

Item No. 1 **QUESTION:** Sheet L-1.1 references details on Sheet L-1.6, however L-1.6 appears to be missing from the drawing set. Please provide the missing sheet.

RESPONSE: Sheet L-1.6 was eliminated. References have been updated on revised sheet L-1.1.

Item No. 2 **QUESTION:** Sheet L-1.1 references Detail 2/L-1.5 as an ADA Ramp with Handrail/Guardrail. Detail 2/L-1.5 does not align with this reference. Please clarify the discrepancy.

RESPONSE: Reference eliminated on sheet L-1.1. See architectural drawings for handrails and civil drawings for grading.

Item No. 3 **QUESTION:** Items 21 and 22 of the Unit Price Sheet request unit prices for telephone and video drops. Sheet E3.0 notes that data/voice equipment, racks, patch panels, and UPS are by owner. Is the intent to provide rough-in infrastructure (conduit and boxes) only? Is the intent to provide Cat6 cabling from owner provided equipment to data drops shown on the plans? Please clarify low voltage/AV scope to be carried by the GC.

RESPONSE: The intent is for the contractor to provide the telecom outlets, cabling (CAT 6), and terminations to the Owner provided equipment.

Item No. 5 **QUESTION:** No mechanical, electrical, or plumbing demolition drawings are provided. Please provide.

RESPONSE: There are no MEP demolition drawings. All existing MEP systems / devices are to be demolished.

Item No. 6 **QUESTION:** Lighting Note 11 calls for 10% attic stock of light fixtures where indicated in the lighting fixture schedule. The lighting fixture schedule does not indicate any fixtures to receive 10% attic stock. Please confirm which fixtures, if any, are to receive attic stock.

RESPONSE: Attic stock is not required for lighting fixtures.

- Item No. 7** **QUESTION:** Please confirm if the utility company or electrical contractor will be responsible for the utility secondary feed from utility transformers to C/T cabinet and meter socket. Please confirm that the utility company will provide and set the C/T cabinet and meter socket.
- RESPONSE:** **Contractor shall provide pathway for the utility secondary feed from the utility pole to the C/T Cabinet. Secondary conductors shall be by utility company. Contractor shall provide and set the C/T Cabinet and Meter.**
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- Item No. 8** **QUESTION:** There are discrepancies between the electrical and security plans in regard to security rough-in and equipment locations. Please confirm if the security or electrical drawings shall take precedence.
- RESPONSE:** **Security drawings shall take precedence.**
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- Item No. 9** **QUESTION:** Water Service Piping Detail notes to refer to WSSC details. Please provide the referenced WSSC details.
- RESPONSE:** **Reference WSSC – Standard Details for Construction (2021)- W/7.x series.**
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- Item No. 10** **QUESTION:** Please confirm that Washington Gas will be responsible for gas piping from the gas main to the new gas meter.
- RESPONSE:** **Confirmed. Washington Gas will provide design from street to meter.**
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- Item No. 12** **QUESTION:** Please clarify identifies the thickness for glazing at Door Types 1, 2, 4, 5, 7, and 10.
- RESPONSE:** **Door Types 1,2, 4, 5, 7 are new Solid raised hip doors, see door schedule. Door #10 existing to reuse.**
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- Item No. 13** **QUESTION:** Sheet E1.1 shows (3) 4" Schedule 40 direct buried PVC conduits for incoming electrical service. Detail 1/E4.0 shows (2) 5" direct buried PVC conduits for incoming electrical service and (4) 4" direct buried PVC conduits for incoming telecom service. Please clarify the discrepancy.
- RESPONSE:** **(3) 4" Schedule 40 PVC conduits per sheet E1.1. Detail 1/E4.0 is only meant to illustrate the trench requirements and conduit separation.**

Item No. 14 **QUESTION:** Enlarged drawing on Sheet L-1.3 references cross-sectional detail 3/L-1.3. The referenced detail is not provided. Please advise.

