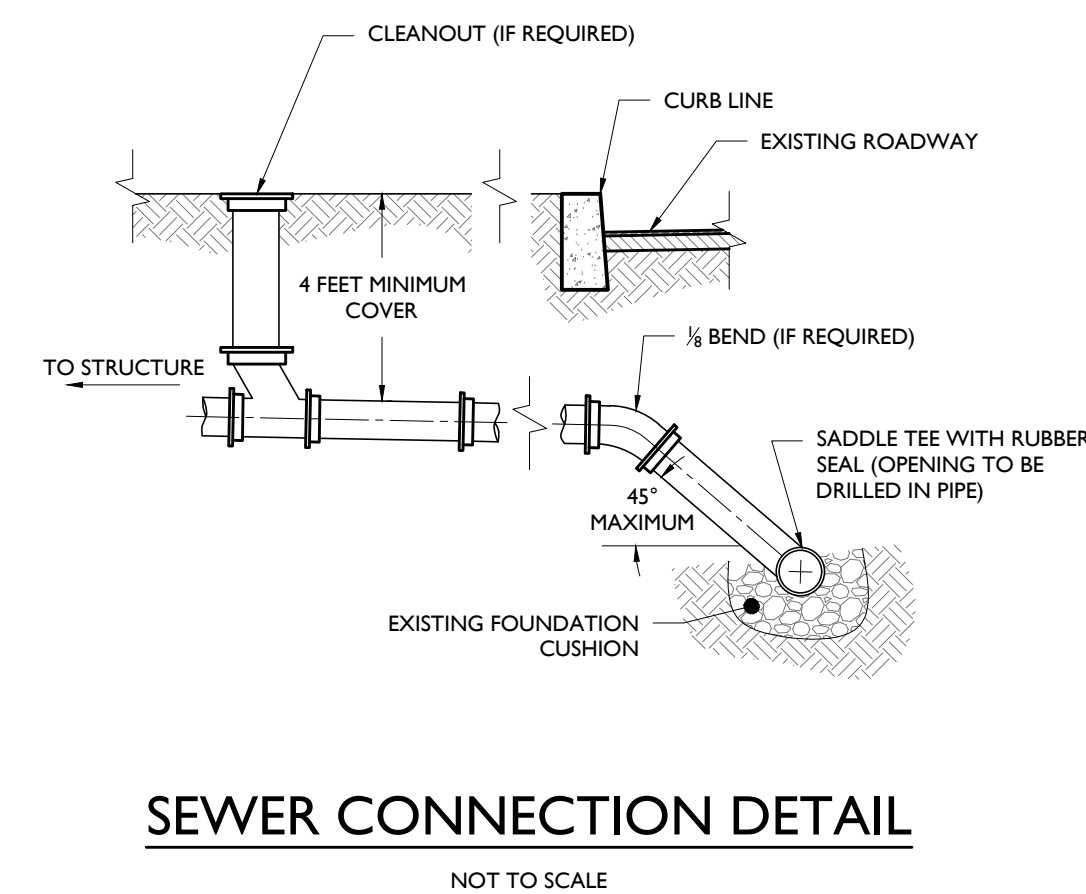
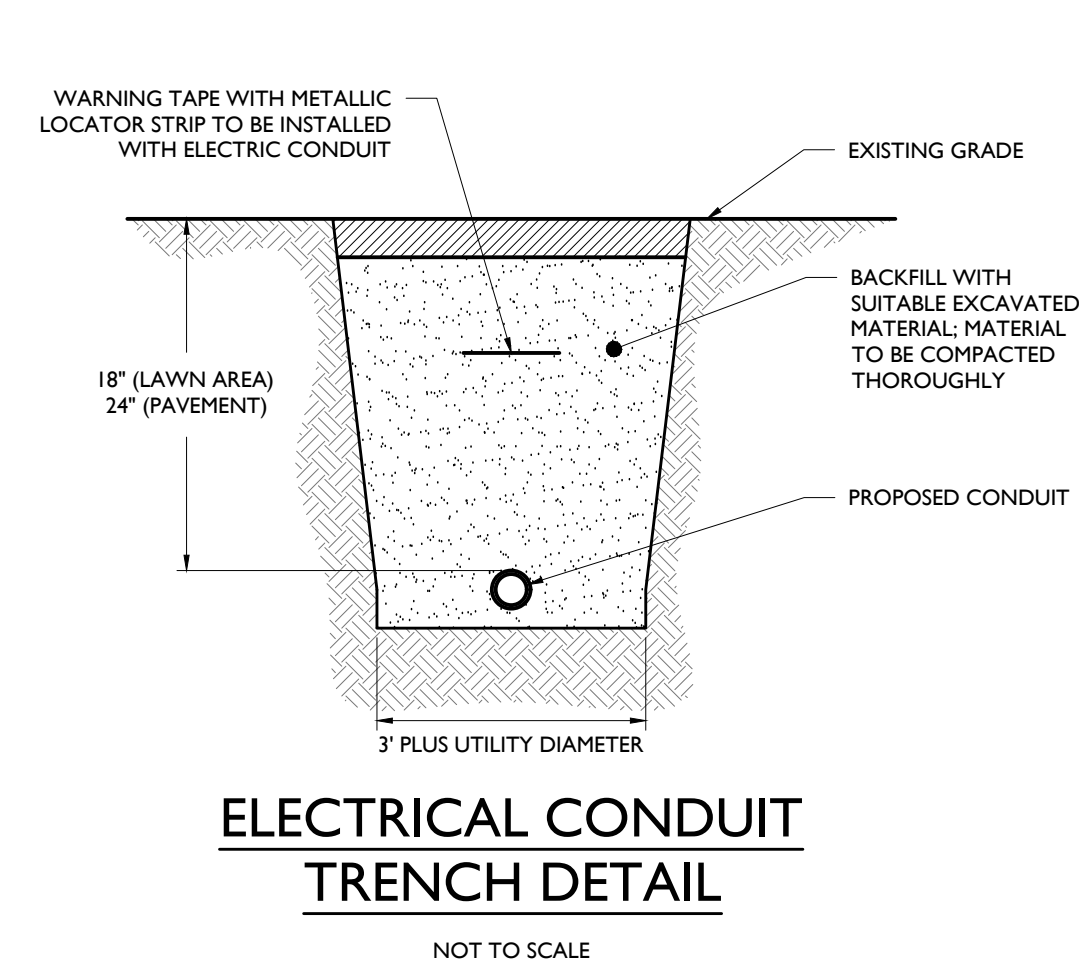
