

Home Inspection Report



, SC

Inspection prepared for: Sample Report

Date of Inspection: 12/12/2018 Time: 12:30pm

Age of Home: 27 years Size: 2045

Weather: Partly cloudy, 43 degrees

Inspector: Jeffrey J Triska

License #49339
200 Poore Rd., Piedmont, SC 29673
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INTRODUCTION:

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

What We Inspect:

A Home Inspection is a non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions.

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.

Report Summary

Roof		
Page 8 Item: 7	Chimney	<ul style="list-style-type: none"> • Chimney cap is crack, possible water intrusion.
Page 9 Item: 8	Gutter Condition	<ul style="list-style-type: none"> • Rusting screws on some gutters. Recommend painting or replacing screws with corrosion resistant screws
Exterior		
Page 11 Item: 6	Exterior Doors	<ul style="list-style-type: none"> • Rear door of house swings open. Door is out of level. It does have a good seal.
Page 11 Item: 7	Storm Doors, Windows	<ul style="list-style-type: none"> • In the inspectors opinion the rear screen door is near the end of their useful life. It is sagging towards the latch side.
Page 12 Item: 11	Deck Condition	<ul style="list-style-type: none"> • Improper deck piers. Support posts are not secured to piers, support posts have direct contact with soil. • Missing baluster, install new one. • Deck stair railings are loose and are not graspable.
Page 15 Item: 16	Electrical Conditions	<ul style="list-style-type: none"> • Extension cord running to pond. Cords are not to be buried. • Recommend moving security light away from roof to avoid fire when bulb is installed. • All outside outlets need to be GFCI protected. 2 front porch outlets and one rear out need to be GFCI protected.
Page 16 Item: 17	Door Bell Condition	<ul style="list-style-type: none"> • The doorbell is damaged at the rear of the house.
Page 16 Item: 19	Walkway Conditions	<ul style="list-style-type: none"> • Possible trip hazard. This is a safety concern. Suggest repair/replacement as needed to ensure safety.
Page 18 Item: 22	Lot Grade and Drainage Conditions	<ul style="list-style-type: none"> • Area under deck is pitched word house and forms a pool along the foundation. Area should be re-graded to slope away from house. Recommend 6" drop in 10 feet.
Garage		
Page 21 Item: 11	Fire Door Conditions	<ul style="list-style-type: none"> • No self closer. Recommend installation of self closer to protect against fume entry.
Basement		
Page 23 Item: 4	Foundation Walls Condition	<ul style="list-style-type: none"> • Active leaks observed at the time of inspection. This area is directly inside of the poor grading under the deck.
Page 24 Item: 7	Support Post Comments	<ul style="list-style-type: none"> • Posts are finished or concealed, unable to inspect.
Attic		
Page 27 Item: 8	Electrical Conditions	<ul style="list-style-type: none"> • Open junction boxes were observed, which is a safety concern. Recommend installing proper covers, as needed, for safety.
Page 28 Item: 11	Attic Comments	<ul style="list-style-type: none"> • bathroom vent fans are improperly venting into attic. Recommend extending fan exhaust to the exterior to prevent damage and/or deterioration from moisture and/or condensation.
Water Heater		
Page 31 Item: 3	Supply lines Condition	<ul style="list-style-type: none"> • There is a shut off valve on the hot water side. This is not allowed. Must be removed. • Hot/cold water lines are reversed, this condition will cause the water heater to function improperly. Corrections are needed by a licensed plumbing contractor.

Page 32 Item: 4	TPR	• There is no discharge line pipe installed. Must have TPR dishcharge pipe.
Electrical		
Page 33 Item: 2	Main Electrical Panel	• Panel cover removal is restricted due to soffit framing
Bathroom 2		
Page 54 Item: 11	Tub Surround Condition	• Broken hand grip.
Other Interior Areas		
Page 59 Item: 8	Stair Conditions	• Basement door opens over stairs, should have a 3'x3' landing.

General Information

1. Inspector

Jeffrey J. Triska

2. Persons in Attendance

Buyers

3. Occupancy

The Property is occupied

4. Property Information

This is a single family home • This is a raised ranch.