RESPONSE: Detail number has been updated on revise sheet L-1.3.

Item No. 15 **QUESTION:** Section 1/A4.3 shows brick treads and risers at stairs leading to Entry 100 but refers to detail 4/A5.5 showing stone treads and brick risers. Section 2/A5.5 shows stone treads & brick risers at stairs leading to Vestibule 101. Sheet L-1.2 does not show stone or brick on any stairs. Please advise on the stair finish discrepancies.

RESPONSE: Refer to architectural drawings for stair details at point of entry. Architecture drawing A5.5 takes precedence showing stone treads and brick risers.

Item No. 16 **QUESTION:** Spec Section 129323 notes to install (2 each) trash and recycling receptacles as shown on Sheet L-1.1. The references sheet does not show any trash or recycling receptacles. Please advise.

RESPONSE: Locations will be determined in the field during construction. Receptacles will be freestanding.

Item No. 17 **QUESTION:** Please provide missing details for full depth asphalt repairs at Carroll Place and Montgomery Avenue utility work.

RESPONSE: Pavement patch detail has been added to sheet C-3A with callouts on C-3 and C-3B.

Item No. 18 **QUESTION:** Spec Section 271100 provides specifications for cable trays. No cable trays are shown on plans. Please confirm j hooks to meet code are acceptable for communications pathways. If cable trays are required, please provide updated drawings showing cable tray routing.

RESPONSE: Cable Tray is not required. J-hooks are acceptable as telecom pathway above accessible ceiling space. Where the ceiling is not accessible, conduit shall be provided as a pathway.

Item No. 19 QUESTION: No manufacturers are provided in Spec Section 271500. Please confirm communications cabling is open source. If not, please provide acceptable manufacturers.

RESPONSE: Cabling is open source.

Item No. 20 QUESTION: Sheets C-1, C-2, C-2A, C-2B, C-2C, C-3, C-3A, C-3B, and C-3C are dated 6/4/21. Sheets C-4A, C-4B, and C-4C are dated 3/30/23. Please confirm these are the most up to date civil sets.

RESPONSE: The revision block is intended for tracking previous changes, rather than plot date. The drawings are dated as issued 01 May 2024 (upper third of the title block on the right). Note that 3 of these sheets (C-3, C-3A and C-3B) are being reissued as part of this addendum.

Item No. 21 QUESTION: Sheets L-1.1, L-1.2, L-1.3, L-1.4, L-1.5, L-2.1, and L3.1 are dated 9/3/20. Please confirm these are the most up to date landscape sets.

RESPONSE: The revision block is intended for tracking previous changes, rather than plot date. The drawings are dated as issued 05/01/24 (upper third of the title block on the right). Note that 3 of these sheets (L-1.1, L-1.3 and L-1.5) are being reissued as part of this addendum.

Item No. 22 QUESTION: There are discrepancies between the landscape and electrical plans in regards to site lighting locations/quantities. Please confirm the electrical drawings shall take precedence.

RESPONSE: Electrical drawings shall take precedence in regard to site lighting locations and quantities.

Item No. 23 QUESTION: Reading Room 104 is specified to receive a custom rug pattern per the Room Finish Schedule. Please provide drawing showing the desired custom rug pattern.

RESPONSE: The custom rug reference is referring to a pattern of the 3 listed carpet tile patterns in a pattern to be provided by the architect during construction. For pricing purposes, assume that the pattern will be made up of 1/3rd of each of the 3 carpet tile patterns.

Item No. 24 QUESTION: As per the Room Finish Schedule, Unisex Handicap Bathroom 008, Unisex Handicap Bathroom 009, and Staff Bath 205 are to receive tile base, and noted "see tile schedule". The Tile Schedule does not specify tile base in these rooms. Please clarify and provide tile base specs if tile base is to be provided.