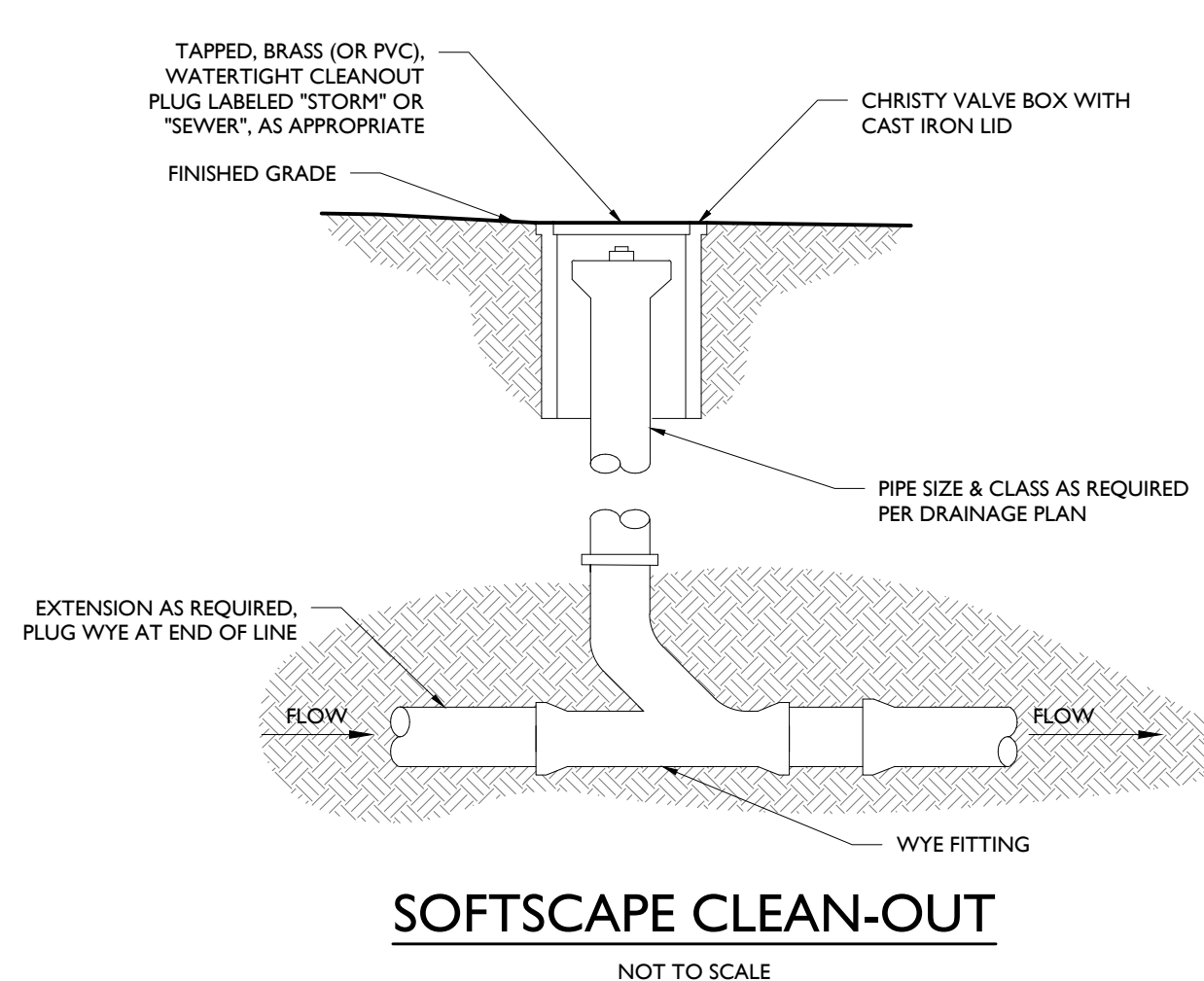