5. Levels

Bungalow

6. Estimated Age

This home is approximately 20 to 30 years old.

7. Weather conditions

Cloudy • Cold

Roof

1. Methods Used to Inspect Roof

How Inspected: Roof mounted.

2. Style

Materials: Cross Gable.

3. Roof Condition

Inspected
 Not Inspected
 None

Materials: Architectural asphalt shingles.

Observations:

- Roof appeared serviceable at time of inspection. No prediction of future performance or warranties can be offered.
- The roof shows normal wear for its age and type.
- No **Drip edge** installed.



No Drip edge.

4. Roof Flashing Condition

Inspected
 Not Inspected
 None

Materials: Aluminum.

Observations:

- No step flashing get on chimney, existing flashing looks in good condition.



No Step flashing.

5. Skylights

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

6. Penetrations

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fireplace chimney. • Kitchen range vent. • 3 Plumbing vent stacks noted.

Observations:

- Exposed nails on vent flashing, should be sealed with roof cement.





7. Chimney

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Masonry Fireplace Chimney.

Observations:

- Spark arrestor present.
- Chimney cap is crack, possible water intrusion.



8. Gutter Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Gutters are present. • Aluminum.

Observations:

- Suggest cleaning gutters now, and as a normal part maintenance.
- **Rusting screws on some gutters. Recommend painting or replacing screws with corrosion resistant screws**



Exterior

1. Facia/ Eaves

Inspect ed Not Inspect ed None

Materials: Aluminum. Facia • Vinyl. Eaves



2. Trim Conditions

Inspect ed Not Inspect ed None

Materials: Aluminum.

3. Exterior Wall Cladding Condition

Inspect ed Not Inspect ed None

Materials: Brick.

Observations:

• Brick to earth contact noted. This can result in brick "spalling" or deterioration over time. Re-grading or other protection of brick is recommended.



4. Paint/ Caulking

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Doors.

5. Window/Frame Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Double Hung. • Thermopane. • Vinyl Frame.



6. Exterior Doors

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Front of house. • Back of house.

Materials: Wood.

Observations:

- Rear door of house swings open. Door is out of level. It does have a good seal.

7. Storm Doors, Windows

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: No front entrance storm door. • Rear entry storm Door.

Observations:

- In the inspectors opinion the rear screen door is near the end of their useful life. It is sagging towards the latch side.



8. Balcony Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9. Patio Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

10. Porch Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Brick. • Concrete.
 Observations:
 • Covered front porch.



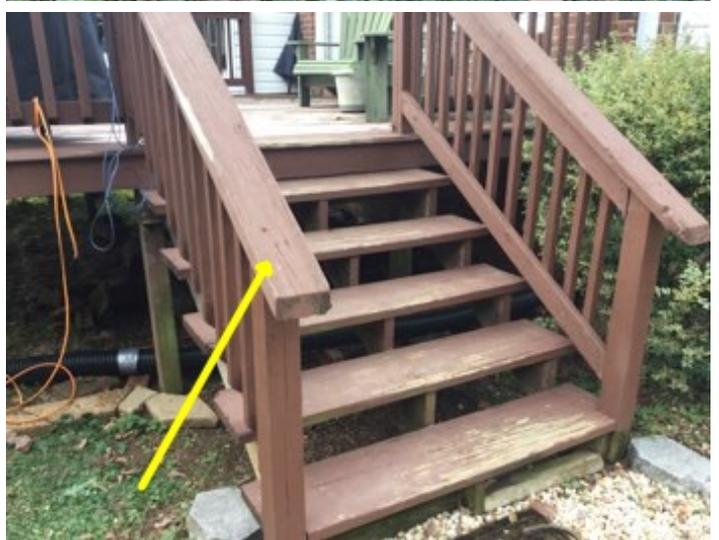
11. Deck Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Wood.

Observations:

- Peeling paint observed, suggest scraping and painting as necessary.
- Improper deck piers. Support posts are not secured to piers, support posts have direct contact with soil.
- Missing baluster, install new one.
- Deck stair railings are loose and are not graspable.