RESPONSE: Wainscot tile walls, no base required

Item No. 25 **QUESTION:** As per the Room Finish Schedule, Closet 206 is to receive LVT flooring. As per Sheet A6,0, Closet 206 is to receive carpet tile. Please clarify the discrepancy.

RESPONSE: Closet 206 is the closet in the Break Room and shall have LVT tile to match Break Room.

Item No. 26 **QUESTION:** Please provide missing specifications for floor transitions between dissimilar materials.

RESPONSE: See door schedule and room finish schedule A0.2, A0.2a, and A0.3.

Item No. 27 **QUESTION:** Please provide missing LVT specifications for Mechanical Room 209, Mechanical Room 210, and Mechanical Room 211.

RESPONSE: Use same LVT as Breakroom.

Item No. 28 **QUESTION:** 10. Please confirm that the only structure required for the work on C-3B is 1 new manhole type MD-384.01, and that existing inlets are not to be removed or replaced.

RESPONSE: The existing inlets are to be removed and replaced with the structure types indicated on the profile. There are 3 new structures in total – one manhole and two inlets.

Item No. 29 **QUESTION:** 11. Please confirm that no permit is required for the work shown on C-3B, as long as the work is contained within the limits of disturbance.

RESPONSE: A permit will be required from the town of Kensington. ADTEK will procure this permit on behalf of the Owner.

RFP 1169193
 Construction Services for Noyes Library for Young Children - Rehabilitation and Renovation
 Solicitation Amendment 2
 Revised C-3

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	1190.00	107.81	108.45	N 87°58'39" E
C2	1215.00	112.85	111.55	N 35°50'12" W

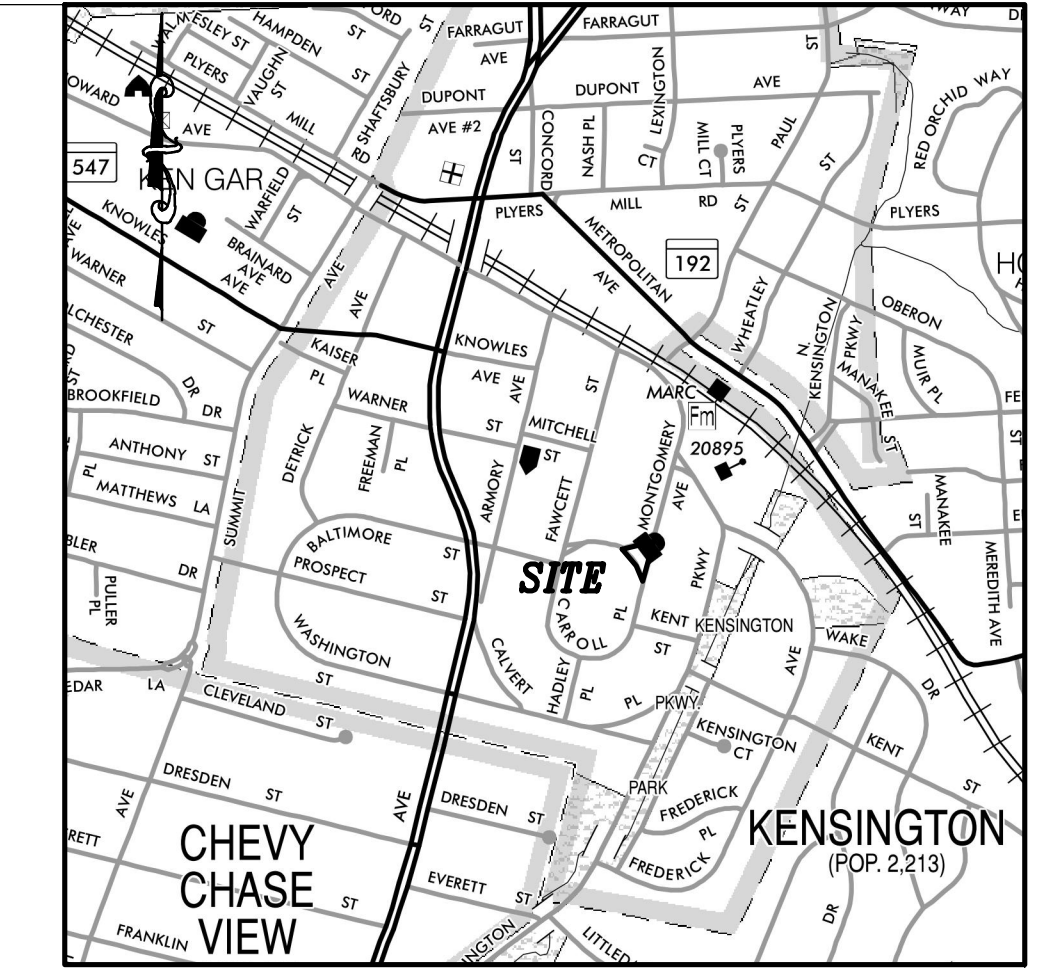
ZONING SUMMARY
 PARCEL: P728
 SUB DIVISION: 0015
 ZONE: R-50
 LOCATION: TOWN OF KENSINGTON