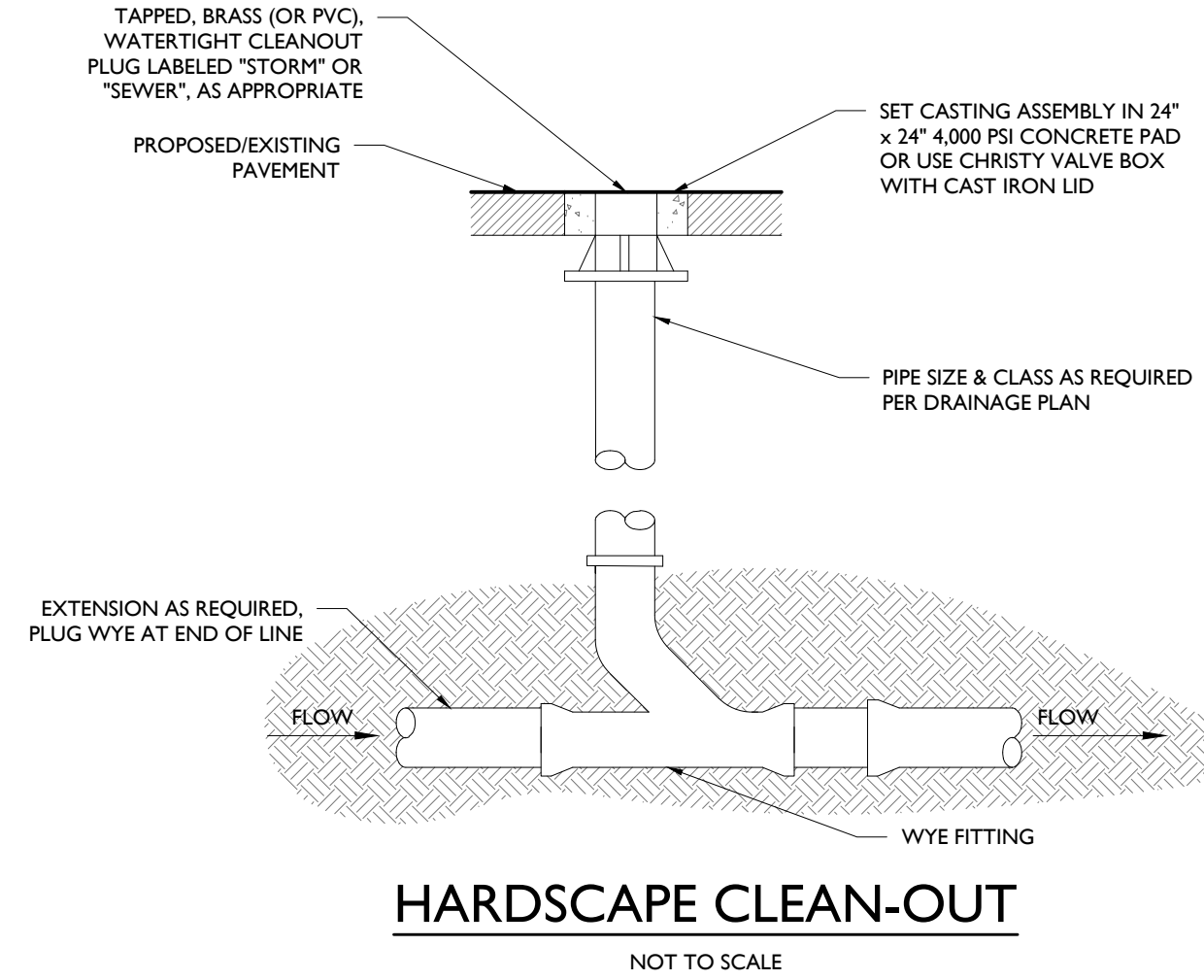
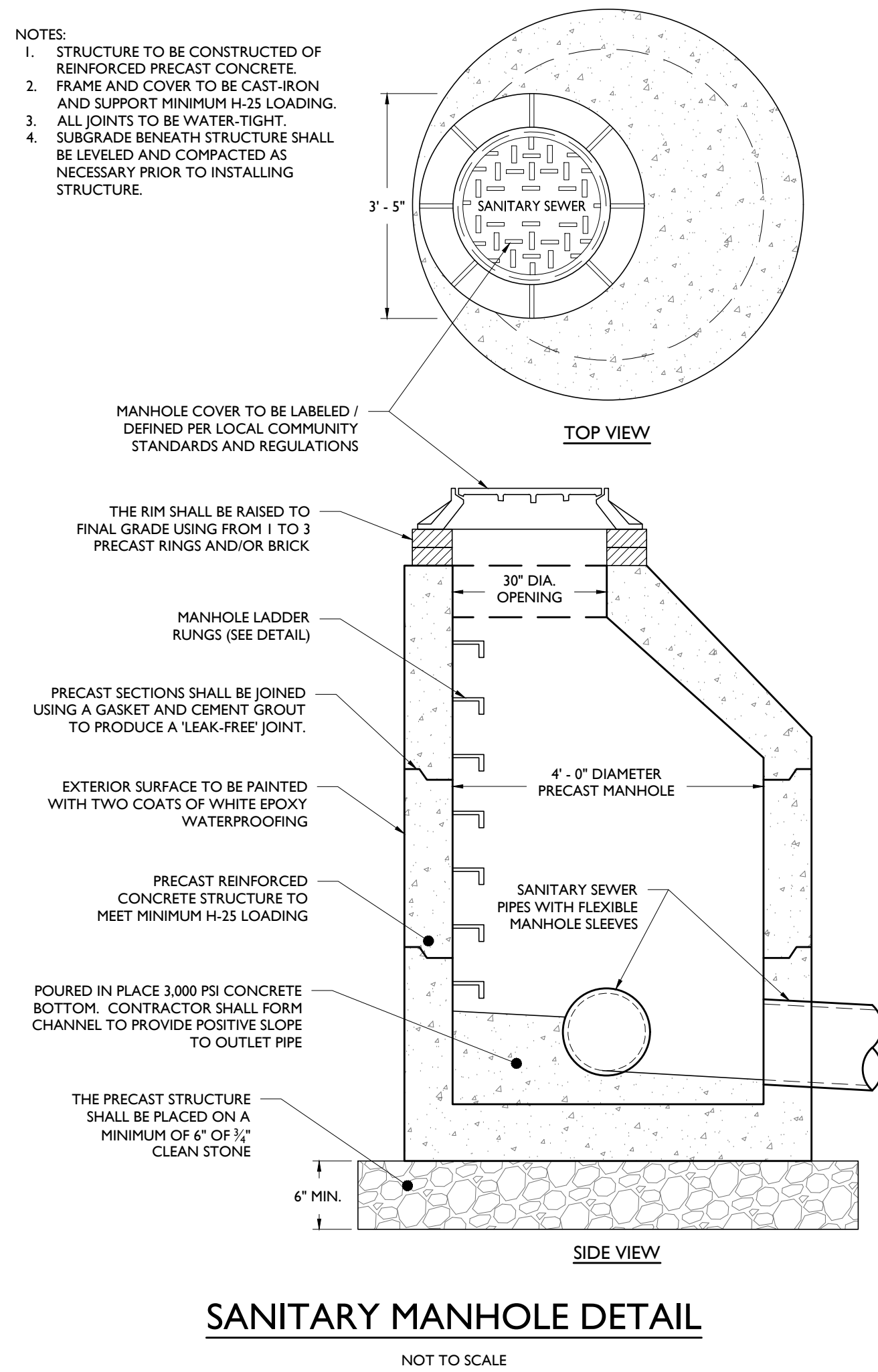
PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