12. Foundation Conditions

Inspected
 Not Inspected
 None

Type: Basement.

Observations:

- Block foundation, with water proofing noted were visible.

13. Electric Meter Condition

Inspected
 Not Inspected
 None

Location: Rear of house.



14. Gas Meter Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Location: Rear of house.

Observations:

- Main fuel shutoff was located at the meter.
- Should have bush trimmed back from meter to allow access



15. Exterior Faucets

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Front of house. • Rear of house. • Left side of house. • Right Side of house.

Materials: Hose Bib.

Observations:

- Recommend installation of screw-on anti-siphon valve to prevent backflow of water.
- Recommend installing frost covers on all hose bibs for winter to prevent freezing.
- Winterized, unable to test.

16. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Security lights on all 4 corners of house. Not tested due to photo cell activated.
- Extension cord running to pond. Cords are not to be buried.
- Recommend moving security light away from roof to avoid fire when bulb is installed.
- All outside outlets need to be GFCI protected. 2 front porch outlets and one rear out need to be GFCI protected.



Missing bulb, recommend moving fixture so bulb will not over hang roof and possibly cause a fire.



Missing bulb



17. Door Bell Condition

Inspected
 Not Inspected
 None

Location: Front of house. • Rear of house.

Observations:

- The doorbell is damaged at the rear of the house.

18. Driveway Condition

Inspected
 Not Inspected
 None

Materials: Asphalt.

Observations:

- Common cracks noted.
- Evidence of ponding observed.



19. Walkway Conditions

Inspected
 Not Inspected
 None

Materials: Concrete. • Stone.

Observations:

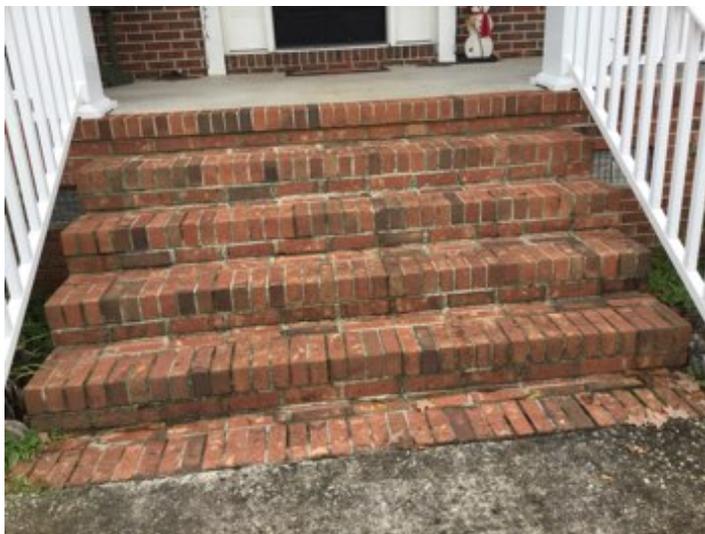
- Common cracks and heaved/settled areas observed.
- Possible trip hazard. This is a safety concern. Suggest repair/replacement as needed to ensure safety.



20. Stairs/ Railings

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Brick
Materials: Vinyl



21. Fence Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Chain Link.

Observations:

- Peeling paint observed, suggest scraping and painting as necessary.

22. Lot Grade and Drainage Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Moderate Slope
- While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector CANNOT always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather. Inspection of foundation performance and water handling systems, therefore, is limited to visible conditions and evidence of past problems. Buyer is advised to refer to Disclosure Statement for further information about drainage failure.

• Area under deck is pitched toward house and forms a pool along the foundation. Area should be re-graded to slope away from house. Recommend 6" drop in 10 feet.



23. Retaining Wall Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Block.

Observations:

- Appeared serviceable at time of inspection. Structural assembly inaccessible.