SETBACKS
 FRONT YARD SETBACK: 25' MIN REQ. 2'4", 1.2' AND 13.1'
 SIDE SETBACK: 8' N/A
 REAR YARD SETBACK: 20' N/A

BUILDING HEIGHT
 EXISTING: 29.20'
 ADDITION: 31.04'
 MAX ALLOWED: 35'

LOT AREA: 0.1087 ACRES (4,650 sq.ft.) PER SURVEY COMPLETED BY PVS, INC. DATED 11/19/2019, REVISED 11/21/2019.

MAXIMUM LOT COVERAGE: 35%
EXISTING LOT COVERAGE: 59.2%
PROPOSED LOT COVERAGE: 63.5%



VICINITY MAP
 SCALE: 1" = 1,000'±
 (WSSC GRID: 213 NW 04)
 MONTGOMERY COUNTY

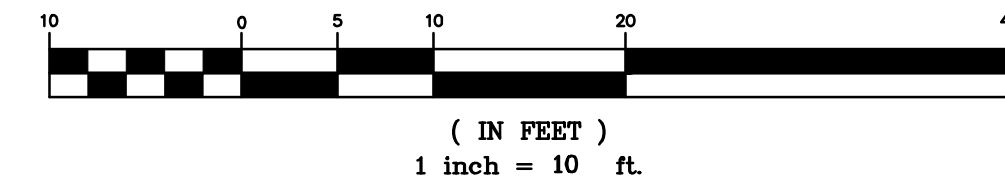
LEGEND

- PROPOSED STORM DRAIN
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED DEPRESSED CURB & GUTTER
- PROPOSED SIDEWALK SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED SIDEWALK SEE LANDSCAPE PLANS FOR DETAILS
- 2" MILL & OVERLAY
- FULL DEPTH PATCH, SEE DETAIL, SHEET C-3A