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SCALE: NTS PROJECT ID: PRI-220476

TITLE:
**CONSTRUCTION
DETAILS**

DRAWING:
C-14



ISSUE	DATE	BY	DESCRIPTION
6	01/08/2024	LR	FOR MUNICIPAL RESUBMISSION
5	01/02/2024	LR	FOR INTERNAL CLIENT REVIEW
4	13/06/2023	GC	FOR COMPLETENESS RESUBMISSION
3	10/25/2023	GC	FOR COUNTY & SCD SUBMISSION
2	09/26/2023	LR	FOR MUNICIPAL RESUBMISSION
1	09/18/2023	GC	FOR MUNICIPAL SUBMISSION

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15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

HSC PENNSVILLE LLC

**PROPOSED TRACTOR
SUPPLY CO.**



**TAX MAP SHEET 45, BLOCK 4503, LOTS 2 & 3
NJ ROUTE 49 AND CHESTNUT LANE
PENNSVILLE TOWNSHIP**



PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE:	NTS	PROJECT ID: PRI-220476
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TITLE:

CONSTRUCTION DETAILS

DRAWING:

C-15

PROPOSED AREA LIGHT

NOT TO SCALE

PROPOSED WALL LIGHT
NOT TO SCALE

PROPOSED CANOPY LIGHT
NOT TO SCALE

NOTES:

1. CONCRETE TO BE 4,000 PSI AT 28 DAYS.
2. REINFORCEMENT TO CONFORM TO ASTM A-615, GRADE 60 AND ASTM A-185.
3. DIMENSIONS SHOWN ARE MINIMUMS REQUIRED. SEE GRADING & DRAINAGE PLAN.
4. SUBGRADE BENEATH FOOTING SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

NJDOT METHOD OF DEPRESSING CURB AT DRIVEWAYS (FOR USE WITHIN NJDOT ROW) NOT TO SCALE

NJDOT 9"X16" CONCRETE / WHITE
CONCRETE VERTICAL CURB
(FOR USE WITHIN NJDOT ROW)
NOT TO SCALE

NOTES:
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH
PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF
CURB.
EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB

DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

PLAN VIEW


Diagram illustrating the plan view of a gate structure, showing dimensions and reinforcement details:

- Overall Dimensions:**
 - Width: 21' (Total), with 8' sections on either side of the main gate body.
 - Height: 11' (Total), with 8' sections on either side of the main gate body.
- Gate Body Details:**
 - Concrete:** 6" CLASS B CONCRETE PAD.
 - Reinforcement:** 4" Ø BOLLARD SPREAD AT 4' ON CENTER (MAX).
 - Slope:** 1% MINIMUM SLOPE (indicated on both sides).
 - Blockwork:** SPLIT FACE BLOCK (8" CMU) FILLED WITH AIR ENTRAINED CONCRETE (4000 PSI AT 28 DAYS) WITH #5 VERTICAL REBAR AT 16" ON CENTER AND #4 HORIZONTAL REBAR AT 16" ON CENTER (SEE SECTION VIEW).
 - Control:** SLAB CONTROL JOINT.
 - Footings:** CONCRETE FOOTING AIR ENTRAINED CONCRETE 4000 PSI AT 28 DAYS (SEE SECTION VIEW).
- Gate Assembly Details:**
 - Gate and Post:** GATE AND POST (SEE FRONT VIEW).
 - Foundation:** 6" CONCRETE PAD (SEE SITE PLAN).
 - Anchorages:** ANCHOR SLEEVES FOR GATE STOP HOLDERS (SEE FRONT VIEW).

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SUPPLY CO.

TSC TRACTOR
SUPPLY CO.

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SALEM COUNTY, NJ



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SCALE: NTS | PROJECT ID: PRI-220476

TITLE:

**CONSTRUCTION
DETAILS**

DRAWING:

C-16