24. General Exterior Comments

Inspect ed Not Inspect ed None

Observations:

- An effective water management program is required for all homes. This includes maintenance of all wooden components, caulking of all openings and ongoing vigilance of water handling systems, roof and flashing. Buyer is advised that while there may not be evidence of water intrusion into structure at time of inspection, NO STATEMENT referring to future performance can be made due to changing weather and structure conditions.
- Barn/shed/outbuilding observed but not inspected.

Garage

1. Garage Type

Type: Two car drive under.

2. Garage Roof Condition

Materials: Same roofing material as attached house.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Gutter/ Downspout Conditions

Materials: Same gutter system as attached house.

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

4. Wall Cladding

Materials: Same as attached house.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Garage Floor Condition

Materials: Concrete.
 Observations:
 • Common cracks noted.
 • Dry at the time of the inspection.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

6. Garage Door Condition

Materials: Metal, Insulated 8' doors. • Roll-up Panel.
 Observations:
 • Bottom weatherstrip is deteriorated, recommend review for repair or replacement, as necessary.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



7. Garage Door Hardware Condition

Observations:
 • Door hardware is operable.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

8. Door Openers

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Chain drive.
 Materials: Overhead Door
 Observations:
 • Door opener is operable.



9. Garage Window Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

10. Exterior Man Door Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

11. Fire Door Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Metal/Metal Clad.
 Observations:
 • **No self closer. Recommend installation of self closer to protect against fume entry.**

12. Firewalls

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drywall.

13. Garage Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Block.
 Observations:
 • Painted block.

14. Garage Ceiling Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drywall.

15. Garage Electrical Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

16. Garage Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Garage was inspected and is operational.

Basement

1. Basement observations

Inspect ed Not Inspect ed None

Type: Partially Finished. • Walk- out. Exit into garage.

2. Basement Access

Basement stairway inside house.

3. Basement Stairs Condition

Inspect ed Not Inspect ed None

4. Foundation Walls Condition

Inspect ed Not Inspect ed None

Materials: Block.

Observations:

• Efflorescence observed; this is a mineral deposit left behind from exterior water infiltration.

• Active leaks observed at the time of inspection. This area is directly inside of the poor grading under the deck.



5. Basement Floor Condition

Inspect ed Not Inspect ed None

Materials: Concrete. • Carpet.

Observations:

• Common cracks noted.

6. Joist Condition

Inspect ed Not Inspect ed None

Materials: Conventional 2 x 10 Framing. • Steel I Beam.

7. Support Post Comments

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Materials: Metal.

Observations:

- Posts are finished or concealed, unable to inspect.

8. Beams Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Metal.

9. Subfloor Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

10. Basement Ceilings Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drop Tile.

Observations:

- Acoustic tiles are all yellowed.

11. Exterior Doors Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Metal.

12. Window Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

13. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- All electric above drop ceiling, limited access.

14. Visible Plumbing Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Copper.

15. Insulation Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fiberglass.

Observations:

- Insulation is in floor joists. Basement is not heated.

16. Distribution/Ducts

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Ducts

Observations:

- Ducts are all insulated. No registers in basement.

17. Sump Pump

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Basement Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Attic

1. Access

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drop down stair case.

Observations:

- No insulation on attic access.



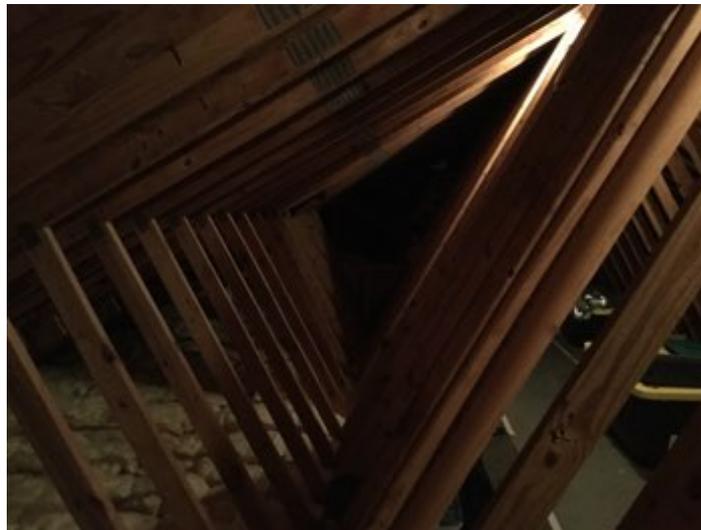
2. Methods Used to Inspect

How Inspected: Entered attic and inspected.