SITE NOTES

1. ALL PAVEMENT STRIPING AND HANDICAP ACCESS RAMP SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT APPLICABLE ADA CODES. SPECIFICATIONS AND DETAILS SHOWN ON THE CONTRACT DOCUMENTS.
2. SPOT ELEVATIONS ALONG A CURB LINE ARE TO THE FLOW LINE, UNLESS SPECIFICALLY NOTED OTHERWISE.
3. REFER TO ELECTRICAL PLAN FOR SITE LIGHTING AND LAYOUT. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONSTRUCTION. REFER TO LANDSCAPE PLANS FOR ON-SITE PAVING.
4. CURBS, GUTTERS, SIDEWALKS, AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE FOR ALL AREAS SO THERE IS NO ACCUMULATION OF SURFACE WATER.
5. THE CONTRACTOR SHALL TEST PIT ALL PROPOSED UTILITY CROSSINGS AND PROPOSED UTILITIES WHICH LIE WITHIN FIVE (5) FEET OF EXISTING UTILITIES PRIOR TO TRENCHING OR ORDERING MATERIALS. IF A DISCREPANCY IS FOUND, IMMEDIATELY TEST PIT AND PROVIDE RESULTS TO THE ENGINEER OF RECORD.
6. COORDINATION BETWEEN THE SITE CONTRACTOR AND THE PLUMBING CONTRACTOR IS REQUIRED FOR UTILITY WORK AROUND THE PROPOSED BUILDING. DEMOLITION TO EXISTING UTILITIES IN THESE AREAS SHALL BE BY THE SITE CONTRACTOR. ALL PROPOSED WORK WITHIN THE LIMITS OF THE NEW BUILDING AREAS SHALL BE DONE BY THE PLUMBING CONTRACTOR. (SEE PLUMBING DWG'S).
7. BUILDING STAKEOUT SHALL UTILIZE ARCHITECTURAL PLAN.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF AND ALL COSTS ASSOCIATED WITH ALL PROPOSED UTILITY CONNECTIONS (GAS, ELECTRIC, COMMUNICATIONS, ETC.). THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL UTILITY CROSSINGS TO MAINTAIN MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN SITE CONTRACTOR INSTALLED UTILITIES AND AGENCY INSTALLED UTILITIES SUCH AS GAS, ELECTRIC, COMMUNICATIONS, ETC.
9. ALL GRADES SHOWN INDICATE FINAL CONDITIONS. SUBGRADE PREPARATION AND CONCRETE AND ASPHALT SHALL BE COORDINATED WITH ARCHITECT'S AND LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR LIMITS AND REQUIREMENTS WHERE PAVERS AND/OR STAMPED CONCRETE ARE TO BE PLACED.
10. SEE SHEET C-3A FOR ADDITIONAL SITE DETAILS.
11. PROVIDE SLEEVES IN CONCRETE/PAVING WHERE REQUIRED FOR PLACEMENT OF SIGNAGE. ALL EXISTING SIGNAGE SHOWN ON THE DEMOLITION PLAN TO BE REMOVED SHALL BE REPLACED WITH NEW SIGNAGE IN KIND MEETING MUTCD STANDARDS, AS WELL AS, THE MARYLAND ACCESSIBILITY CODE.
12. THIS PLAN HAS BEEN APPROVED FOR MANDATORY REFERRAL BY MNCPPC AT HEARING DATED 04/12/2018 AND MANDATORY REFERRAL NO. MR2018015.
13. THIS SITE HAS NO ON-SITE PARKING. ALL PARKING IS ON THE STREET OR PATRONS WALK TO THE SITE.

CAUTION: IF THIS DRAWING IS A REDUCTION,
 GRAPHIC SCALE MUST BE USED
 (ORIGINAL SIZE = 24" x 36")
GRAPHIC SCALE



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MISS UTILITY
 CALL "MISS UTILITY AT 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811.com OR www.missutility.com 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. BEFORE EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR CALLING TICKET CHECK AT 1-866-821-4226 TO VERIFY THAT ALL UTILITIES HAVE BEEN MARKED, 48 HOURS AFTER CALLING MISS UTILITY.



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PROJECT
 NOYES CHILDRENS LIBRARY
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 KENSINGTON, MD 20895

ISSUED
 ISSUED FOR BID
 01 MAY 2024
 RFP# 1169193

DESIGN TEAM:
 CONSULTING ARCHITECTS:
 GRIMM AND PARKER
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 ADTEK ENGINEERS
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 STRUCTURAL ENGINEER:
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 COLUMBIA, MD 21045
 410-992-9970

REVISIONS	
DATE	DESCRIPTION
6/4/21	PERMIT ISSUE
7.2.24	ADDENDUM 2

SHEET

C-3
 GRADING & UTILITY PLAN