3. Framing Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Style: Truss.



4. Sheathing Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Plywood.

Observations:

- Mild staining at nail penetrations noted.

5. Insulation Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fiberglass. • Rolled/Batt insulation.
 Observations:
 • 4-6" of insulation present.

6. Ventilation Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Style: Attic Fan. • Gable Vents. • Ridge Vents.
 Observations:
 • Attic fan appears to be controlled by a thermostat; no operational test was performed. Suggest verification of performance prior to closing.

7. Window Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

8. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • **Open junction boxes were observed, which is a safety concern. Recommend installing proper covers, as needed, for safety.**



9. Distribution/Ducting Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

10. Evidence of leaking

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:
 • Dry at the time of the inspection.

11. Attic Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Attic should be reviewed at least twice per year to ensure ventilation openings are clear and to ensure development of mould is kept in check. While there may be very little or no evidence of mould build-up in the attic at time of inspection, it can reproduce and spread rapidly should conditions allow it to. Mould can be potentially hazardous and will spread when moisture enters the attic cavity and is not vented to the exterior. Any area of suspected mould should be reviewed by a qualified contractor for analysis and removal.
- bathroom vent fans are improperly venting into attic. Recommend extending fan exhaust to the exterior to prevent damage and/or deterioration from moisture and/or condensation.

Plumbing

1. Water Source

Materials: City water.

2. Main Shutoff Location

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Brass ball valve

Observations:

- Basement, left side of house.



3. Water pressure

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Water Pressure was 62 PSI

4. Water Flow Volume

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Functional water flow with 2 devices open.

5. Supply Line Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Pex

Observations:

- No leaks observed at the time of the inspection.
- Limited inspection, main waterline below ground.

6. Waste Line Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Septic System.

Observations:

- Septic tanks, leach tanks and other private sewage systems are outside the scope of this report and are not inspected. We recommend review by a qualified professional to assess the functionality and condition of the system, prior to close.
- Septic tanks and leach lines are buried and are not visible to the inspector. Should you desire a more thorough inspection of all septic components, further review by a licensed septic contractor is recommended prior to closing to ensure the system is functioning properly.

7. Waste Line Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: **PVC**.

Observations:

- Tested by running water, no leaks apparent at time of inspection.
- Limited visibility, some lines viewable above drop ceiling in basement.

8. Ejector Pump Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9. Venting Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Noted vent stack in attic, through roof. All other vents are not visible.

10. Plumbing Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

- All plumbing components tested well at time of inspection unless otherwise noted.

Water Heater

1. Brand

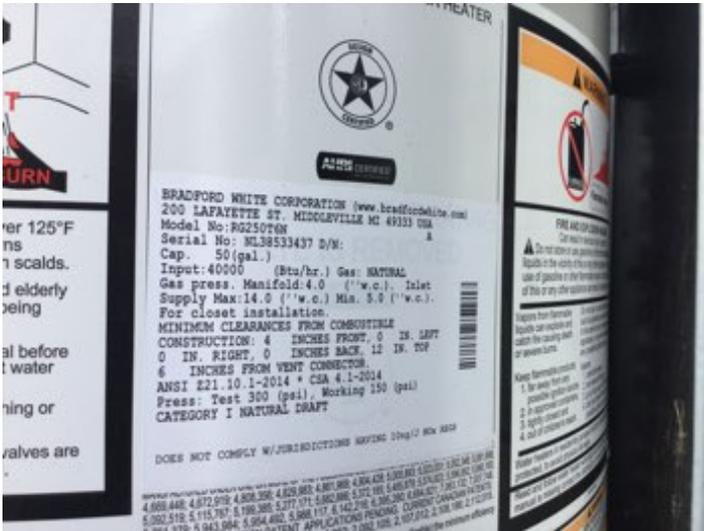
Materials: Bradford white

2. Water heater

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Tank.
 Materials: Natural Gas.
 Observations:

- Water heater is located outside on back of house in a stainless steel enclosure



3. Supply lines Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: PEX.
 Observations:

- There is a shut off valve on the hot water side. This is not allowed. Must be removed.
- Hot/cold water lines are reversed, this condition will cause the water heater to function improperly. Corrections are needed by a licensed plumbing contractor.

4. TPR

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: **TPR valve** is noted.

Observations:

- Unable to access TPR valve due to location.
- **There is no discharge line pipe installed. Must have TPR dishcharge pipe.**

5. Combustion Chamber Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Observations:

- Inaccessible

6. Flue Venting Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Metal.

7. Water Heater Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Serviceable at time of inspection. No warranties can be offered on this or any other appliance.

Electrical

1. Service Comments

Inspect ed	Not Inspect ed	None	Materials: Main Service Drop is underground. Materials: 240 volt.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

2. Main Electrical Panel

Inspect ed	Not Inspect ed	None	Materials: Breakers. • Service Entrance cables are aluminium. Materials: Basement. Observations: • Panel cover removal is restricted due to soffit framing
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



3. Main Panel Comments

Inspect ed	Not Inspect ed	None	Observations: • Main disconnects are present. • Main Circuit breaker amp rating 200 amp
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

4. Sub Panel

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Branch circuit wiring

Inspect ed	Not Inspect ed	None	Materials: Copper.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

6. Grounding

Inspect ed	Not Inspect ed	None	Materials: Ground stake.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

7. Smoke detector comments

Inspect ed Not Inspect ed None

Location: Basement. • Main Floor. • Bedrooms.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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8. Electrical Comments

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Heating

1. Heating Type

Materials: Gas Forced Air.
Materials: Heil

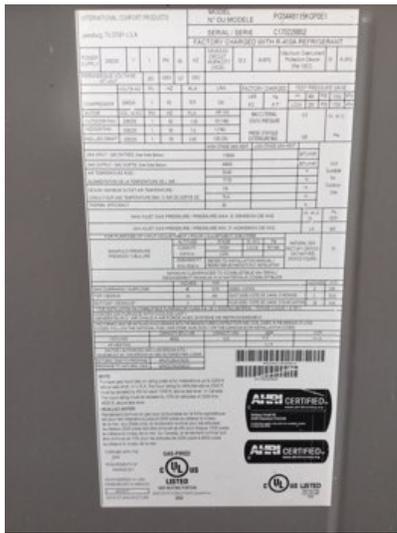
2. Btu/ HR rating

Materials: Outside

3. Operating Comments

Inspected
 Not Inspected
 None

Observations:
 • Temperature at Register...112 degrees
 • Temperature at cold air return...71 degrees



Gas shut off for furnace.

4. Burner Chamber Comments

Inspected
 Not Inspected
 None

Observations:
 • Closed System, not visible

5. Exhaust Venting Conditions

Inspected
 Not Inspected
 None

Materials: Metal.
 Observations:
 • Vents directly to open air



6. Humidifier Comments

Observations: No humidifier installed

7. Air Filter Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• 2- 20"x20" filters in cold air returns in hallway.

8. Thermostat Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Programmable thermostat. • Located in hallway.

9. Distribution Ducting Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Type: Ducts and Registers. • Most ducting is inaccessible, above drop ceiling in basement.

10. Other Heat Source

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

11. Heating Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• Garage has electric space heater mounted to ceiling.

Fireplace

1. Fireplace Location

Location: The fireplace is located in the Family Room. • The fireplace is located in the Basement Family Room. • Fireplace damper is operational.

2. Fireplace Style

Style: Masonry

3. Fireplace Comments

Inspect ed Not Inspect ed None

Observations:

- Recommend further review and cleaning by a qualified professional prior to use.



Air Conditioning

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Air Conditioning Comments

Inspected Not Inspected None Type: Electric. • Central Unit.

2. Brand Name

Materials: Heil

3. Compressor

Inspected Not Inspected None Materials: Outside, back of house.
 Materials: Clean and visible good

4. Operating Comments

Inspected Not Inspected None

5. Other Cooling

6. Comments

Materials: Air conditioning could not be inspected due to outside temperature. Activating air conditioning during cool/cold weather can cause serious damage to the system. Buyer is advised to verify satisfactory operation prior to close.

Laundry Area

1. Laundry Area Location

Location: Main Floor.

2. Floors

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Sheet Vinyl.
 Observations:
 • Minor damage noted.



3. Walls Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drywall/Plaster.

4. Ceiling Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drywall/Plaster.

5. Door Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Bi-fold. • Hollow Core.

6. Window Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

7. Cabinet Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

8. Laundry Tub/Sink Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9. Laundry Faucets

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

10. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • GFCI needs to be installed

11. Washer Hook-ups

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Washer hook ups observed. We do not disconnect the supply hoses to the washer, nor do we operate the valves. These can leak at any time and should be considered a part of normal maintenance.

12. Dryer Hook-ups

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Gas

13. Exhaust Fan Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

14. Laundry Comments

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

15. Washer/ Dryer Comments

Materials: Beyond scope of inspection. • Operational at time of inspection.

Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Kitchen Floor Condition

Inspected
 Not Inspected
 None
 Materials: Wood.



2. Kitchen Walls Condition

Inspected
 Not Inspected
 None
 Materials: Drywall/Plaster.

3. Ceiling Conditions

Inspected
 Not Inspected
 None
 Materials: Drywall/Plaster.

4. Kitchen Doors Condition

Inspected
 Not Inspected
 None
 Materials: Hollow Core.

5. Kitchen Windows Condition

Inspected
 Not Inspected
 None
 Style: Screens are noted. • Double Hung.
 Observations:
 • Some spots between glass of thermopanes.

6. Kitchen Cabinet Condition

Inspected
 Not Inspected
 None
 Observations:
 • Cabinets are in good condition, some minor scratches and blemishes noted.

7. Kitchen Counter Top Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• Granite counters

8. Kitchen Sink Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Stainless Steel.

9. Kitchen Faucets

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traps/Drains/Supply Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



11. Kitchen Electrical Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• GFCI in place

12. Stove Cooktop Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Style: Electric.



Frigidaire

13. Oven Conditions

Style: Electric.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14. Garbage Disposal

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

15. Dishwasher Condition

Observations:

- Operated a rinse cycle, operated as should, no apparent leaks.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



16. Hood Fan Condition

Exterior Vented

Observations:

- Operational.

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

17. Microwave

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

Master Bedroom

1. Floor Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Carpet shows wear as expected for age of home.

2. Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



3. Ceiling Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Door Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Window Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Screens noted.
 • Spots inside glass.

6. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Ceiling fan noted. Fan is operational at time of inspection.
 • **AFCI** Outlets not present

Master Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Bathroom Location

Location: Main Floor. • Ensuite to Master bedroom.

2. Bath Floor Conditions

Inspect ed Not Inspect ed None

Materials: Ceramic Tile.



3. Bathroom Wall Condition

Inspect ed Not Inspect ed None

Materials: Drywall/Plaster.

4. Bathroom Ceiling Condition

Inspect ed Not Inspect ed None

5. Bathroom Doors Condition

Inspect ed Not Inspect ed None

Materials: Bi-fold. • Hollow Core.

6. Bathroom Windows Condition

Inspect ed Not Inspect ed None

Style: Screens noted. • Double Hung.

7. Electrical Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• GFCI in place and operational

8. Heat Source Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Type: Central Heating • Electric Ceiling Heater

9. Bathroom Exhaust Fan Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• Exhaust fan is operational

10. Tub/Whirlpool Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

11. Tub Surround Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

12. Tub Doors Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

13. Tub Faucet Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

14. Shower Base Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fiberglass.

15. Shower Surround Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Ceramic Tile.

16. Shower Door Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Glass. Sliding.

17. Shower Faucet Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Sink Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: China. 2 sinks

19. Sink Faucet Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

20. Traps/Drains/Supply Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

21. Toilet Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

22. Counters/Cabinets Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Bedroom 1

1. Floor Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Carpet shows wear as expected for age of home.

2. Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Ceiling Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Door Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Window Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Screens noted.
- Spots inside glass.

6. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Ceiling fan noted. Fan is operational at time of inspection.
- AFCI Outlets not present.

Bedroom 2

1. Floor Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Carpet shows wear as expected for age of home.

2. Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Ceiling Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Door Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Window Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Screens noted.
 • Spots inside glass.



6. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Ceiling fan noted. Fan is operational at time of inspection.

Bedroom 3

1. Floor Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Carpet shows wear as expected for age of home.

2. Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Ceiling Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Door Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Window Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Screens noted.
- Spots inside glass.

6. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Ceiling fan noted. Fan is operational at time of inspection.
- Open ground on 2 outlets.
- AFCI Outlets not present.

Bathroom 2

1. Bathroom Location

Location: Main Floor.

2. Bath Floor Conditions

Inspected Not Inspected None
 Materials: Ceramic Tile.

3. Bathroom Wall Condition

Inspected Not Inspected None
 Materials: Drywall/Plaster.

4. Bathroom Ceiling Condition

Inspected Not Inspected None
 Materials: Drywall/Plaster.

5. Bathroom Doors Condition

Inspected Not Inspected None

6. Bathroom Windows Condition

Inspected Not Inspected None

7. Electrical Condition

Inspected Not Inspected None
 Observations:

- GFCI in place and operational

8. Heat Source Condition

Inspected Not Inspected None

9. Bathroom Exhaust Fan Condition

Inspected Not Inspected None
 Observations:

- Exhaust fan is operable.

10. Tub/Whirlpool Condition

Inspected Not Inspected None
 Style: Tub

11. Tub Surround Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fiberglass
 Observations:
 • Broken hand grip.



12. Tub Doors Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

13. Tub Faucet Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
 • Operates normally.

14. Shower Base Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

15. Shower Surround Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

16. Shower Door Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

17. Shower Faucet Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Sink Condition

Inspect ed Not Inspect ed None

Materials: China.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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19. Sink Faucet Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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20. Traps/Drains/Supply Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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21. Toilet Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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22. Counters/Cabinets Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Bathroom 3

1. Bathroom Location

Location: Basement.

2. Bath Floor Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Vinyl Tile.

3. Bathroom Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drywall/Plaster.

4. Bathroom Ceiling Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Drop Tile.

Observations:

- Drop ceiling has water stain



5. Bathroom Doors Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Bi-fold. • Hollow Core.

6. Bathroom Windows Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

7. Electrical Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- GFCI in place and operational

8. Heat Source Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9. Bathroom Exhaust Fan Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

10. Tub/Whirlpool Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

11. Tub Surround Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

12. Tub Doors Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

13. Tub Faucet Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

14. Shower Base Condition

Inspect ed	Not Inspect ed	None	Materials: Fiberglass.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

15. Shower Surround Condition

Inspect ed	Not Inspect ed	None	Materials: Fiberglass.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

16. Shower Door Condition

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

17. Shower Faucet Condition

Inspect ed	Not Inspect ed	None	Observations:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	• Unable to test. Items stored in shower

18. Sink Condition

Inspect ed Not Inspect ed None

Materials: China.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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19. Sink Faucet Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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20. Traps/Drains/Supply Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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21. Toilet Condition

Inspect ed Not Inspect ed None

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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22. Counters/Cabinets Condition

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Other Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Floor Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2. Wall Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Ceiling Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Door Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Window Condition

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• Screens noted.

6. Electrical Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

7. Wet Bar Conditions

Inspect ed	Not Inspect ed	None
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

8. Stair Conditions

Inspect ed	Not Inspect ed	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:
• Basement door opens over stairs, should have a 3'x3' landing.

9. Stair Railings

Inspect ed Not Inspect ed None

Materials: Wood.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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10. Other Interior Area Comments

Inspect ed Not Inspect ed None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Drip Edge	Drip edge is a metal flashing applied to the edges of a roof deck before the roofing material is applied. The metal may be galvanized steel, aluminum (painted or not), copper and possibly others.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves