

VALLEY STREAM 13 UNION FREE SCHOOL DISTRICT

585 N. CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

BOARD ROOM RENOVATION & ADMIN ADDITION AT

JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE,
VALLEY STREAM, NEW YORK 11580

SED NO. 28-02-13-02-0-001-040



MARK DESIGN STUDIOS
ARCHITECTURE, P.C.

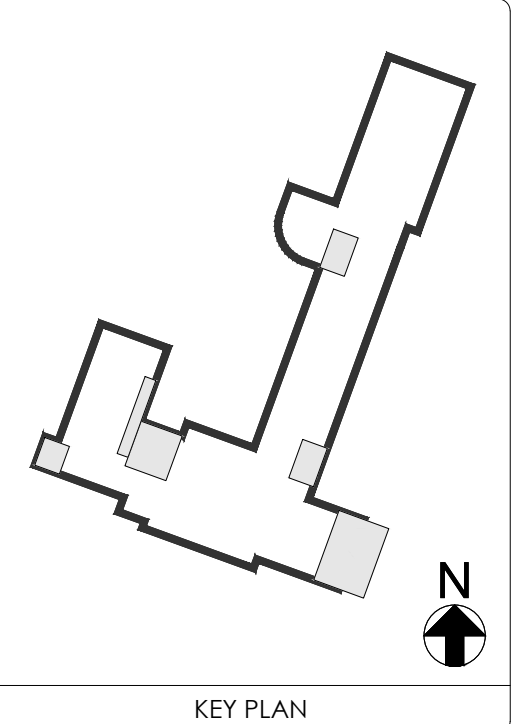
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SEAL

IF A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COGNATE LICENSED ARCHITECT MUST SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS.
(See Appropriate Sections of NYS Education Law)



NO.	DESCRIPTION	DATE
	REVISION	

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME

JAMES A. DEVER ELEMENTARY SCHOOL

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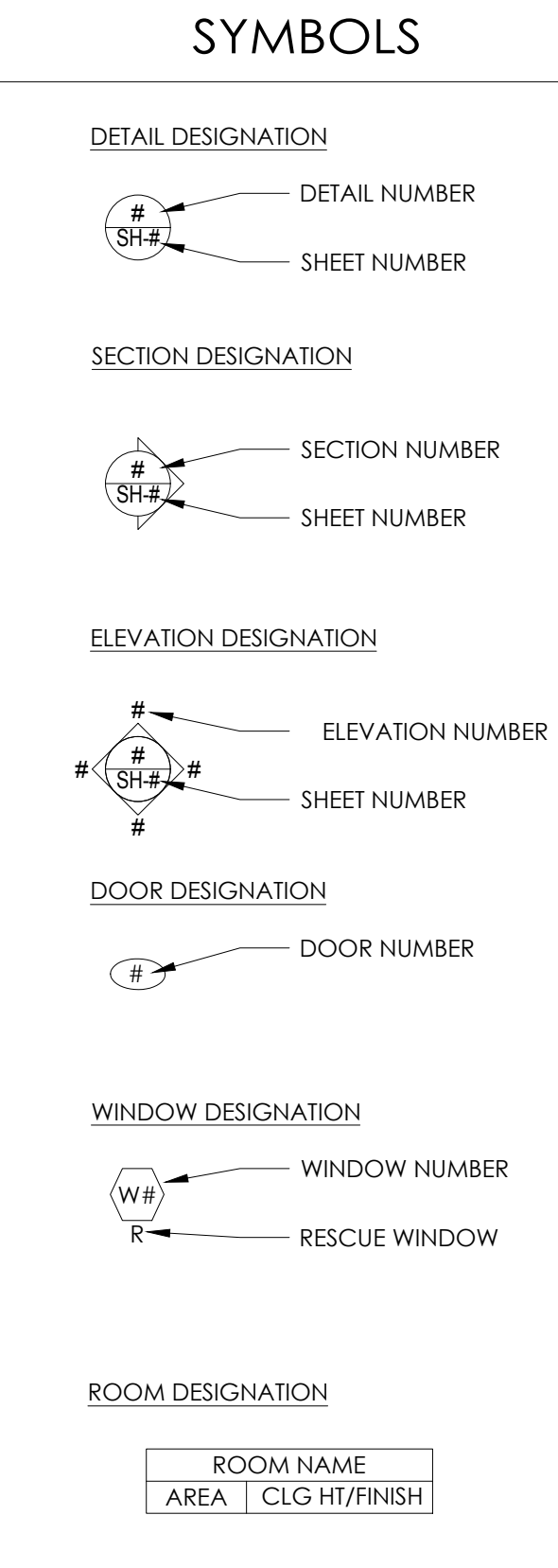
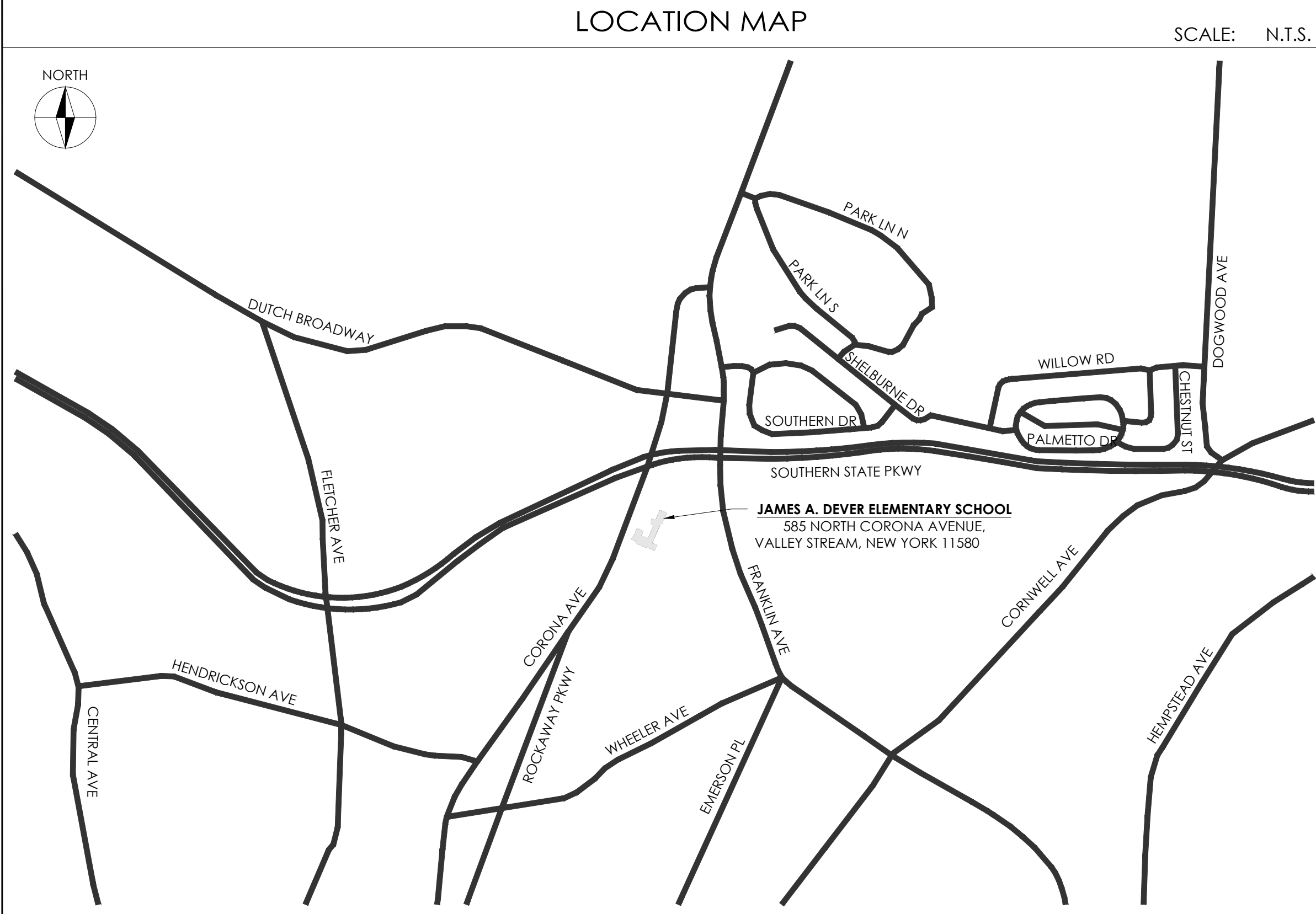
COVER SHEET

DRAWING NO.

T-001

DATE
02/12/2021

PROJECT NO.
VS001-02



CERTIFICATION

ARCHITECT/ ENGINEER CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE 2020 NEW YORK STATE BUILDING CODES, NYSED MANUAL OF PLANNING STANDARDS - 1998, AND THE COMMISSION OF EDUCATION'S 155.5 REGULATIONS.

BUILDING CONSTRUCTION CLASSIFICATION- 2B
BUILDING OCCUPANCY CLASSIFICATION- GROUP E

SUMMARY OF WORK

THE WORK SHALL BE AS SHOWN AND CALLED FOR IN THE CONTRACT DOCUMENTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING GENERAL ITEMS OF WORK:

BOARD ROOM, MUSIC ROOMS, CLASSROOMS RENOVATION & ADMIN ADDITION AS PER SPECIFICATIONS AND PLANS, NO CHANGE IN USE AND OCCUPANCY.

GENERAL REQUIREMENT

ITEMS INCLUDED IN THIS SECTION ARE SUBJECT TO THE AGREEMENT AND CONTRACT DRAWINGS.

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENTS, AND SERVICES NECESSARY FOR THE COMPLETE EXECUTION OF THE WORK DESCRIBED HEREIN AND/ OR AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INCLUDED IN THE DRAWINGS.
- BEFORE SUBMITTING A BID/ PROPOSAL, THE CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND SATISFY HIMSELF AS TO THE NATURE AND SCOPE OF THE WORK AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION, ESPECIALLY WHERE NEW WORK ABUTS EXISTING. THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE, AND LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIAL REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE SUBMITTING A BID. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ABOVE NOTED INFORMATION BEFORE ORDERING ANY MATERIAL, AND PRIOR TO ANY WORK BEING PERFORMED. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF THE VISIBLE OR IMPLIED CONDITIONS WILL BE CONSIDERED. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL QUESTIONS RAISED BY THE VARIOUS CONTRACTORS DURING BIDDING SHALL BE FORWARDED TO THE ARCHITECT IN WRITING ONE WEEK PRIOR TO SUBMISSION OF BIDS. ALL QUESTIONS WILL THEN BE ANSWERED AND DISTRIBUTED TO ALL BIDDERS. TO ENSURE A COMPETITIVE BID PROCESS, QUESTIONS MUST BE IN TYPE WRITTEN FORM.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES; AND SHALL MEET THE REQUIREMENTS OF ALL OTHER AUTHORITIES, ORGANIZATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, INSURANCE, BONDS AND CERTIFICATES OF APPROVAL.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD, AND BE RESPONSIBLE FOR SAME, PRIOR TO COMMENCING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- ALL WORK INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS NEW UNLESS NOTED AS EXISTING.
- THE WORK OF THIS CONTRACT IS TO BE PERFORMED WITH A HIGH LEVEL OF QUALITY. WORK WHICH IS, IN THE OPINION OF THE ARCHITECT, NOT IN COMPLIANCE WITH THE HIGHEST RECOGNIZED INDUSTRY STANDARD FOR WORKMANSHIP, OR WORK WHICH HAS BEEN DAMAGED BY FAULTY WORKMANSHIP, WILL BE REMOVED AND REPLACED, OR REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
- THE FACILITY WILL BE IN CONTINUOUS OPERATION DURING THE EXECUTION OF THE WORK. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE FACILITY TO MINIMIZE DISRUPTIONS TO THE ACTIVITIES OF THE FACILITY. CONTRACTOR SHALL COORDINATE ALL WORK AND WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES AND THE FACILITY MANAGEMENT. BEFORE ANY WORK PROCEEDS NOTIFY THE DESIGNATED REPRESENTATIVE OF THE PROPOSED SCHEDULE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA AND TO ADJACENT AREAS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY DURING THE EXECUTION OF THE WORK.
- CONTRACTOR SHALL PROTECT FROM DAMAGE AND DETERIORATION AND KEEP CLEAN ALL SURFACES AND EQUIPMENT ADJACENT TO THE WORK, AND ALL ITEMS OF INSTALLED WORK. AT THE END OF EACH DAY LEAVE ALL WINDOWS, WALLS, FURNITURE AND FLOORS CLEAN AND UNMARKED. AT THE END OF CONSTRUCTION, ALL TEMPORARY FACILITIES AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PREMISES AND THE PREMISES SHALL BE LEFT CLEAN.
- CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. WHEN MULTIPLE PRIMES ARE INVOLVED, EACH TRADE SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING AND PATCHING UNLESS OTHERWISE NOTED.

DRAWING LIST

GENERAL CONSTRUCTION	
T-001	COVER SHEET
T-002	GENERAL NOTES AND ADA CODE COMPLIANCE DIAGRAM
A-001	CODE COMPLIANCE PLAN FOUNDATION PLAN
A-002	CODE COMPLIANCE PLAN FIRST FLOOR PLAN
A-003	CODE COMPLIANCE PLAN SECOND FLOOR & LOW ROOF
ASB-001	ASBESTOS/ LEAD ABATEMENT PLAN, NOTES AND DETAILS
A-100	DEMOLITION & CONSTRUCTION PARTIAL FIRST FLOOR PLAN - BOARDROOM
A-101	DEMOLITION & CONSTRUCTION PARTIAL FIRST FLOOR PLAN - CLASSROOMS & MUSIC ROOM
A-102	DEMOLITION & CONSTRUCTION PARTIAL FOUNDATION PLAN - ADMIN ADDITION
A-103	DEMOLITION & CONSTRUCTION PARTIAL FIRST FLOOR PLAN - ADMIN ADDITION
A-104	DEMOLITION & CONSTRUCTION PARTIAL FURNITURE & FINISH PLANS - ADMIN ADDITION
A-105	DEMOLITION & CONSTRUCTION PARTIAL LOW ROOF PLANS
A-200	DEMOLITION & PROPOSED CEILING PARTIAL FIRST FLOOR PLAN - BOARDROOM
A-201	DEMOLITION & PROPOSED CEILING PARTIAL FIRST FLOOR PLAN - CLASSROOMS & MUSIC ROOM
A-202	DEMOLITION & PROPOSED CEILING PARTIAL FIRST FLOOR PLAN - ADMIN ADDITION
A-300	DEMOLITION & CONSTRUCTION INTERIOR ELEVATION/ - BOARDROOM
A-301	DEMOLITION EXTERIOR ELEVATIONS - ADMIN ADDITION
A-302	PROPOSED EXTERIOR ELEVATIONS - ADMIN ADDITION
A-303	PROPOSED BUILDING SECTIONS - ADMIN ADDITION AND MUSIC ROOM
A-350	WALL SECTION DETAILS - ADMIN ADDITION
A-351	WALL SECTION DETAILS - ADMIN ADDITION
A-400	ENLARGED CONSTRUCTION PLAN - TOILETS & BREAKROOM
A-401	INTERIOR ELEVATIONS - TOILETS & BREAKROOM
A-800	WALL TYPES & PLAN SECTION DETAILS
A-801	CEILING AND FLOORING DETAILS
A-802	ROOF DETAILS
A-900	DOOR & HARDWARE SCHEDULES AND DETAILS
A-901	WINDOW SCHEDULE & DETAILS

STRUCTURAL

S-001	GENERAL NOTES
FO-100	FOUNDATION & FIRST FLOOR PLAN
FO-300	TYPICAL FOUNDATION DETAIL
S-100	LOW CANOPY FRAMING PLAN
S-101	ROOF FRAMING PLAN
S-102	ROOF FRAMING PLAN
S-500	TYPICAL STEEL DETAIL 1
S-501	TYPICAL STEEL DETAIL 2
S-502	TYPICAL STEEL DETAIL 3
S-503	TYPICAL STEEL DETAIL 4
S-600	TYPICAL MASONRY DETAILS
S-700	TYPICAL MARINOWARE DETAILS

MECHANICAL

M-001	HVAC LEGEND, NOTES AND SCHEDULE
M-002	HVAC LEGEND, NOTES AND SCHEDULE
M-100	HVAC DEMOLITION, CONSTRUCTION & ROOF PLAN - BOARDROOM
M-101	HVAC DEMOLITION, CONSTRUCTION & ROOF PLAN - MUSIC ROOM
M-102	HVAC DEMOLITION PLANS - ADMIN ADDITION
M-103	HVAC CONSTRUCTION PLAN - ADMIN ADDITION
M-104	HVAC CONSTRUCTION ROOF PLAN - ADMIN ADDITION
M-300	HVAC DETAILS
M-301	HVAC DETAILS
M-400	HVAC VRF DIAGRAM

PLUMBING

P-001	PLUMBING LEGEND, NOTES & SCHEDULES
P-100	PLUMBING DEMOLITION PART PLANS - MUSIC ROOM
P-101	PLUMBING DEMOLITION PART PLANS - ADMIN ADDITION
P-200	PLUMBING PART PLANS CRAWL SPACE - ADMIN ADDITION
P-201	PLUMBING PART PLANS - ADMIN ADDITION
P-202	PLUMBING ROOF PLAN
P-300	PLUMBING DETAILS

ELECTRICAL

E-001	ELECTRICAL NOTES AND LEGEND
E-002	ELECTRICAL POWER PART PLANS - BOARDROOM
E-003	ELECTRICAL POWER PART PLANS - CLASSROOMS & MUSIC ROOM
E-004	ELECTRICAL POWER PART PLAN - ADMIN ADDITION
E-005	ELECTRICAL POWER PART PLAN - ADMIN ADDITION
E-006	ELECTRICAL LIGHTING PART PLANS - BOARDROOM
E-007	ELECTRICAL LIGHTING PART PLANS - CLASSROOMS & MUSIC ROOM
E-008	ELECTRICAL LIGHTING PART PLANS - ADMIN ADDITION
E-009	ELECTRICAL SCHEDULES AND SCHEMATICS
E-010	ELECTRICAL DETAILS
E-011	ELECTRICAL DETAILS

FIRE ALARM

FA-001	FIRE ALARM NOTES
FA-002	FIRE ALARM PART PLANS
FA-003	FIRE ALARM PART PLANS - CLASSROOMS & MUSIC ROOM
FA-004	FIRE ALARM PART PLANS - ADMIN ADDITION

ABBREVIATIONS

@	AT	DIAG.	DIAGONAL	H.T.	HOUSE TRAP	PLA.	PLATE	THK.	THICK
A	AREA	D.F.	DRINKING FOUNTAIN	HT.	HEIGHT	PLAT.	PLATFORM	TYP.	TYPICAL
AC	AIR CONDITIONING	DN.	DOWN	HTR.	HEATER	PLBG.	PLUMBING	U.N.O.	UNLESS NOTED OTHERWISE
ACT	ACOUSTICAL CEILING TILE	DO	DITTO (SAME AS ABOVE)	HVAC	HEATING, VENTILATING & AIR COND.	PLYWD.	PLYWOOD	V	VENT
ADA	AMERICANS WITH DISABILITY ACT	DWG.	DRAWING	HW	HOT WATER	PNL	PANEL	V.B.	VINYL BASE
ADD'L	ADDITIONAL	DWLS.	DOWELS	HWH	HOT WATER HEATER	PR.	PAIR	VCT.	VINYL COMPOSITION TILE
ADJ	ADJUSTABLE	EA.	EACH	ID	INSIDE DIAMETER	PRF.	PREFARE	VERT.	VERTICAL
AFF	ABOVE FINISHED FLOOR	EXT. INSUL.	EXT. INSUL. FINISH SYSTEM	IF	INSIDE FACE	PSF	POUNDS PER SQUARE FOOT	V.I.F.	VERIFY IN FIELD
AHU	AIR HANDLING UNIT	EJ	EXPANSION JOINT	IN.	INCHES	PSI	POUNDS PER SQUARE INCH	W/	WITH
AL, ALUM	ALUMINUM	EL	ELEVATION	INCL.	INCLUDING	PTD.	PAINTED	W/O	WITHOUT
ALT.	ALTERNATE	ELEC.	ELECTRIC (AL)	INFO.	INFORMATION	PVC	POLYVINYL CHLORIDE	W.C.	WATER CLOSET
ALUM.	ALUMINUM	ELEV.	ELEVATION, ELEVATOR	INSUL.	INSULATION	PVMT.	PAVEMENT	WD.	WOOD
ANOD.	ANODIZED	ENCL.	ENCLOSE/ENCLOSURE	INT.	INTERIOR	QTY.	QUANTITY		
APPROX	APPROXIMATE	EQ.	EQUAL	J.B.	JUNCTION BOX	R. RAD.	RADIUS		
APPROV	APPROVED	EQPT.	EQUIPMENT	JST.	JOIST	RC.	REFLECTED CEILING		
ARCH.	ARCHITECTURAL	EW.C.	ELECTRIC WATER COOLER	JT.	JOINT	RCP.	REFLECTED CEILING PLAN		
BC	BOTTOM OF CURB	EXIST.	EXISTING	L.	LENGTH	REF.	REFERENCE		
BD.	BOARD	EXP.	EXPANSION	LAV.	LAVATORY	REINF.	REINFORCING		
BLDG.	BUILDING	EXT.	EXTERIOR	LBS.	POUNDS	REFRIG.	REFRIGERATOR		
BLK	BLOCK	F.A.I.	FRESH AIR INTAKE	LF	LINEAR FEET	REQ'D	REQUIRED		
BM.	BEAM	F.D.	FLOOR DRAIN	LLV	LONG LEG VERTICAL	REV.	REVISION		
B.O.	BOTTOM OF	FDN.	FOUNDATION	L.P.	LOW POINT	RH.	RIGHT HAND		
BOT.	BOTTOM	F.F.	FIRE EXTINGUISHER	LT.	LIGHT	RL.	RIGHT HAND		
CEM	CEMENT	FIN.	FINISH	LTG.	LIGHTING	R.O.	ROUGH OPENING		
CH	CEILING HEIGHT	FIN. FL.	FINISH FLOOR	LVR.	LOUVER	SCH.	SCHEDULE		
C.I.	CURB INLET	FLR.	FLOOR	MATL.	MATERIAL	SECT.	SECTION		
CIP	CAST IN PLACE	FLUOR.	FLUORESCENT	MAINT.	MAINTENANCE	SF	SQUARE FEET		
C.J.	CONSTRUCTION JOINT	F.O.	FACE OF	MAX.	MAXIMUM	SHT.	SHEET		
C.L.	CENTER LINE	FOIC.	FURNISHED BY OWNER	MECH.	MECHANICAL	SIM.	SIMILAR		
CL	CEILING	FRMG.	FRAMING	MFR.	MANUFACTURER	SL.	SLAB		
CLG.	CONCRETE MASONRY UNIT	FEET	FEET	M.H.	MANHOLE	SOFF.	SOFFIT		
CNUJ	CLEAN OUT	FTG.	FOOTING	MIN.	MINIMUM	SPEC.	SPECIFICATION		
COEF.	COEFFICIENT	FURR.	FURRING	MISC.	MISCELLANEOUS	SPKR.	SPEAKER		
COL.	COLUMN	GA.	GAUGE	M.O.	MASONRY OPENING	SPKLR.	SPRINKLER		
CONC.	CONCRETE	GALV.	GALVANIZED	MTD.	MOUNTED	SQ.	SQUARE		
COND	CONDITION	GD.	GRADE	MTL.	METAL	ST.	STREET		
CONN.	CONNECTION	G.P.D.	GALLONS PER DAY	MLDG.	MOLDING	STD.	STANDARD		
CONSTR.	CONSTRUCTION	GL.	GLAZING/GLASS	NA	NOT APPLICABLE	STL.	STEEL		
CONT.	CONTINUOUS	GWB, GYP. BD.	Gypsum WALL BOARD	N.I.C.	NOT IN CONTRACT	STOR.	STORAGE		
COORD.	COORDINATE	H. HGT.	HEIGHT	NO.	NUMBER	STRUCT.	STRUCTURAL		
CORR	CORRIDOR	HB.	HOSE BIBB	NOM.	NOMINAL	SUSP.	SUSPENDED		
CPT	CARPET	H.C.	HANDICAP	N.T.S.	NOT TO SCALE	SYS.	SYSTEM		
CTR.	CENTER	HD.	HEAD	O.C.	ON CENTER	TBD.	TO BE DETERMINED		
CW.	COLD WATER	HDPE	HIGH DENSITY POLYETHYLENE	OD	OUTSIDE DIAMETER	TC	TOP OF CURB		
DEMO.	DEMOLISH	HDWR.	HARDWARE	OH	OVERHEAD	TEL.	TELEPHONE		
DEPT.	DEPARTMENT	H.M.	HOLLOW METAL	OPNG.	OPENING	TEMP.	TEMPORARY		
DET.	DETAIL	H.P.	HIGH POINT	OPP.	OPPOSITE	T.O.	TOP OF		
DIA.	DIAMETER	HR.	HOUR, HANDRAIL	PART.	PARTITION	T.O.C.	TOP OF CONCRETE		
		HORIZ.	HORIZONTAL	PL	PROPERTY LINE	T.O.S.	TOP OF STEEL		

GENERAL CONDITION

- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, CURRENT EDITION, SHALL APPLY TO ALL WORK IN THIS CONTRACT, EXCEPT AS SPECIFICALLY MODIFIED BELOW AND/OR BY THE AGREEMENT.
- SHOP DRAWINGS, ENGINEERING DRAWINGS, ELECTRICAL SCHEMATICS, HVAC SCHEMATICS, PLUMBING DIAGRAMS, ETC., ARE TO BE SUPPLIED BY OTHERS WHEN SUCH DOCUMENTS ARE REQUIRED BY THE SCOPE OF THE WORK OR BY CODE OR BUILDING REQUIREMENT. SUCH DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL DOCUMENTS AND SHALL BE PART OF THE CONTRACT SET. THE CONTENT AND ACCURACY OF SUCH ADDITIONAL DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE PARTY PREPARING THEM, SUBJECT TO APPROVAL BY THE ARCHITECT.
- PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE LENGTH OF TIME FOR EACH PHASE INCLUDING COORDINATION WITH ALL TRADES.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT, AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THEY SHALL REPLACE OR REPAIR AS DIRECTED BY OWNER. A MAINTENANCE BOND FOR THE FULL FINAL CONTRACT VALUE SHALL BE PROVIDED TO THE OWNER BY EACH PRIME CONTRACTOR AS A PORTION OF REQUIRED CLOSEOUT DOCUMENTATION. SEE SPECIFICATIONS FOR ENTIRE CLOSEOUT DOCUMENTATION.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL OBTAIN AND PAY FOR ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF HIS WORK, AND FURNISH COPIES TO THE ARCHITECT IMMEDIATELY UPON RECEIPT OF SAME.
- ALL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION, ESPECIALLY WHERE INTERFERENCE MAY OCCUR BETWEEN EXISTING CONDITIONS AND NEW WORK.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL WORK CALLED FOR ON THESE DRAWINGS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
- THE CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS, THE OWNER OR OWNERS REPRESENTATIVE SHALL NOT RECEIVE ANY DELIVERIES ON THE PART OF ANY CONTRACTOR.
- THE CONTRACTOR HIS SUB-CONTRACTOR, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFORE.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS BOTH FROM HIS OWN AND OTHER SUB-CONTRACTORS' EMPLOYEES, INCLUDING THAT RUBBISH WHICH IS BY-PRODUCT OF CABINET INSTALLATION, TELEPHONE COMPANY INSTALLATION, ETC.
- THE USE OF THE WORDS "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED MEANS THAT SUCH ITEMS SHALL BE FURNISHED, INSTALLED AND CONNECTED WHERE SO REQUIRED, UNLESS OTHERWISE NOTED.
- WHERE THE TERMS "APPROVED EQUAL" AND "APPROVED", EQUAL TO "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF THE OWNER.
- THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT OR DUST FROM LEAVING THE JOB SITE GENERAL WORK AREA.
- THE CONTRACTOR SHALL PROPERLY PROTECT THE PROPERTY AND SECURE THE SITE AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE CLIENT.
- THE CONTRACTOR SHALL INCLUDE ESTIMATE ALL COSTS (INCLUDING OVERTIME WORK IF REQUIRED) FOR COMPLETION OF ALL WORK SHOWN WITHIN THE CONTRACT COMPLETION TIME.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES. SUPERSEDED PRINTS SHALL BE REMOVED FROM THE PREMISES. AS-BUILT CONDITIONS SHALL BE NOTED ON THE FIELD PLANS AND FINAL D AS-BUILT PLANS SHALL BE CAD DRAFTED AND TURNED OVER TO THE OWNER UPON.
- THE CONTRACTOR AND EACH PRIME CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS.
- ALL EXISTING APPURTENANCES NOT BEING REMOVED SHALL BE REFURNISHED WHERE REQUIRED, AND LOOSE ITEMS TIGHTENED AND ANY MISSING PARTS REPLACED BY THE CONTRACTOR TO ACHIEVE A FINISHED, FIRST CLASS INSTALLATION AND APPEARANCE.
- DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED. ALL REQUIRED EXITS SHALL BE CONTINUOUSLY MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN CASE OF FIRE OR OTHER EMERGENCY.
- WHERE OPENINGS OCCUR IN EXISTING FIRE RATED AREAS OR PARTITIONS DUE TO EXISTING OR NEW CONDUIT RUNS, DUCT WORK, CABLES, PIPING, ETC., OR WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AS A RESULT OF EXISTING OR NEW CONSTRUCTION WORK, THE CONTRACTOR SHALL CLOSE OR PATCH AS REQUIRED ALL OPENINGS TO MATCH IMMEDIATE ADJACENT AREAS IN MATERIAL, FINISH AND FIRE RATING.
- THE DRAWINGS ARE INTENDED TO BE A GUIDE TO THE WORK CONTRACTED FOR BY THE CONTRACTOR.
- NO CHANGES IN PLANS, ELEVATIONS, DETAILS, OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT AND/OR OWNER. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN REASONABLE TIME, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE COST OF RECTIFYING ERRORS THAT MAY OCCUR.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING INTERIOR ROOMS, ADJACENT SPACES, BUILDING FACADE, LANDSCAPING, ETC., THAT IS TO REMAIN FROM DAMAGE, CONSTRUCTION DIRT AND DUST, WATER AND ALL OTHER TYPES OF NATURAL AND MANMADE DAMAGE RESULTING FROM DEMOLITION AND CONSTRUCTION. ANY DAMAGED TO ITEMS THAT ARE TO REMAIN RESULTING FROM THE WORK OF THE CONTRACTOR SHALL BE REPLACED TO MATCH EXISTING AND SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- THE STAGING OF ROOFING MATERIAL SHALL NOT BE PERMITTED ON THE ROOF UNLESS THE CONTRACTOR PROVIDES A STATEMENT FROM A N.Y. LICENSED ENGINEER STATING THAT THE EXISTING ROOF CAN SUSTAIN THE ADDITIONAL LOADING. THE LETTER SHALL ALSO STATE HOW THE CONTRACTOR IS TO PROCEED WITH LOADING OF THE ROOF AS WELL AS THE DESIGNATED AREAS FOR STAGING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY CONSTRUCTION FENCE AS DIRECTED BY THE OWNER AND/OR ARCHITECT.
- SUBSTITUTION OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN IN THE DOCUMENTS SHALL BE MADE ONLY UPON THE WRITTEN APPROVAL OF THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND WILL CALL MEETINGS WITH THE OTHER PRIME CONTRACTORS AND OWNER AS ARE NECESSARY TO RESOLVE ANY CONFLICTS THAT BECOME APPARENT.
- ONCE THE CONTRACTOR IS SELECTED, THE ARCHITECT AND CONTRACTOR WILL CONFIRM A PRELIMINARY CONSTRUCTION SCHEDULE. PROGRESS MEETINGS WILL BE HELD AT THE SITE EVERY TWO WEEKS FOLLOWING THE PRE-CONSTRUCTION CONFERENCE. IF DEEMED NECESSARY BY THE OWNER, THE FREQUENCY OF THE MEETINGS MAY BE INCREASED DURING CONSTRUCTION.
- FIRE ALARM & FIRE PROTECTION PERMITS SHALL BE REQUIRED. CONTRACTOR TO PREPARE DRAWINGS & APPLICATIONS & FILE WITH N.C.F.M. DIRECTLY.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING CONSTRUCTION WHILE PERFORMING CONTRACT WORK, AND WILL BE HELD RESPONSIBLE FOR REPAIR OR REPLACING ANY DAMAGED AREAS CAUSED BY HIS CONTRACT WORK.
- WHERE EXISTING WORK IS CUT, UNDERPINNED AND, OR REMOVED CONTRACTOR SHALL PROVIDE ALL NEEDLING, SHORING, BRACING, WEDGING AND DRY PACKING AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION.
- THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE STRUCTURE DURING THE PERFORMANCE OF THIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATIONS THAT REQUIRE FURTHER INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY OR PARTITIONS, ADDITIONAL DEFLECTION, ETC.) AND NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ALL EXISTING WORK DESIGNATED TO REMAIN WHICH IS DISTURBED BY THE REMOVAL OF ANY OTHER WORK SHALL BE REPAIRED AS REQUIRED TO INSURE STRUCTURAL STABILITY.

DEMOLITION

- THE CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
- ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO OWNER OR AS OTHERWISE DIRECTED.
- THE CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT.
- THE CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING ITEMS WHICH ARE BEING ABANDONED.
- UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN BEFORE COMMENCING CONSTRUCTION.

CUTTING AND PATCHING

- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS.
- THE CONTRACTOR SHALL PROVIDE ALL FLOOR, WALL AND CEILING CUTOUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK. EACH TRADE SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING AND PATCHING UNLESS OTHERWISE SPECIFICALLY NOTED.
- THE CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO REMAIN, INCLUDING CORNER BEADS, TRIM, CEILING TILE, DOORS AND FRAMES, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES FOR ANY DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISHED INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED, OR IF BEYOND REPAIRING, THEN THE GENERAL CONTRACTOR SHALL REMOVE THE EXISTING DEFECTIVE AREAS AND INSTALL NEW SURFACES TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL INSPECT ALL EXISTING EXPOSED CEMENT, MASONRY OR PLASTER SURFACES AND WHERE NEW ABUTTED FINISHED SURFACES DO NOT ALIGN, THE EXISTING MATERIAL SHALL BE CHOPPED AWAY, NEW CORNER BEADS OR STOPS INSTALLED, AND SURFACES REFINISHED TO A SMOOTH, FLUSH, ALIGNED, APPEARANCE.
- ALL DAMAGED EXISTING AREAS TO REMAIN, AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE RATING, FINISH AND COLOR, UNLESS OTHERWISE NOTED.

SAFETY NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE AND ALL OTHER REGULATIONS OF ALL OTHER AGENCIES.

- STRUCTURAL:**
- CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
 - ALL DEMOLITION OPERATIONS, REPAIR OPERATIONS, AND ALTERATIONS TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE.
- MEANS OF EGRESS:**
- ALL EXISTING MEANS OF EGRESS FROM THE BUILDING ARE TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS ETC.
- FIRE SAFETY:**
- ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING, ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
 - ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - ALL ELECTRICAL POWER TO BE SHUT-OFF WHERE THERE IS EXPOSED CONDUIT.
 - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS EXCEPT FOR EMERGENCY OR SECURITY LIGHTING.
 - THE CONTRACTOR, AT ALL TIMES, IS TO MAKE SURE THERE IS NO LEAKAGE OF NATURAL GAS IN THE BUILDING, OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.
- DUST CONTROL:**
- DEBRIS, DUST AND DIRT TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - CONTRACTOR IS TO ISOLATE THE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREAS BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
 - DEBRIS, DUST AND DIRT TO BE CLEANED UP AND CLEARED FROM THE BUILDING PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.

ELECTRICAL GENERAL NOTES

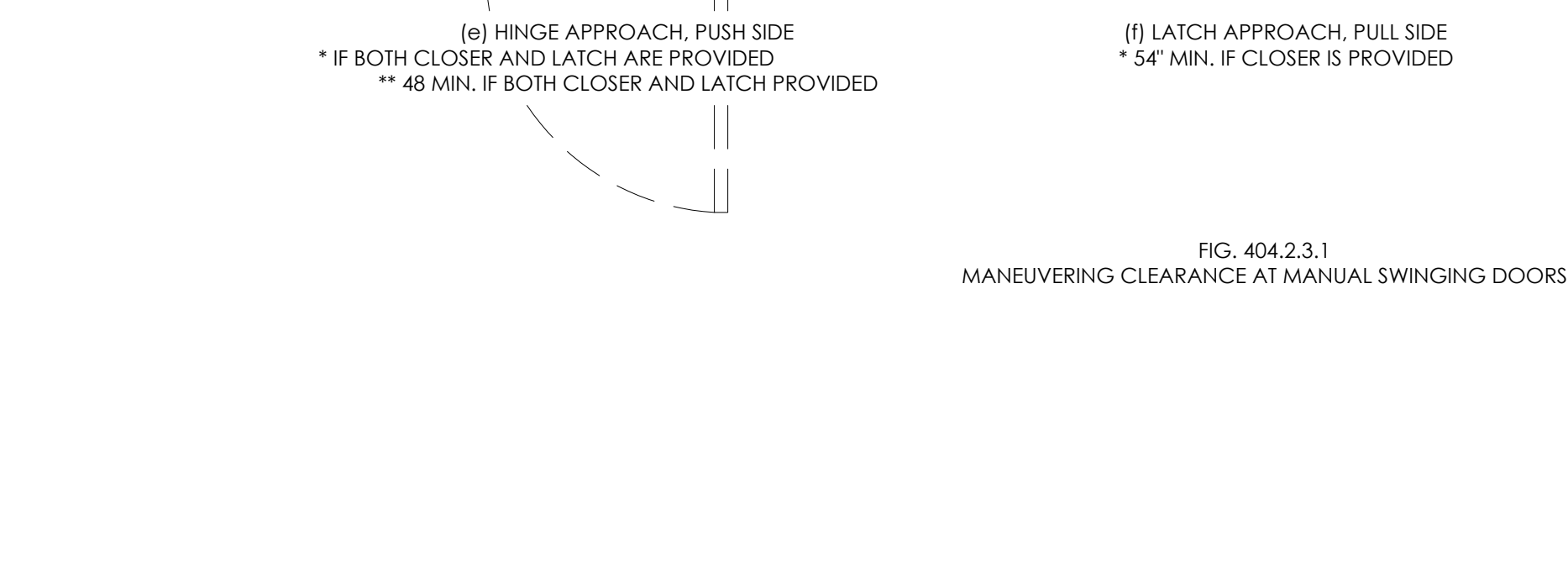
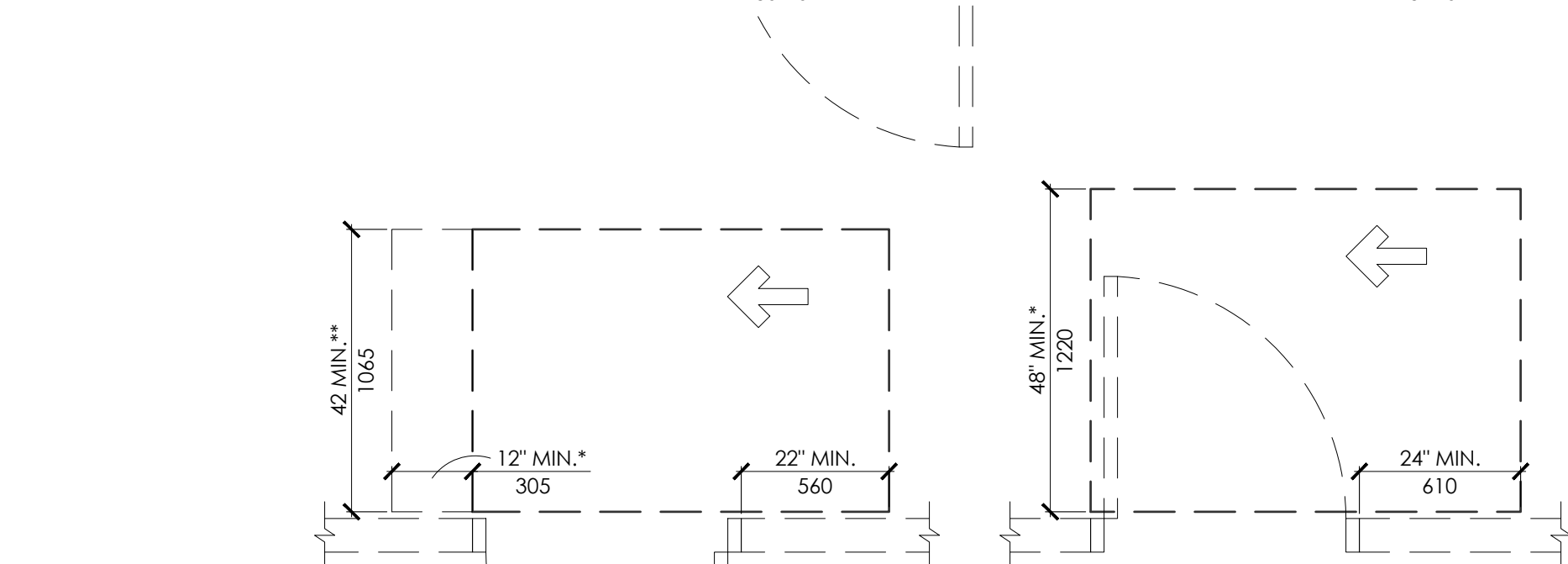
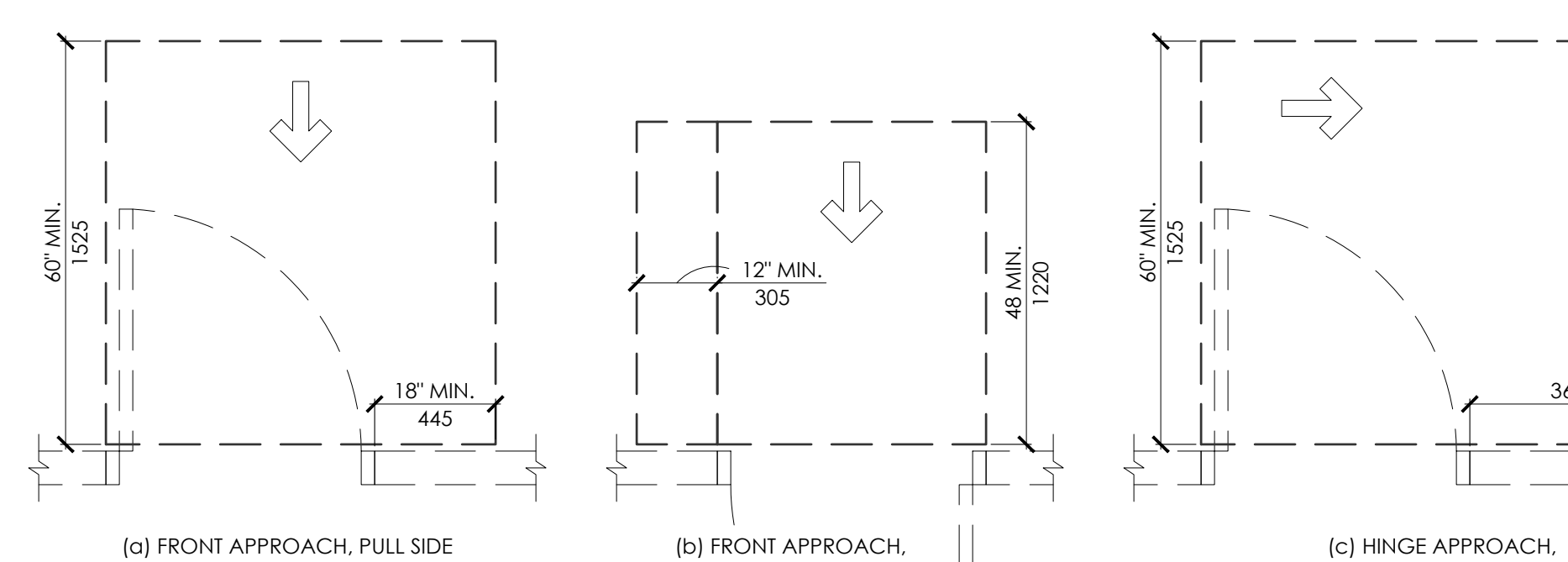
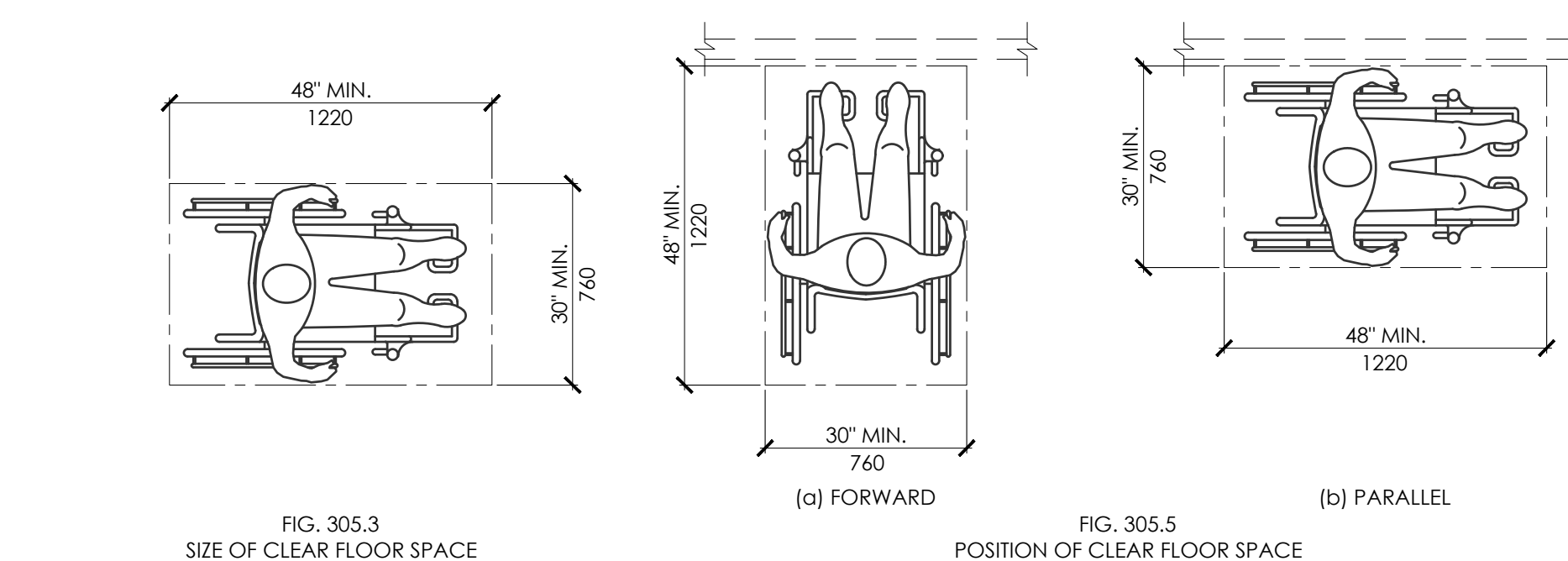
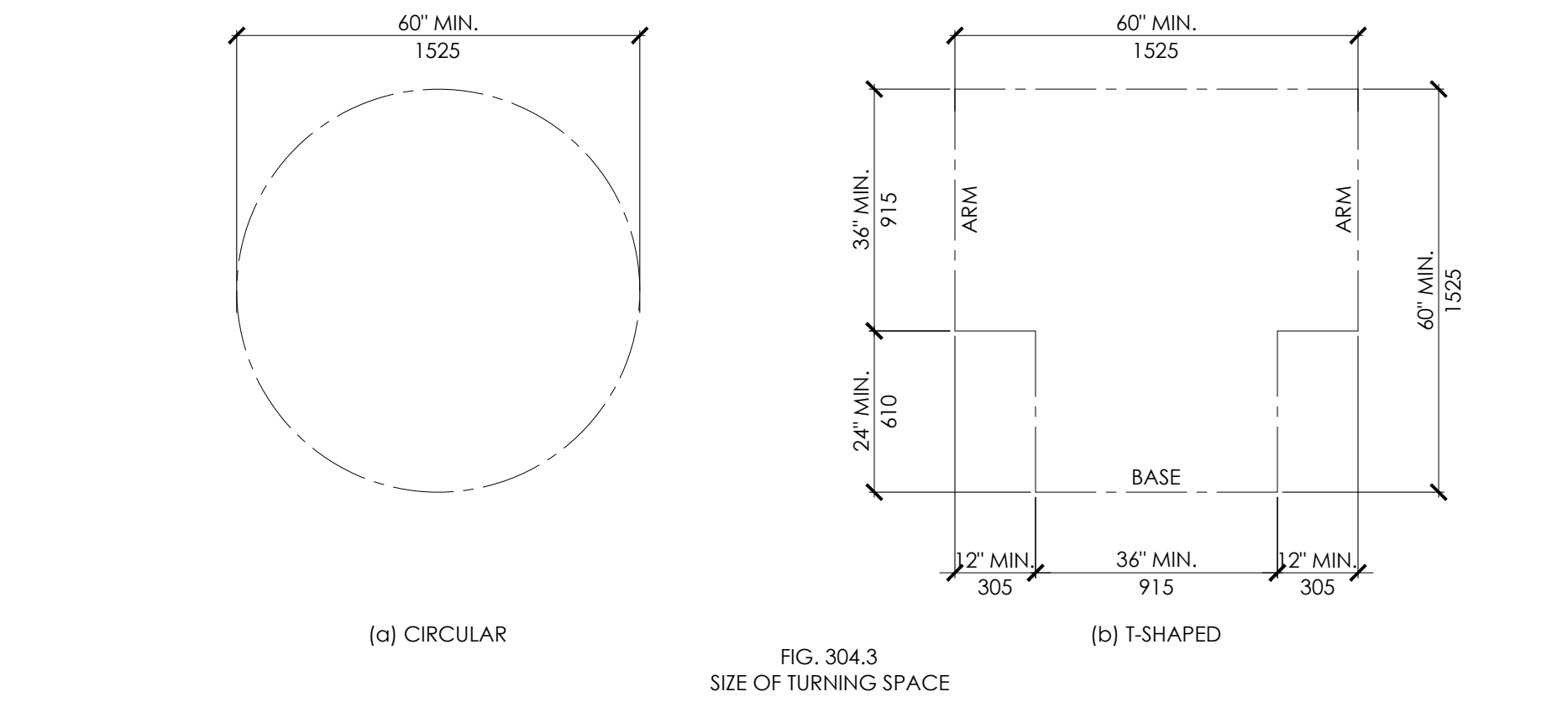
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, PERTINENT NFPA CODES AND ALL RULES AND REGULATIONS SET FORTH BY CITY, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION.
- PROVIDE ALL MOUNTING HARDWARE AND ACCESSORIES FOR INSTALLATION OF LIGHTING FIXTURES.
- ALL NOTATIONS OF "SCALE" ARE INTENDED AS APPROXIMATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING THE EXACT LOCATIONS OF ALL EQUIPMENT AND CHECKING THE REQUIRED CLEARANCES.
- CONDUIT RUNS OVER HEAT RADIATING EQUIPMENT SHALL BE AVOIDED, WHERE RUNS ADJACENT TO EQUIPMENT OPERATING AT HIGH TEMPERATURE ARE SHOWN OR REQUIRED BY FIELD CONDITIONS, USE TYPE XHHN OR THHN INSULATION FOR CONDUIT. INCREASE CONDUIT SIZE FOR ELEVATED AMBIENT TEMPERATURES. ALL MODIFICATIONS TO CONDUIT SIZES ARE SUBJECT TO APPROVAL BY THE ENGINEER.
- ALL FIRE ALARM WIRING SHALL BE PER EQUIPMENT MANUFACTURER'S REQUIREMENTS. COORDINATE WITH DISTRICT VENDOR. PROVIDE PROTECTIVE SHIELDS ON ALL FIRE ALARM PULL STATIONS.
- PULLBOXES AND JUNCTION BOXES SHALL BE SURFACE MOUNTED IN ULTIMATELY UNFINISHED SPACES, I.O.U.N. LOCATE APPROXIMATELY WHERE INDICATED ON WALLS, CEILINGS, BEAMS, OR SUSPENDED FROM CEILINGS, TO SUIT CONDUIT ENTRANCE TO AVOID INTERFERENCE WITH EQUIPMENT OF OTHER TRADES, AND TO LEAVE COVER READILY ACCESSIBLE.
- PULLBOXES WHETHER SIZED OR NOT SHALL BE PROVIDED BY THIS CONTRACTOR TO MEET FIELD CONDITIONS AND CODE REQUIREMENTS. ADDITIONAL PULLBOXES, IF REQUIRED TO SATISFY FIELD CONDITIONS AND CODE REQUIREMENTS, SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- PROVIDE WIRE GUARDS ON ALL AUDIBLE AND VISUAL DEVICES, AND SMOKE AND HEAT DETECTORS IN GYMNASIUMS, MULTI-PURPOSE, LOCKER ROOMS AND EXTERIOR WEATHERPROOF DEVICES.
- WORKING CLEARANCES AROUND EQUIPMENT SHALL BE MAINTAINED IN ACCORDANCE WITH NEC 110-26.
- THE CONTRACTOR SHALL DISCONNECT, REMOVE, STORE AND REINSTALL CEILING TILES, SUPPORTS, LIGHTING FIXTURES WHERE REQUIRED TO FACILITATE ALL WORK.
- ALL EXISTING BUILDING FINISHES, CEILINGS, WALLS, ETC. SHALL BE RETURNED TO ORIGINAL CONDITION WITHOUT ADDITIONAL COST TO CONTRACT.
- STROBES SHALL BE LISTED AT 15 CANDELA INTENSITY UNDER UL 1971 AND 75 CANDELA ON AX15 UNDER ADA GUIDELINES.

ABATEMENT NOTES

ASBESTOS
ANY PERSON PERFORMING ANY LIMITED SPECIAL TASKS IN PREPARATION FOR OR ANCILLARY TO AN ASBESTOS PROJECT, SUCH AS A CARPENTER, ELECTRICIAN, PLUMBER, OR SIMILAR OCCUPATION, OR ANY OTHER PERSON WHO MAY DISTURB FRIABLE OR NON-FRIABLE ASBESTOS DURING THE COURSE OF ANY EMPLOYMENT (OTHER THAN OSHA CLASS IV ASBESTOS WORK) SHALL POSSESS A VALID RESTRICTED ASBESTOS HANDLER (ALLIED TRADES) CERTIFICATE AND SHALL HAVE SUCH CERTIFICATE OR A COPY THEREOF IN THEIR POSSESSION AT ALL TIMES WHILE WORKING ON THIS PROJECT. THIS PERSON SHALL BE AWARE OF THE HEALTH HAZARDS OF ASBESTOS AND TAKE APPROPRIATE PRECAUTIONS TO AVOID ANY ACM, PACM, OR ASBESTOS MATERIAL DISTURBANCE THROUGHOUT THE COURSE OF THEIR WORK. ABATEMENT OF ANY QUANTITY OF ACM, PACM, OR ASBESTOS MATERIAL IS NOT ALLOWED BY THIS PERSON UNDER ANY CIRCUMSTANCES. A PERSON WHO POSSESSES A RESTRICTED ASBESTOS HANDLER CERTIFICATE SHALL BE RESPONSIBLE FOR THE PROPER EXECUTION OF THEIR TRADE AS IT RELATES TO AN ASBESTOS PROJECT.

LEAD
ALL DEMOLITION OF LEAD BASED PAINTED AND PLASTER SHALL BE REMOVED A QUALIFIED CONTRACTOR WHO HAS PROVEN BACKGROUND IN LEAD AWARENESS. ALL WORKERS SHALL HAVE PRE-WORK BLOOD LEVEL TESTS DONE TO ESTABLISH A BASE LINE. PERSONAL AIR MONITORING SHALL TAKE PLACE UNTIL IMPERICAL EVIDENCE HAS BEEN DETERMINED VIA THE MONITORING. ADDITIONALLY TOXICITY CHARACTERISTIC LEACHATE PROCEDURE ANALYSIS SHALL BE DONE ON ALL DEMOLITION TO DETERMINE IF CONTENTS OF DUMPSTER SHALL BE REMOVED AS CONSTRUCTION DEBRIS. THIS FACTOR SHALL BE A REPRESENTATIVE OF THE ENTIRE WASTE SYSTEM, THE DESIRED FACTOR SHALL BE LESS THAN 5 PARTS PER MILLION.
ALL WORK MUST COMPLY WITH HUD AND OSHA REGULATIONS 29 CFR 1926.62 WHICH INCLUDES SAFETY TRAINING EDUCATION.

ADA CODE COMPLIANCE PER ICC A117.1-2009



ADA COMPLIANCE NOTES:

- (IN COMPLIANCE WITH ICC / ANSI A117.1-2009)
- CLEAR FLOOR SPACE, PER SECTION 305 TO BE 30" MINIMUM WIDTH AND 48" MINIMUM LENGTH.
 - KNEE AND TOE CLEARANCES PER SECTION 306, SPACE BENEATH AN ELEMENT TO FLOOR TO 9" MINIMUM FOR TOE, AND 27" MINIMUM FOR KNEE.
 - CLEAR FLOOR SPACE FOR FORWARD REACH TO BE 30" MINIMUM X 48" MINIMUM AND PARALLEL REACH TO BE 30" MINIMUM X 48" MINIMUM. OBSTRUCTED HIGH FORWARD REACH, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE OF 48" MAXIMUM AND THE REACH TO BE 20" MAXIMUM.
 - OBSTRUCTED HIGH PARALLEL REACH, THE CLEAR FLOOR SPACE SHALL ALLOW A PARALLEL APPROACH TO AN ELEMENT, THE HEIGHT TO BE 34" MAXIMUM AND THE DEPTH TO BE 10" TO 24" MAXIMUM WITH A HIGH REACH OF 46" TO 48" MAXIMUM.
 - DOORS AND DOORWAYS: DOORWAY TO HAVE CLEAR OPENING WIDTH OF 32" MINIMUM WITH A SWINGING DOOR. MEASURE BETWEEN FACE OF DOOR AND DOOR STOP, AND DOOR OPEN 90°.
 - DOOR HARDWARE - PER 404.2.6 - HANDLES, PULLS, LATCHES LOCKS, AND OTHER OPERABLE PARTS TO ACCESSIBLE DOORS, WITH A SHAPE EASY TO GRASP, AND LOCATED 34" MINIMUM AND 48" MAXIMUM A.F.F.
 - THRESHOLDS AT DOORWAYS PER 404.2.4 - IF PROVIDED TO BE 1/2" MAXIMUM IN HEIGHT AND CHANGES IN LEVEL GREATER THAN 1/2" HEIGHT AND NOT MORE THAN 1/2" MAXIMUM SHALL BE BEVELED WITH SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED, AND COMPLY WITH SECTION 405 OR 406.

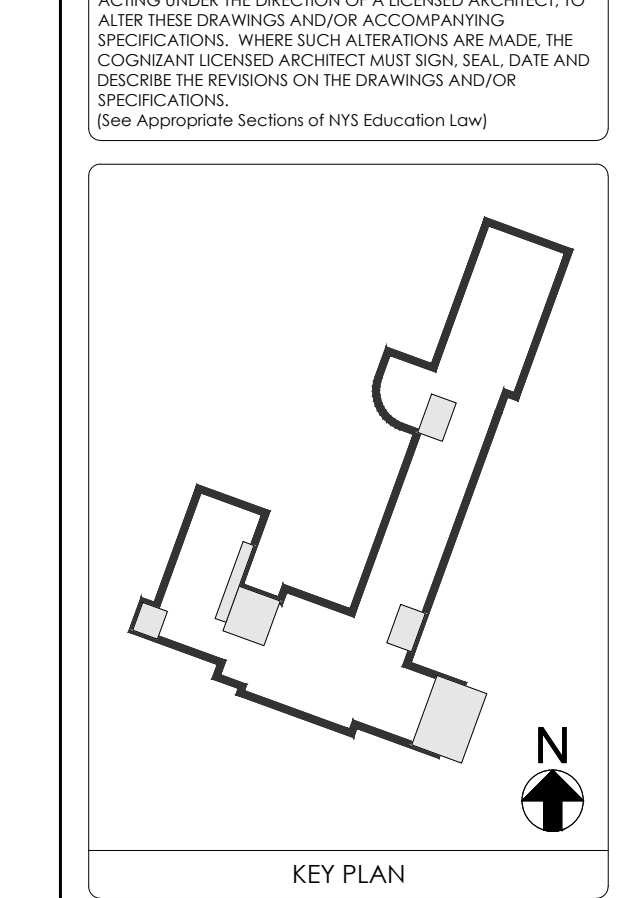
MDS MARK DESIGN STUDIOS

MARK DESIGN STUDIOS ARCHITECTURE, P.C.

270 NORTH BROADWAY, HECKSVILLE, NY 11801 | PH: 516-827-0240 FAX: 516-827-0224

DRAWN: E.L. | CHECKED: M.M.

REGISTERED ARCHITECT
MICHAEL MARK
STATE OF NEW YORK
039516



NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME

JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE

GENERAL NOTE AND ADA CODE COMPLIANCE DIAGRAM

DRAWING NO.

T-002

DATE

02/12/2021

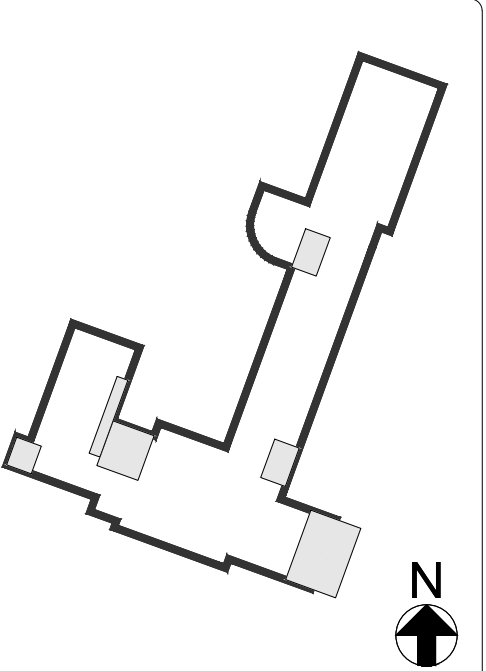
PROJECT NO.

VS001-02



SEAL

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COORDINATING LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS.
(See Appropriate Sections of NYS Education Law)



KEY PLAN

NO.	DESCRIPTION	DATE

REVISION

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
**JAMES A. DEVER
ELEMENTARY SCHOOL**
585 NORTH CORONA AVENUE,
VALLEY STREAM, NEW YORK 11580

NYSID CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE

**CODE COMPLIANCE
PLAN FOUNDATION
PLAN**

DRAWING NO.

A-001

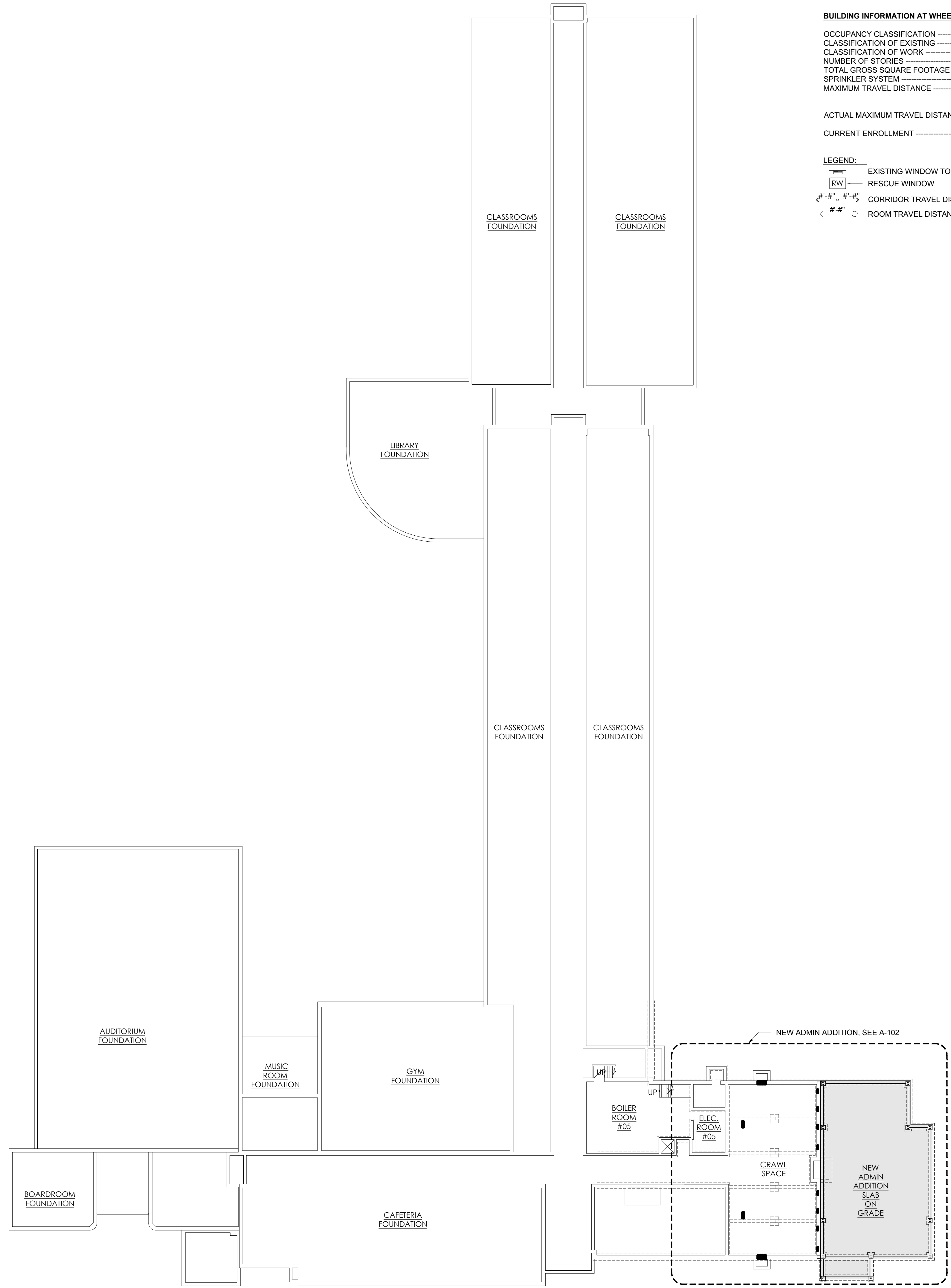
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02/12/2021

PROJECT NO.
VS001-02

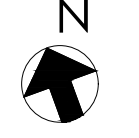
BUILDING INFORMATION AT WHEELER ELEMENTARY SCHOOL

OCCUPANCY CLASSIFICATION	.....	'E' (EDUCATIONAL)
CLASSIFICATION OF EXISTING	.....	IIB
CLASSIFICATION OF WORK	.....	ALTERATION-LEVEL 2
NUMBER OF STORIES	.....	2 STORIES
TOTAL GROSS SQUARE FOOTAGE OF BUILDING	.....	67,537 GSF
SPRINKLER SYSTEM	.....	NONE
MAXIMUM TRAVEL DISTANCE	.....	120'-0" @ BASEMENT
		150'-0" @ FIRST FLOOR
		120'-0" @ SECOND FLOOR
ACTUAL MAXIMUM TRAVEL DISTANCE	.....	134'-6" (EXIT #5 TO EXIT #6) @ FIRST FLOOR
		106'-9" (STAIR #1 TO STAIR #2) @ SECOND FLOOR
CURRENT ENROLLMENT	.....	507 STUDENTS

- LEGEND:**
- EXISTING WINDOW TO REMAIN.
 - RESCUE WINDOW
 - CORRIDOR TRAVEL DISTANCE
 - ROOM TRAVEL DISTANCE



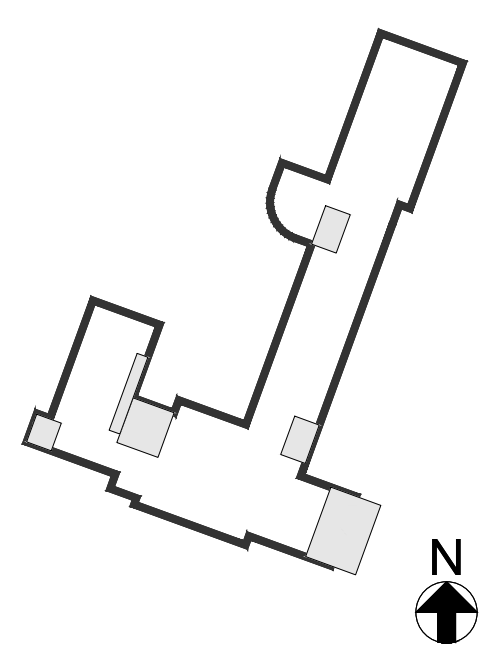
1 EXISTING FOUNDATION PLAN
SCALE: 1" = 20'-0"





SEAL

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KEY PLAN

NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME

JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

NYSED CONTROL NO. 28-02-13-02-0-001-040

DRAWING TITLE

CODE COMPLIANCE PLAN FIRST FLOOR PLAN

DRAWING NO.

A-002

DATE 02/12/2021

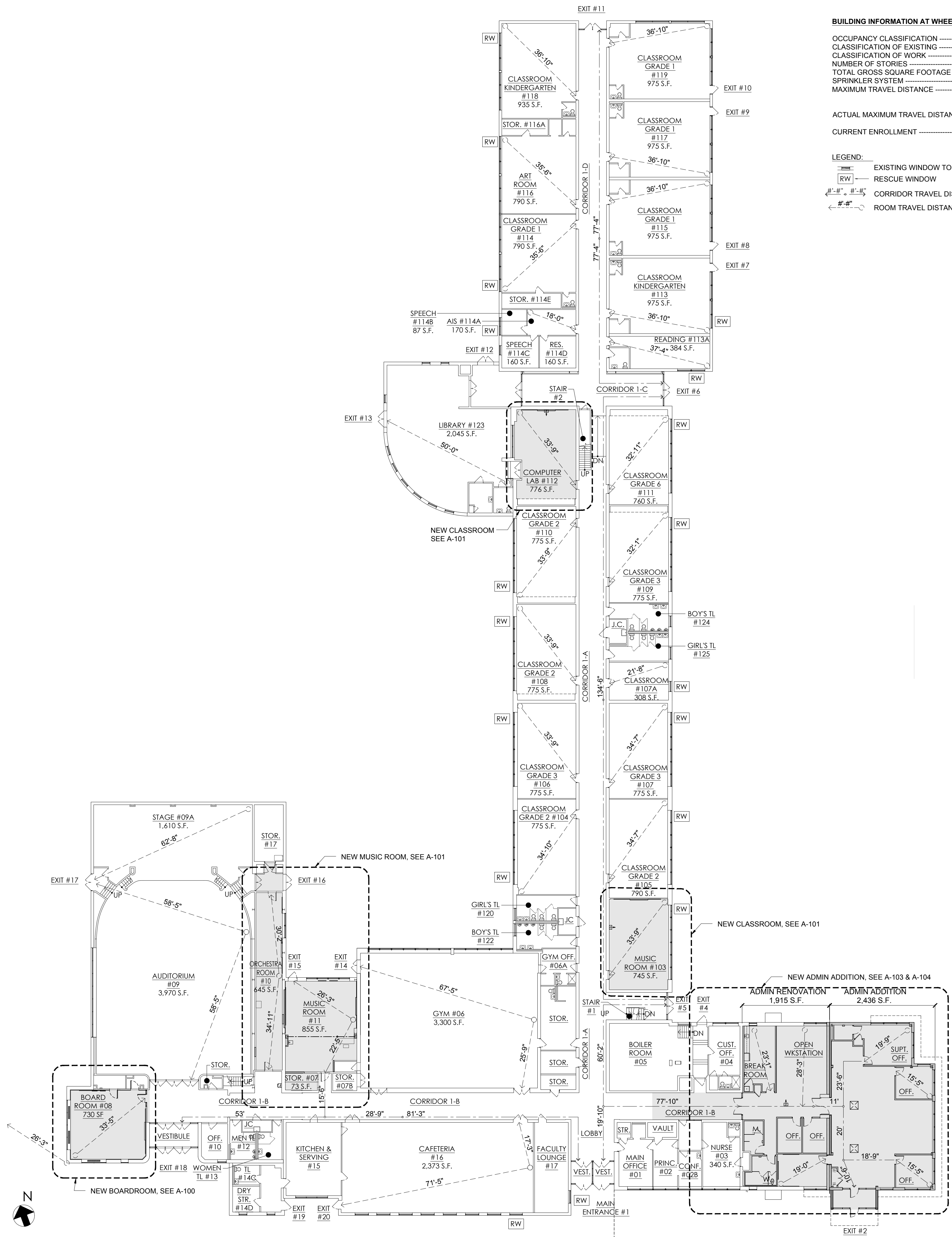
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BUILDING INFORMATION AT WHEELER ELEMENTARY SCHOOL

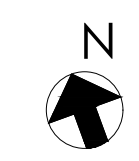
OCCUPANCY CLASSIFICATION	E' (EDUCATIONAL)
CLASSIFICATION OF EXISTING	IIB
CLASSIFICATION OF WORK	ALTERATION-LEVEL 2
NUMBER OF STORIES	2 STORIES
TOTAL GROSS SQUARE FOOTAGE OF BUILDING	67,537 GSF
SPRINKLER SYSTEM	NONE
MAXIMUM TRAVEL DISTANCE	120'-0" @ BASEMENT 150'-0" @ FIRST FLOOR 120'-0" @ SECOND FLOOR
ACTUAL MAXIMUM TRAVEL DISTANCE	134'-6" (EXIT #5 TO EXIT #6) @ FIRST FLOOR 106'-9" (STAIR #1 TO STAIR #2) @ SECOND FLOOR
CURRENT ENROLLMENT	507 STUDENTS

LEGEND:

- EXISTING WINDOW TO REMAIN.
- RESCUE WINDOW
- CORRIDOR TRAVEL DISTANCE
- ROOM TRAVEL DISTANCE



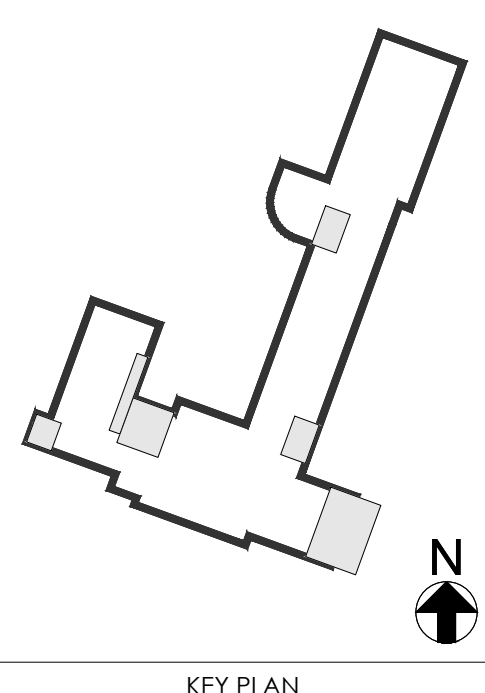
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SCALE: 1" = 20'-0"





SEAL

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(See Appropriate Sections of NYS Education Law)



KEY PLAN

NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE,
VALLEY STREAM, NEW YORK 11580

NYSID CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
CODE COMPLIANCE PLAN SECOND FLOOR & LOW ROOF

DRAWING NO.
A-003

DATE
02/12/2021

PROJECT NO.
VS001-02

BUILDING INFORMATION AT WHEELER ELEMENTARY SCHOOL

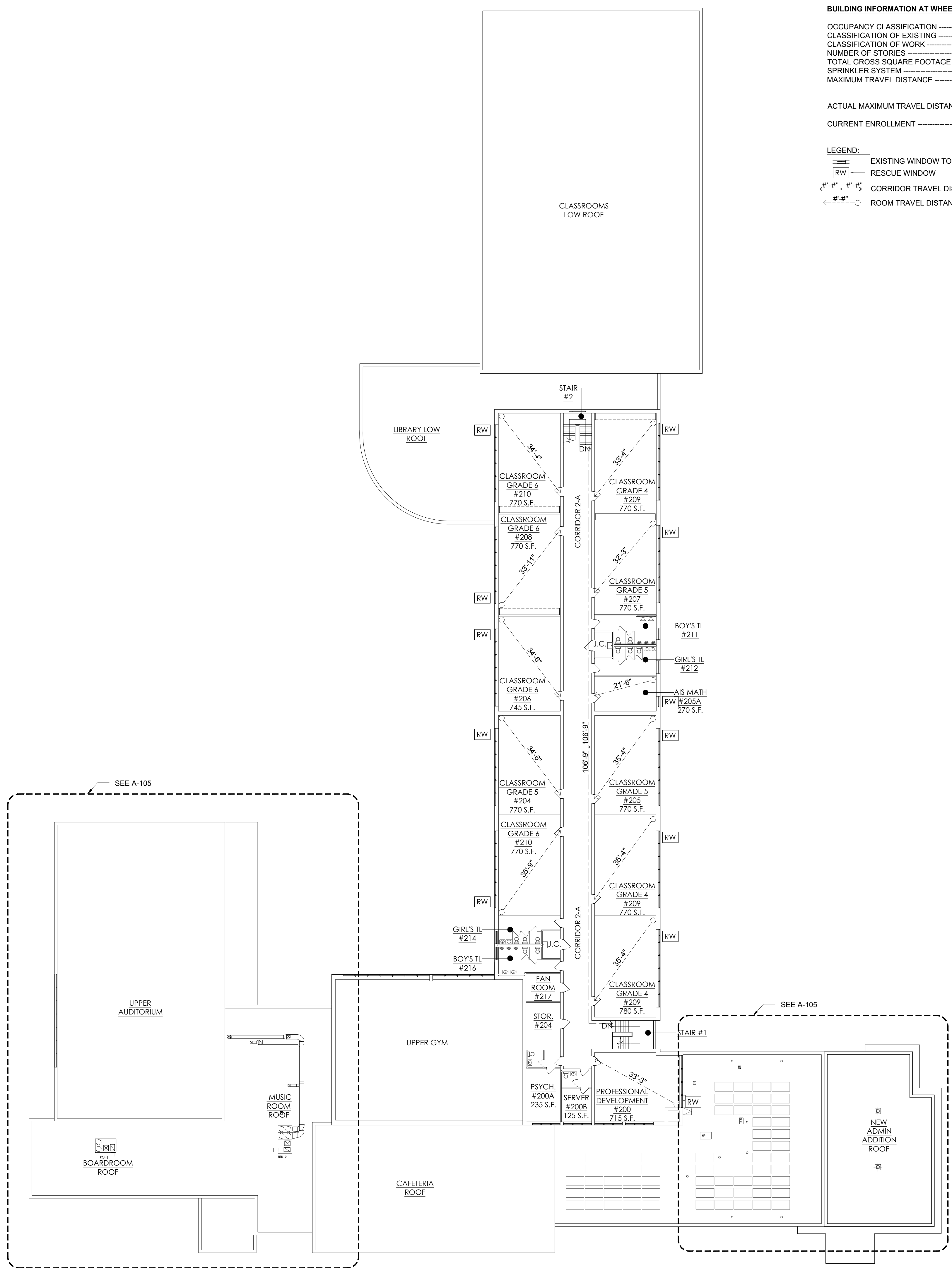
OCCUPANCY CLASSIFICATION 'E' (EDUCATIONAL)
CLASSIFICATION OF EXISTING IIB
CLASSIFICATION OF WORK ALTERATION-LEVEL 2
NUMBER OF STORIES 2 STORIES
TOTAL GROSS SQUARE FOOTAGE OF BUILDING 67,537 GSF
SPRINKLER SYSTEM NONE
MAXIMUM TRAVEL DISTANCE 120'-0" @ BASEMENT
150'-0" @ FIRST FLOOR
120'-0" @ SECOND FLOOR

ACTUAL MAXIMUM TRAVEL DISTANCE 134'-6" (EXIT #5 TO EXIT #6) @ FIRST FLOOR
106'-9" (STAIR #1 TO STAIR #2) @ SECOND FLOOR

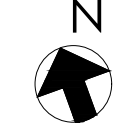
CURRENT ENROLLMENT 507 STUDENTS

LEGEND:

— EXISTING WINDOW TO REMAIN.
RW RESCUE WINDOW
#'-#'' #'-#'' CORRIDOR TRAVEL DISTANCE
#'-#'' ROOM TRAVEL DISTANCE



1 EXISTING SECOND FLOOR PLAN
SCALE: 1" = 20'-0"

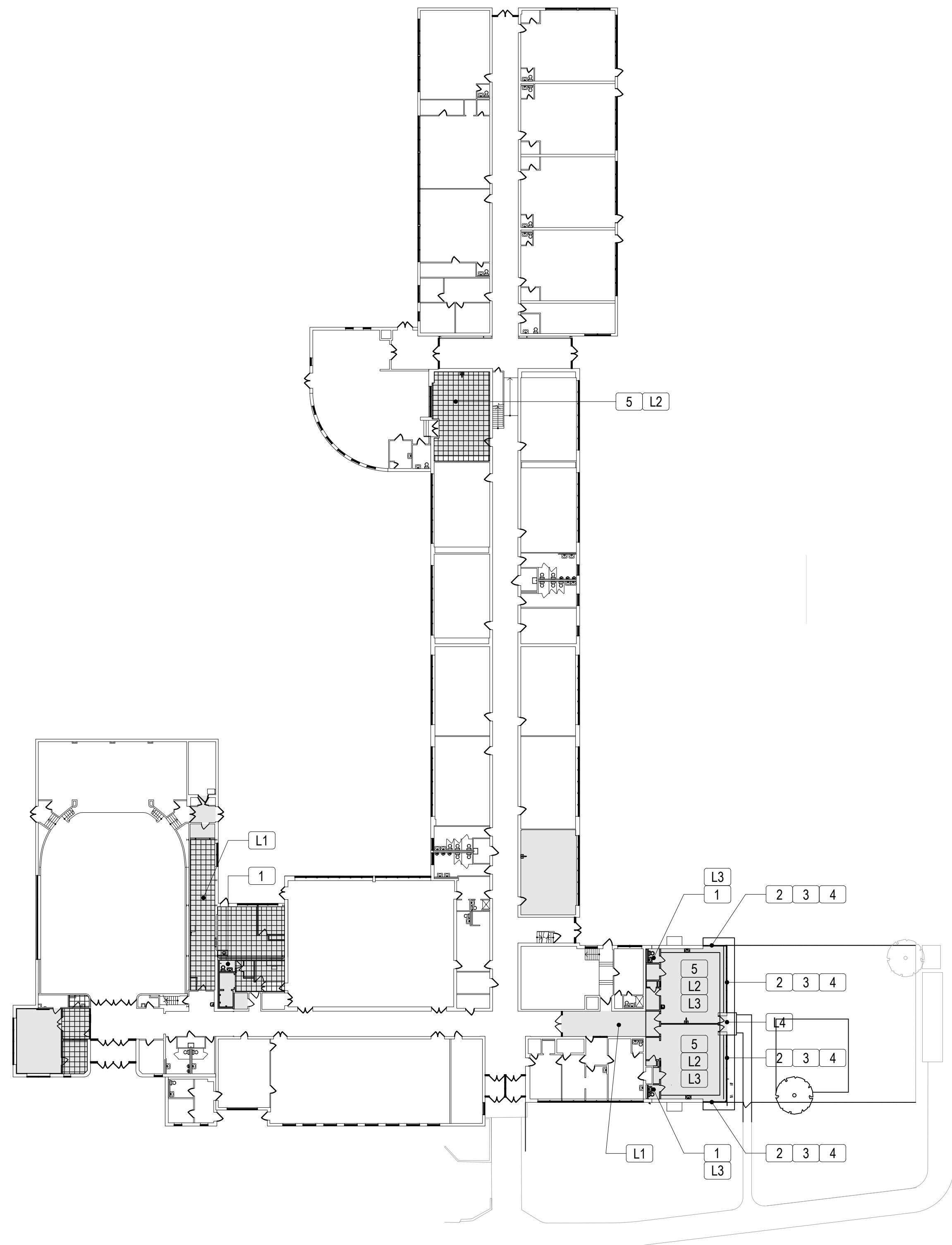


GENERAL NOTES

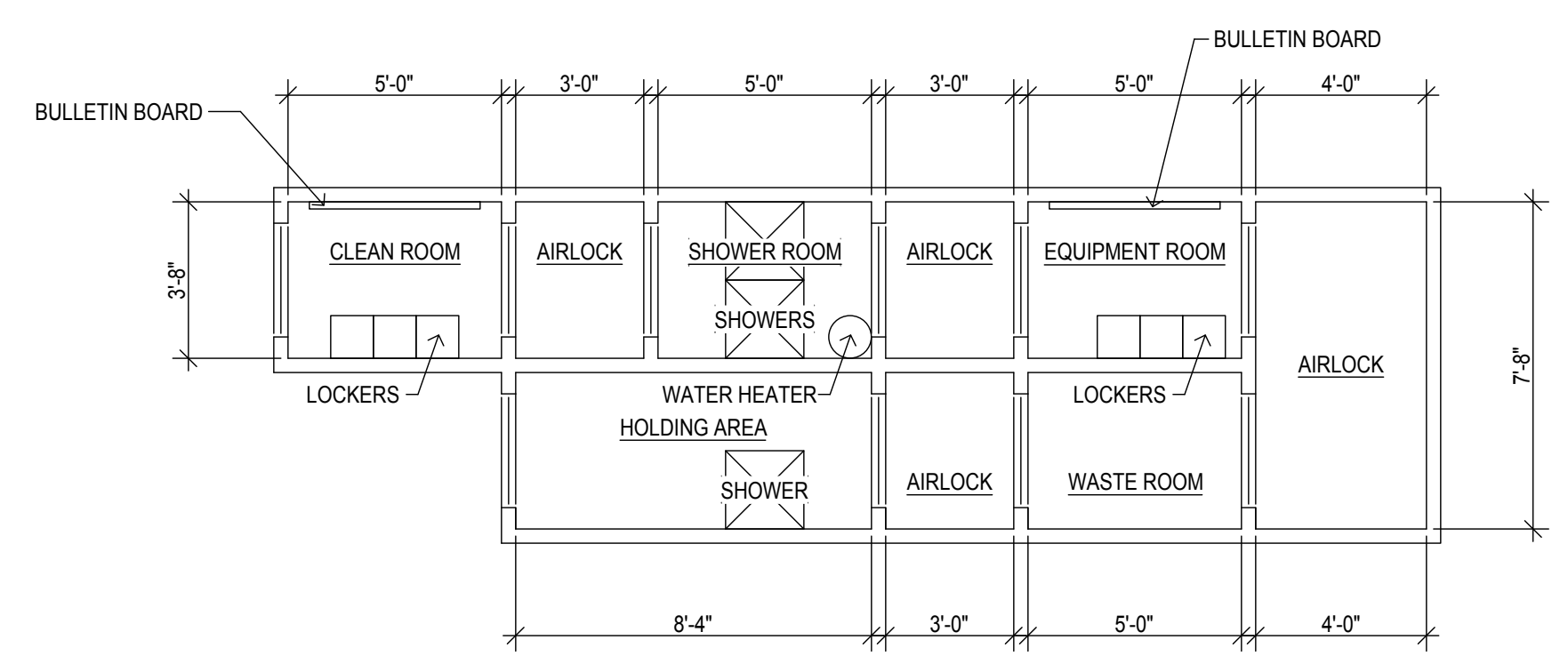
- ALL UTILITY COSTS SHALL BE PAID FOR BY THE OWNER.
- WASTE WATER MUST BE FILTERED DOWN TO 5 MICRONS OR DISPOSED OF OFF SITE AS ACBM.
- CONTRACTOR SHALL PROVIDE 24 HOURS A DAY, SEVEN DAYS A WEEK SECURITY GUARD SERVICE, ONE PER CONTAINMENT AREA. SECURITY GUARD SERVICE SHALL START AT FIRST ON SITE ACTIVITY AND CONTINUE UNTIL "CLEAN AIR" IS OBTAINED AT ALL PROJECT SITES UNDER CONTRACT. SECURITY GUARD SHALL BE STATIONED AT CLEAN ROOM AND SHALL BE A CERTIFIED ASBESTOS HANDLER CAPABLE OF STARTING STAND-BY GENERATORS AND NEGATIVE ARE UNITS IN THE EVENT OF A POWER FAILURE OR OTHER ON-SITE PROBLEMS.
- CONTRACTOR MUST DOCUMENT ALL PRE-EXISTING DAMAGE, IN WRITING, TO THE OWNER PRIOR TO THE START OF ON-SITE WORK.
- ALL POLYETHYLENE SHEETING SHALL BE 6 MIL FIRE RESISTIVE TYPE (NON-SKID POLY ON ALL TREADS).
- ALL ELECTRIC POWER IN WORK AREAS TO BE SHUT-DOWN AND LOCKED IN "OFF" POSITION. CONTRACTOR SHALL SUPPLY TEMPORARY GFI PROTECTED POWER PANEL, EXTENSION CORDS, HIGH PRESSURE SODIUM TEMPORARY LIGHTING FIXTURES AND ALL RELATED GFI PROTECTED EQUIPMENT. TEMPORARY PANEL SHALL BE ENERGIZED FROM ANY EXISTING SCHOOL PANEL OUTSIDE OF CONTAINMENT WORK AREA. ALL ELECTRICAL WORK MUST MEET NEC STANDARDS AND SHALL BE ACCOMPLISHED BY A LICENSED ELECTRICIAN (LOCAL COUNTY LICENSE).
- NEGATIVE AIR MICRO TRAPS SHALL RUN CONTINUOUSLY FROM PROJECT START TO COMPLETION OF WALL AND FLOOR COVERING AND UNTIL CLEAN AIR IS OBTAINED. NO REMOVAL WORK IS TO TAKE PLACE UNTIL PREPARATION WORK HAS BEEN EXPOSED TO A MINIMUM OF 24 HOURS WITH NEGATIVE AIR IN OPERATION.
- HEAVY MATERIAL, OR MATERIAL WITH SHARP EDGES, SHALL BE REMOVED AND PLACED INTO 55 GALLON FIBER DRUMS, EACH DRUM SHALL BE LINED ON THE INSIDE WITH TWO LAYERS OF 6 MIL. POLY AND ON THE OUTSIDE WITH ANOTHER TWO LAYERS OF 6 MIL. POLY.
- ALL BIDDERS SHALL INSPECT ALL PORTIONS OF THE JOB SITE AS A PREREQUISITE FOR BIDDING. BULK SAMPLES ASBESTOS TEST RESULTS WILL BE MADE AVAILABLE FOR REVIEW TO EACH BIDDER UPON REQUEST.
- ALL LABORATORIES DOING ANY WORK IN CONJUNCTION WITH THIS PROJECT SHALL BE ELAP APPROVED BY THE STATE OF NEW YORK.
- THE ASBESTOS WASTE HAULER, UTILIZED FOR THIS PROJECT, MUST POSSESS A VALID PERMIT REQUIRED BY 6NYCRR364.
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH PART 56 OF TITLE 12 OF THE OFFICIAL COMPILATION OF CODES, RULES AND REGULATIONS OF THE STATE OF NEW YORK (CITED AS 12NYCRR PART 56) AN COMMISSIONER'S DECISION A V85-ASBESTOS FLOOR TILE DATED 20 MARCH 1989, VARIANCE #1023-96, AV-120 DATED JUNE 30, 2000 OR OTHER APPLICABLE VARIANCES.
- STAND BY GENERATOR EXHAUST SHALL BE EXTENDED SO AS NOT TO BE WITHIN 100'-0" OF MAKE-UP AIR UNIT.
- ALL WORK OF THIS CONTRACT SHALL BE UNDERTAKEN VIA TYPE "B" RESPIRATION.
- ALL NEGATIVE AIR SHALL BE EXHAUSTED A MINIMUM OF 50'-0" FROM ALL WORK LOCATIONS.
- SIGNS MARKING ALL EMERGENCY EXITS SHALL BE POSTED PRIOR TO THE START OF REMOVAL.
- SMOKE DETECTORS AND FIRE EXTINGUISHERS SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL ENCAPSULATION AND LOCK DOWN SHALL TAKE PLACE AFTER THE FINAL AIR TESTS HAVE BEEN TAKEN.
- A MAXIMUM OF SIX WORKERS TO EACH SHOWER IS MANDATORY IN THE DECON UNIT.
- ALL CERTIFICATIONS, LICENSES, EMERGENCY PHONE NUMBERS AND A LOG SIGN IN BOOK SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL REMAIN IN THE CLEAN ROOM UNTIL THE DECON UNIT HAS BEEN REMOVED AT THE COMPLETION OF THE CONTRACT.
- POSTINGS OF ALL SIGNS AND NOTICES SHALL BE ACCOMPLISHED PRIOR TO ANY ON SITE WORK.
- THE CONTRACTOR SHALL SUPPLY NEW HEPA FILTERS AT THE START OF THE CONTRACT.
- THE CONTRACTOR SHALL FOLLOW ALL OSHA, HEALTH AND SAFETY REGULATIONS.
- ASBESTOS WASTE HAULER MUST HAVE LICENSE TO HAUL WASTE FROM PROJECT SITE.

ASBESTOS ABATEMENT NOTES & LEGENDS

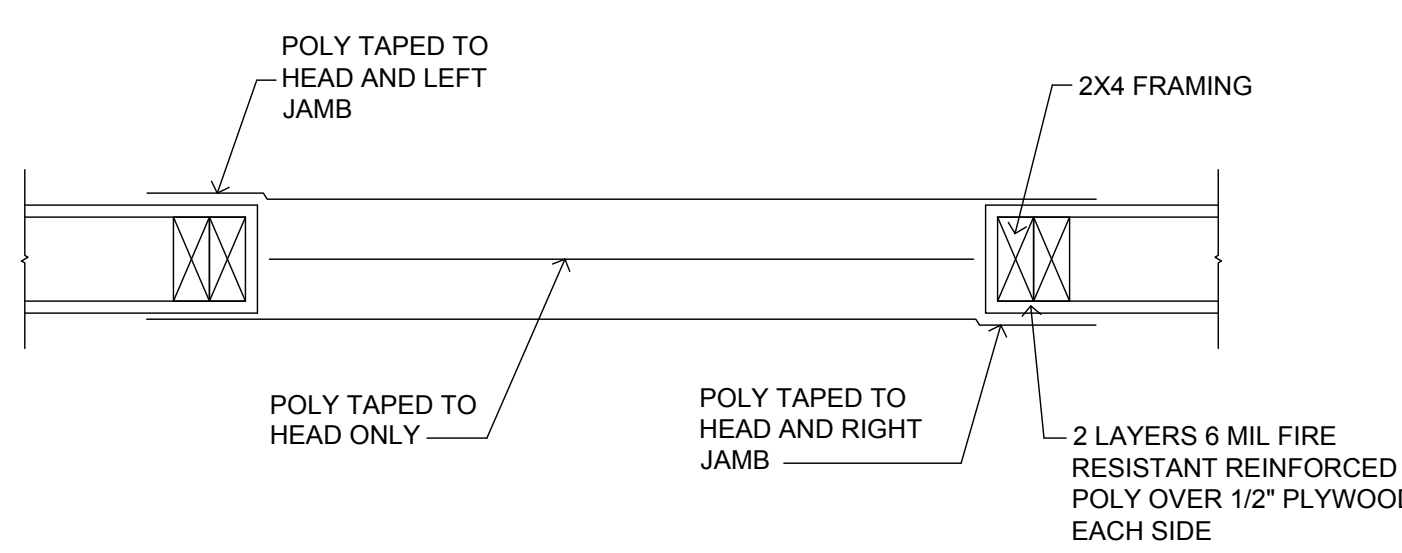
- ACM PIPE & FITTINGS ARE ASSUMED WHERE ENCLOSED/HIDDEN TO BE TESTED IF SUSPECT MATERIALS ARE FOUND.
- EXTERIOR WALL CAVITY VAPOR BARRIER, BLCK TBD.
- SEE SPECIFICATIONS SECTION 02080 FOR ASBESTOS MATERIAL REMOVAL IN THE MANUAL FOR LOCATION QUANTITIES AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN AND SPECIFICATIONS, INDUSTRIAL CODE RULE 56 AND ANY APPROVED SPECIFIC AND APPLICABLE VARIANCE.
- REMOVE AND DISPOSE OF ASBESTOS-CONTAINING CEILING FROM THE RENOVATION AREAS AS INDICATED. ALL THE ASBESTOS MATERIAL MUST BE BAGGED FOR DISPOSAL. ABATED CEILINGS MUST BE APPROVED AND ACCEPTED BY THE CEILING INSTALLATION CONTRACTOR.
- ALL WALL AND WALL FINISHES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. WALL FINISHES INCLUDE PAINT, WALL PAPER/WALL COVERINGS, PANELING, CURTAINS, ETC. AND DAMAGES TO THE WALLS AND WALL FINISHES CAUSE BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- ALL WORK MUST BE COORDINATED WITH THE SCHOOL DISTRICT.



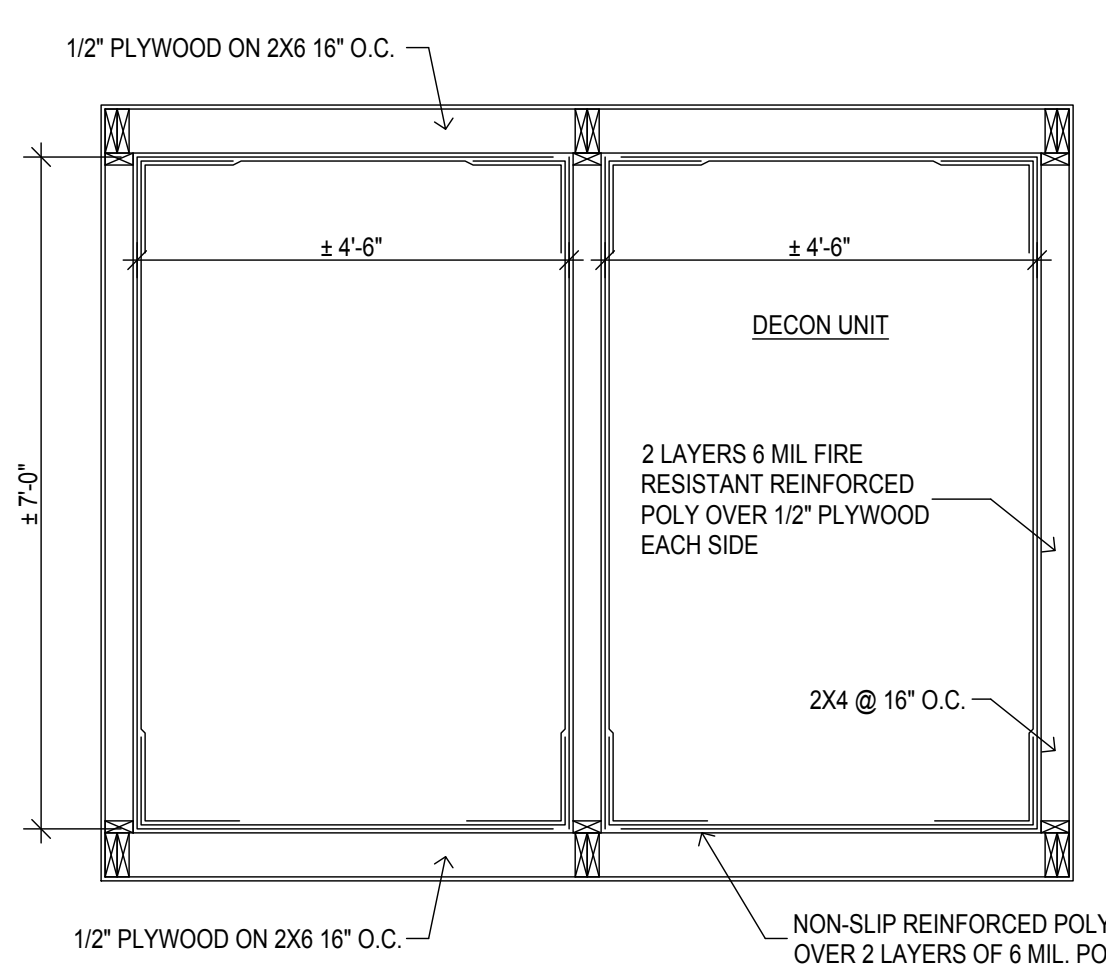
1 EXISTING FIRST FLOOR PLAN
SCALE: N.T.S.



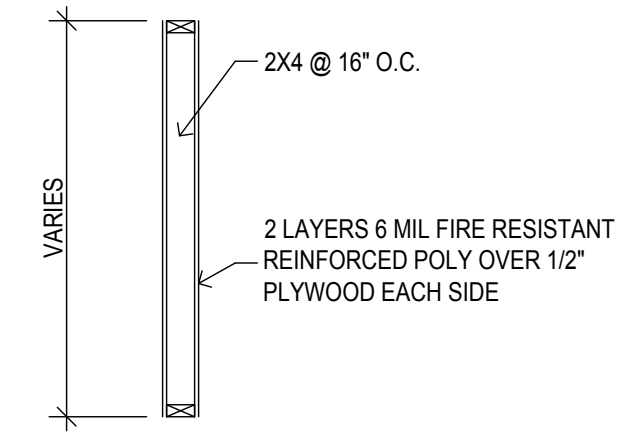
2 TYPICAL DECON PLAN
SCALE: 1/4" = 1'-0"



3 TYPICAL POLY AIRLOCK PLAN
SCALE: N.T.S.



4 TYPICAL DECON SECTION
SCALE: 1/2" = 1'-0"



5 TYPICAL CRITICAL BARRIER SECTION
SCALE: 1/2" = 1'-0"

- WORK AREA
- ACM 9"x9" FLOOR TILES & MASTIC - ± 2,800 SF TOTAL
- 1** ACM PIPE FITTING INSULATION IN CHASE - ±50 LF
- 2** PRESUMED ACM VAPOR BARRIER BEHIND EXTERIOR BRICK - ± 400 SF TOTAL
- 3** ACM EXTERIOR WINDOW CAULKING
- 4** PRESUMED ACM EXTERIOR SOFFIT PLASTER - ± 400 SF TOTAL
- 5** PRESUMED ACM BLACK BOARD/CORK BOARD - ± 450 SF TOTAL

LEAD MATERIALS NOTES AS KEYED BY L# - VARIOUS LOCATION

- CONTRACTOR SHALL NOTE THAT EXISTING LEAD CONTAINING MATERIALS ARE PRESENT IN THE FOLLOWING LOCATIONS:
- L1** GREEN GLAZED WALL BLOCK IN HALLWAYS & ADMIN OFFICE #10
 - L2** CORK BOARDS & WOOD FRAMES IN ROOMS 101, 102 & 112
 - L3** CERAMIC WALL TILE YELLOW AND BLUE
 - L4** BROWN PAINTED SOFFIT OVER 101 AND 102 EXIT DOORS
- WOOD TRIM THROUGHOUT WORK AREAS, TYP.

AS REQUIRED BY OSHA REGULATIONS 29 CFR 1926.1101 WARNING SIGNS MUST BE POSTED AT ALL ENTRANCES PRIOR TO WORK COMMENCEMENT THESE SIGNS MUST BEAR THE FOLLOWING:

**DANGER
ASBESTOS
CANCER AND LUNG DISEASE HAZARD AUTHORIZED
PERSONNEL ONLY RESPIRATORS AND PROTECTIVE
CLOTHING ARE REQUIRED IN THIS AREA**

MDS MARK DESIGN STUDIOS
MARK DESIGN STUDIOS ARCHITECTURE, P.C.
270 NORTH BROADWAY, HECKSVILLE, NY 11801 PH: 516-827-0240 FAX: 516-827-0244

DRAWN: E.L. CHECKED: M.M.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COORDINATING LICENSED ARCHITECT MUST SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS. (See Appropriate Sections of NYS Education Law)

KEY PLAN

NO.	DESCRIPTION	DATE

PROJECT TITLE: **BOARD ROOM RENOVATION & ADMIN ADDITION**

SCHOOL NAME: **JAMES A. DEVER ELEMENTARY SCHOOL**
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.: 28-02-13-02-0-001-040

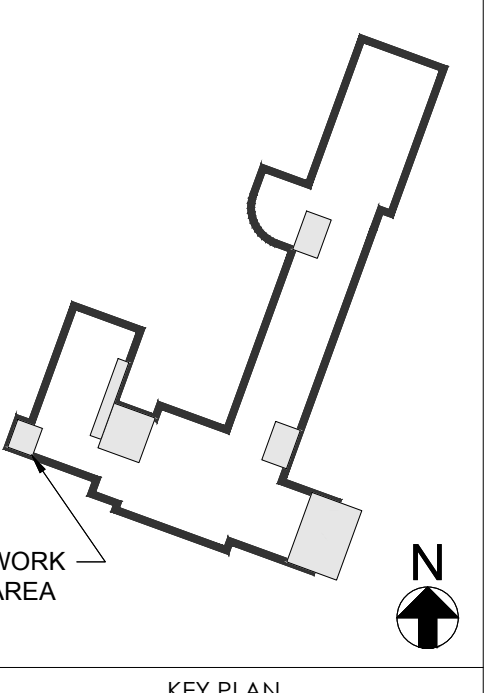
DRAWING TITLE: **ASBESTOS/ LEAD ABATEMENT PLAN, NOTES AND DETAILS**

DRAWING NO.: **ASB-001**

DATE: 02/12/2021
PROJECT NO.: VS001-02



SEAL
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE. THE COGNATE LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS.
 (See Appropriate Sections of NYS Education Law)



KEY PLAN

NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
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NYSED CONTROL NO.
 28-02-13-02-0-001-040

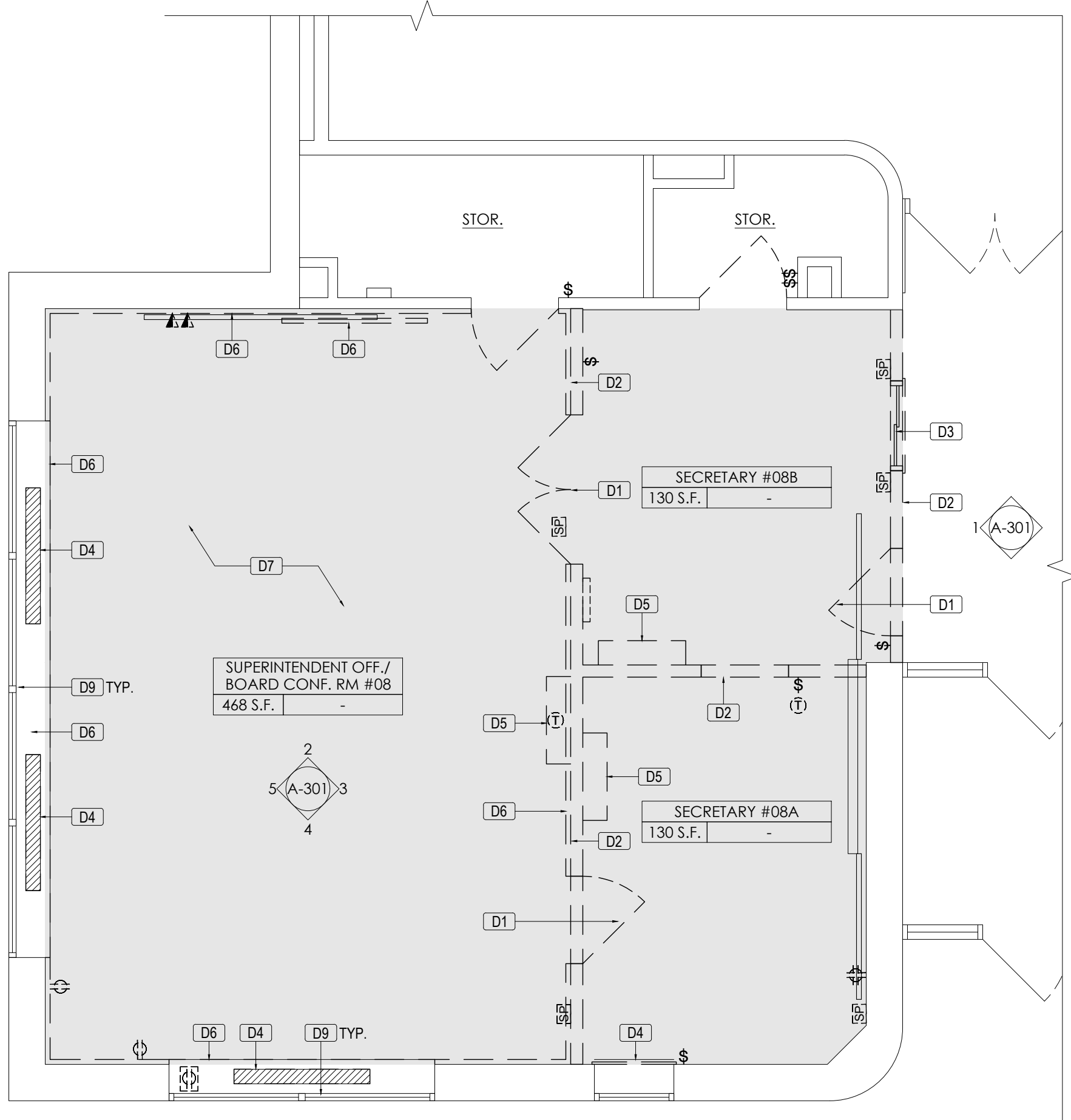
DRAWING TITLE
DEMOLITION & CONSTRUCTION PARTIAL FIRST FLOOR PLAN - BOARDROOM

DRAWING NO.

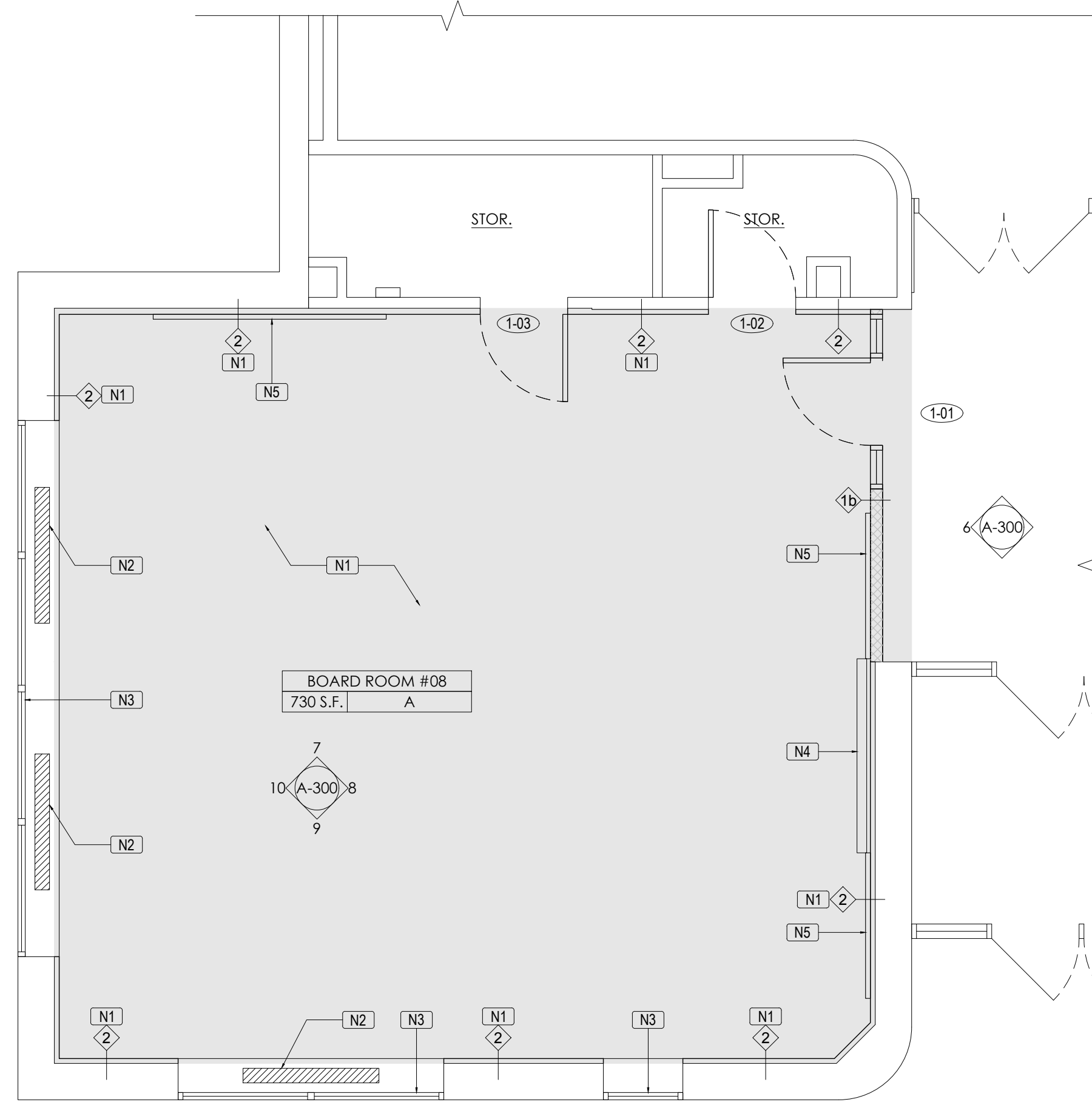
A-100

DATE
 02/12/2021

PROJECT NO.
 VS001-02



1 DEMOLITION PARTIAL FIRST FLOOR PLAN AT EXISTING SUPERINTENDENT / SECRETARY
 SCALE: 1/4" = 1'-0"

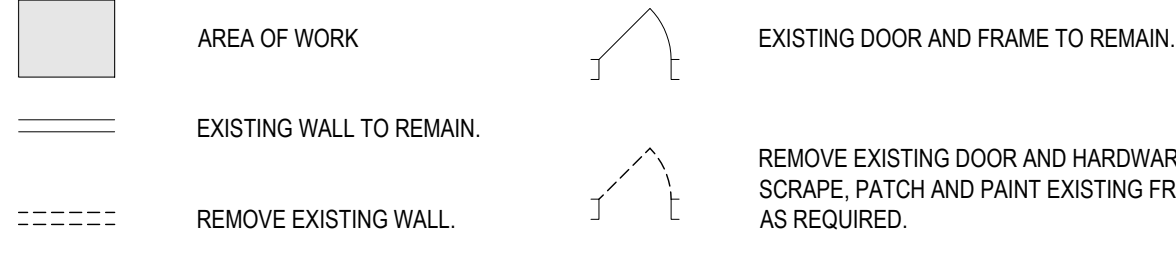


2 CONSTRUCTION PARTIAL FIRST FLOOR PLAN AT NEW BOARDROOM
 SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

- DEMOLITION WORK SHALL BE DONE IN STRICT CONFORMANCE WITH LOCAL AND STATE REGULATION, INCLUDING ALL PERMITS AND UTILITY CUTOFFS.
- PROVIDE ALL TEMPORARY BARRICADES, RAILINGS, LIGHTINGS, ETC. REQUIRED TO PROTECT THE WORKMEN, OWNER'S PERSONNEL AND OTHERS FROM INJURY DUE TO DEMOLITION WORK. PROVIDE FREE AND SAFE PASSAGE OF PERSONS TO AND FROM AREAS AND FACILITIES WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER - RAIN, WIND, STORM, FROST OR HEAT - SO AS TO MAINTAIN ALL WORK MATERIAL, EQUIPMENT AND FIXTURES FREE FROM DAMAGES. REPAIR ANY DAMAGE TO PROPERTY OF THE OWNER WHICH IS TO REMAIN IN USE, OR THAT OF ANY PERSON, OR PERSON ON OR OFF THE SITE CAUSED BY THE DEMOLITION WORK WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ACCUMULATED DEBRIS PROMPTLY. DISPOSAL BY BURNING WILL NOT BE PERMITTED ON SITE. ALL DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT INCLUDING FIXTURES, FURNISHINGS AND DECOR ITEMS SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL THE OWNER DETERMINES THE COURSE OF ACTION TO BE TAKEN WITH SAME.
- PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THESE LINES. CAP ALL UTILITY LINES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- PROVIDE DUST-TIGHT PARTITIONS BETWEEN AREAS WHERE DEMOLITION WORK IS BEING PERFORMED AND AREAS WHICH ARE FINISHED OR IN USE SO THAT THE EXISTING AREAS TO REMAIN WILL BE LEFT FREE OF ALL DUST AND DEBRIS AS A RESULT OF THE CONSTRUCTION OPERATIONS.
- LEAVE EACH AREA BROOM CLEAN UPON COMPLETION OF WORK EACH DAY.
- ANY AND ALL CONDITIONS NOT SHOWN HEREON AND UNCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY, PRIOR TO ANY ACTION INVOLVING SAME.
- ALL EXISTING ELEMENTS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
- PROVIDE ALL NECESSARY TEMPORARY SUPPORTS AS MAY BE REQUIRED PRIOR TO THE INSTALLATION OF NEW STRUCTURAL ELEMENTS REQUIRED BY THE DEMOLITION WORK SHOWN HEREON.
- REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

DEMOLITION LEGEND:



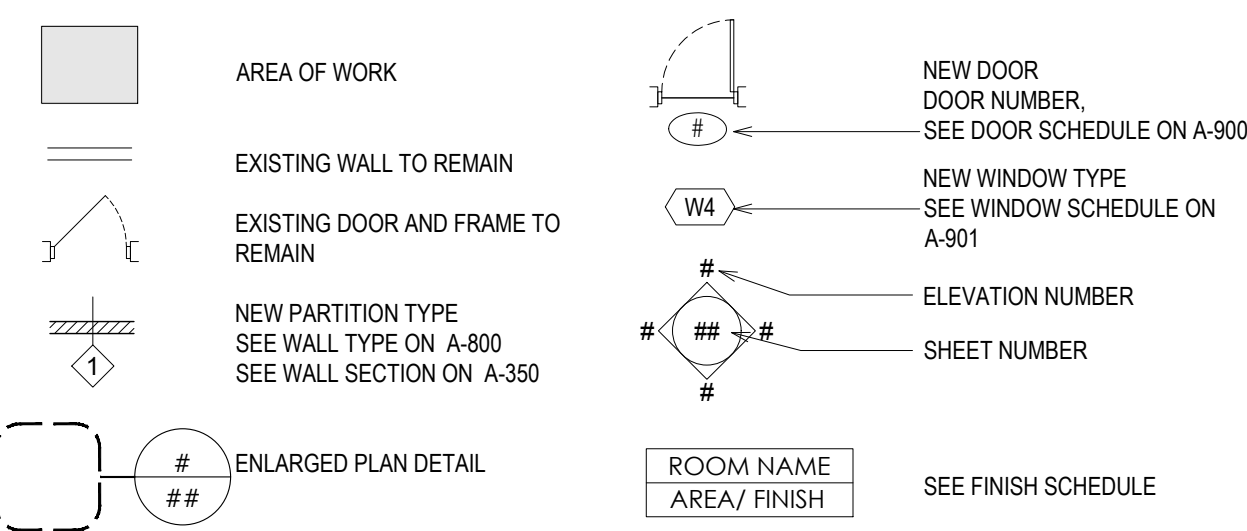
DEMOLITION KEY NOTES AS KEYED BY [D#] ON PLAN:

- [D1] REMOVE EXISTING ENTIRE DOOR, TRANSOM, HARDWARE, FRAME AND THRESHOLD AS SHOWN.
- [D2] REMOVE FULL HEIGHT OF EXISTING WALL WITH BASE & WALL TILES IF ANY AS SHOWN. DISCONNECT ALL EXISTING ELECTRICAL OUTLETS AND SWITCHES IN WALL. REMOVE EXISTING WIRES BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT. SAND, SCRAPE, REPAIR, PREPARE AFFECTED EXISTING SURFACES SCHEDULED TO REMAIN TO RECEIVE NEW FINISHES).
- [D3] REMOVE EXISTING WINDOW & FRAME.
- [D4] REMOVE EXISTING RECESSED RADIATOR. CUT AND CAP ALL PIPING BY MECH. CONTRACTOR. PATCH & REPAIR WALL SCHEDULED TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES.
- [D5] REMOVE EXISTING AC SPLIT UNIT BY MECH. CONTRACTOR AND RETURN TO OWNER.
- [D6] REMOVE EXISTING WOOD PANELS ON WALL & WINDOW SILL AND PLASTER/GYP. BD BEHIND DOWN TO EXISTING MASONRY WALL.
- [D7] REMOVE EXISTING CARPET/VINYL FLOORING & WALL BASE. LEVEL, PATCH & REPAIR EXISTING CONCRETE SLAB TO RECEIVE NEW FINISHED FLOOR.
- [D8] REMOVE EXISTING SMART BOARDS AND RETURN TO OWNER.
- [D9] REMOVE EXISTING WINDOW SHADES, TYP.
- [D10] REMOVE EXISTING BUILT-IN CLOSET & DOORS.
- [D11] REMOVE EXISTING GLAZED CERAMIC TILE WAINSCOT. SEE ASB-001 FOR LEAD MATERIALS INFO. PATCH & REPAIR WALL OR REPLACE W/ NEW GYP. BD TO RECEIVE NEW WALL FINISH.
- [D12] REMOVE EXISTING CERAMIC TILE. SEE ASB-001 FOR LEAD MATERIALS INFO. PATCH, REPAIR AND LEVEL EXISTING CONCRETE SLAB AND PREPARE FLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISH SYSTEM.
- [D13] REMOVE EXISTING BLOCK WALL WITH CEMENT BASE AS SHOWN. CONTRACTOR SHALL SUPPORT ROOF AND/OR STRUCTURE ABOVE DURING DEMOLITION AND CONSTRUCTION. BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY. REFER TO STRUCTURAL DRAWINGS.
- [D14] REMOVE EXISTING WALL MOUNTED LAVATOIRES, FAUCET AND ALL ASSOCIATED PIPING. MODIFY EXISTING WASTE, VENT, HOT AND COLD WATER ROUGH-IN AS NECESSARY TO ACCOMMODATE LOCATIONS OF NEW FIXTURES. COORDINATE WITH (P) DRAWINGS BY PLUMBER.
- [D15] REMOVE EXISTING FLOOR MOUNTED WATER CLOSET/URINAL, SUPPORTS, FLUSH VALVES, AND ALL ASSOCIATED PIPING AND INSULATION. MODIFY EXISTING WASTE, VENT, COLD WATER ROUGH-IN AS NECESSARY TO ACCOMMODATE LOCATIONS OF NEW FIXTURES. COORDINATE WITH (P) DRAWINGS BY PLUMBER.
- [D16] REMOVE ALL EXISTING SHOWER HEAD AND RELATED PIPING. CAP ALL EXISTING PIPING SO AS NOT TO CREATE ANY DEAD DENS. SEE (P) DRAWINGS BY PLUMBER.
- [D17] REMOVE, DISCONNECT AND CAP EXISTING FLOOR DRAIN. SEE (P) DRAWING BY PLUMBER.
- [D18] REMOVE EXISTING CORK BOARDS & WOOD FRAMES. SEE ASB-001 FOR LEAD MATERIALS INFO.
- [D19] REMOVE EXISTING PROJECTOR AND RETURN TO OWNER.

GENERAL NOTES:

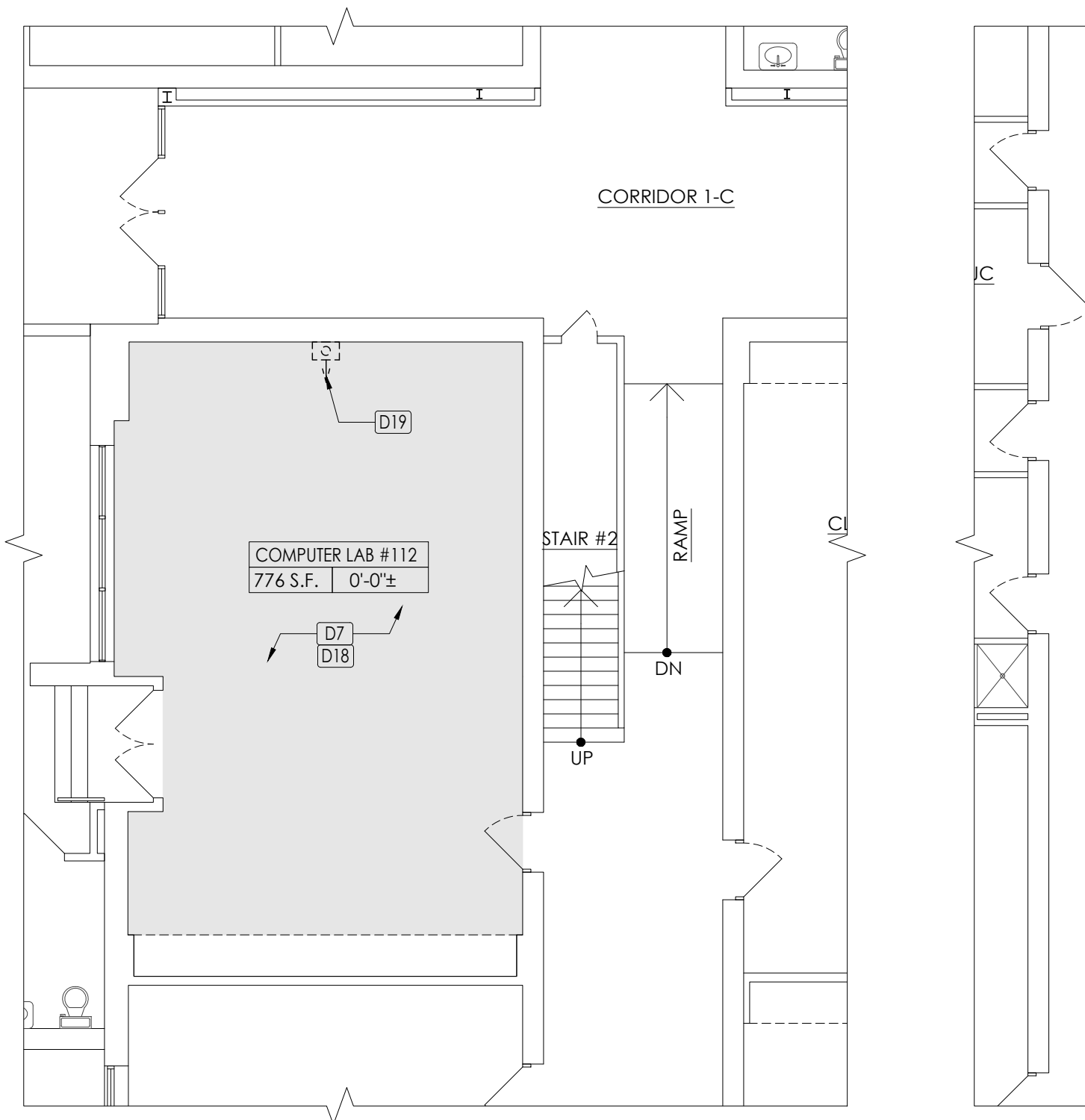
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DISTURBED AREA, UNLESS OTHERWISE NOTED, SHOULD BE PATCHED TO MATCH EXISTING ADJACENT FINISHES INCLUDING TILE, BRICK, PLASTER, WAINSCOT, CEILING, FLOOR FINISHES, WALL BASE AND PAINTING AS REQUIRED.
- ALL FINISHES AND COLORS SHALL BE SELECTED BY THE ARCHITECT/OWNER. THE CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE NEW WORK.
- PATCH & REPAIR EXISTING BLOCK WALL AT REMOVAL OF DEVICES & EQUIPMENT, TYP.
- EXISTING FIRE ALARM DEVICES AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT FIRE ALARM VENDOR.

CONSTRUCTION LEGEND:

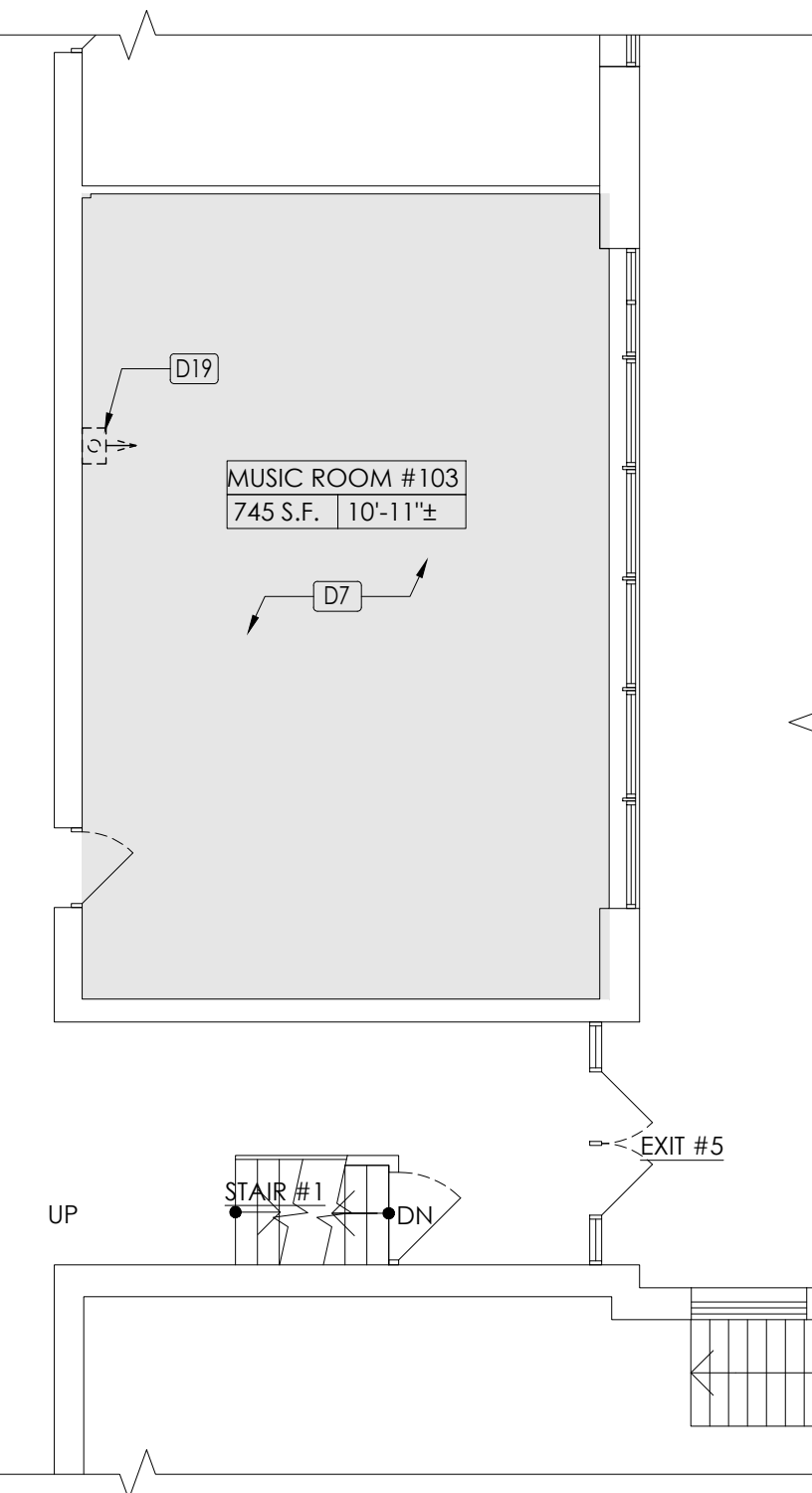


CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON FLOOR PLAN:

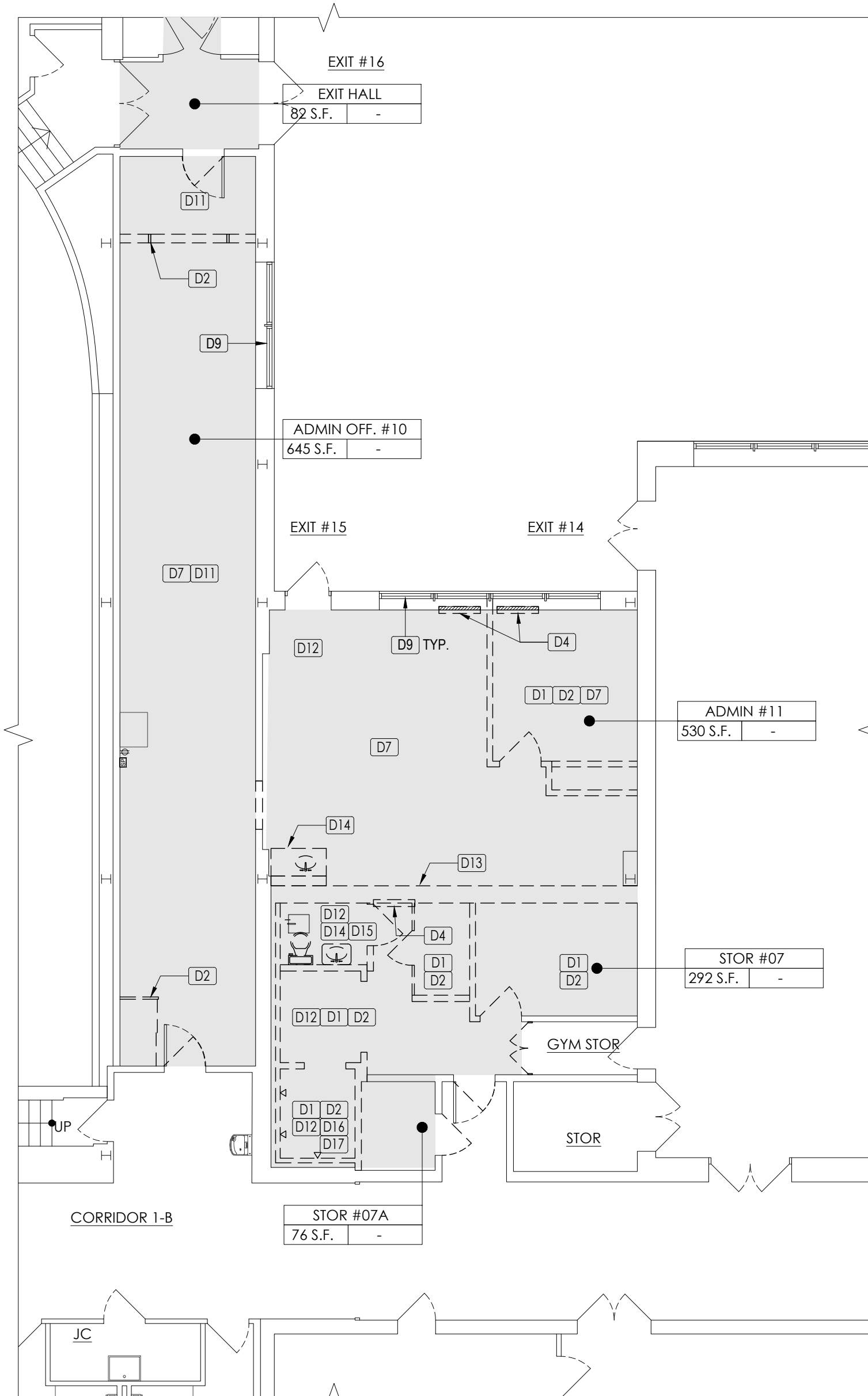
- [N1] PROVIDE & INSTALL RECESSED SHALLOW POWER & TEL/DATA RECEPTACLES IN NEW FURRING PARTITION, TYP.
- [N2] INFILL EXISTING RADIATOR OPENING TO MATCH EXISTING MASONRY WALL CONSTRUCTION AND INSTALL GYP. BD. ENCLOSEURE WITH WOOD WINDOW SILL.
- [N3] PROVIDE LIGHT FILTERING WINDOW SHADES, TYPICAL IN CLASSROOM. SAND & REFINISH EXISTING WINDOW SILL.
- [N4] PROVIDE & INSTALL SMART BOARD.
- [N5] PROVIDE & INSTALL GLASS WHITE BOARD WITH CHAIR RAIL.
- [N6] PROVIDE & INSTALL WHITE BOARD OR TACK BOARD.
- [N7] INFILL EXISTING CONVECTOR OPENING TO MATCH EXISTING MASONRY WALL CONSTRUCTION. SAND & REFINISH WINDOW SILL.
- [N8] NEW COLUMN WITH FOOTING & GIRDER ABOVE, SEE (S) DRAWINGS FOR ADDITIONAL INFO.
- [N9] NEW SINK (SK-1) COUNTER WITH BASE CABINETS.



1 DEMOLITION PARTIAL FIRST FLOOR PLAN AT EXISTING COMPUTER LAB & MUSIC ROOM
SCALE: 1/8" = 1'-0"



3 CONSTRUCTION PARTIAL FIRST FLOOR PLAN AT NEW CLASSROOMS #112 & 103
SCALE: 1/8" = 1'-0"

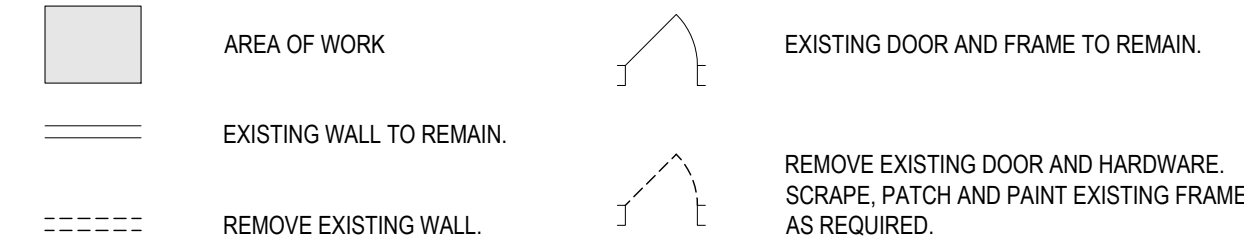


2 DEMOLITION PARTIAL FIRST FLOOR PLAN AT EXISTING ADMIN / STORAGES
SCALE: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES:

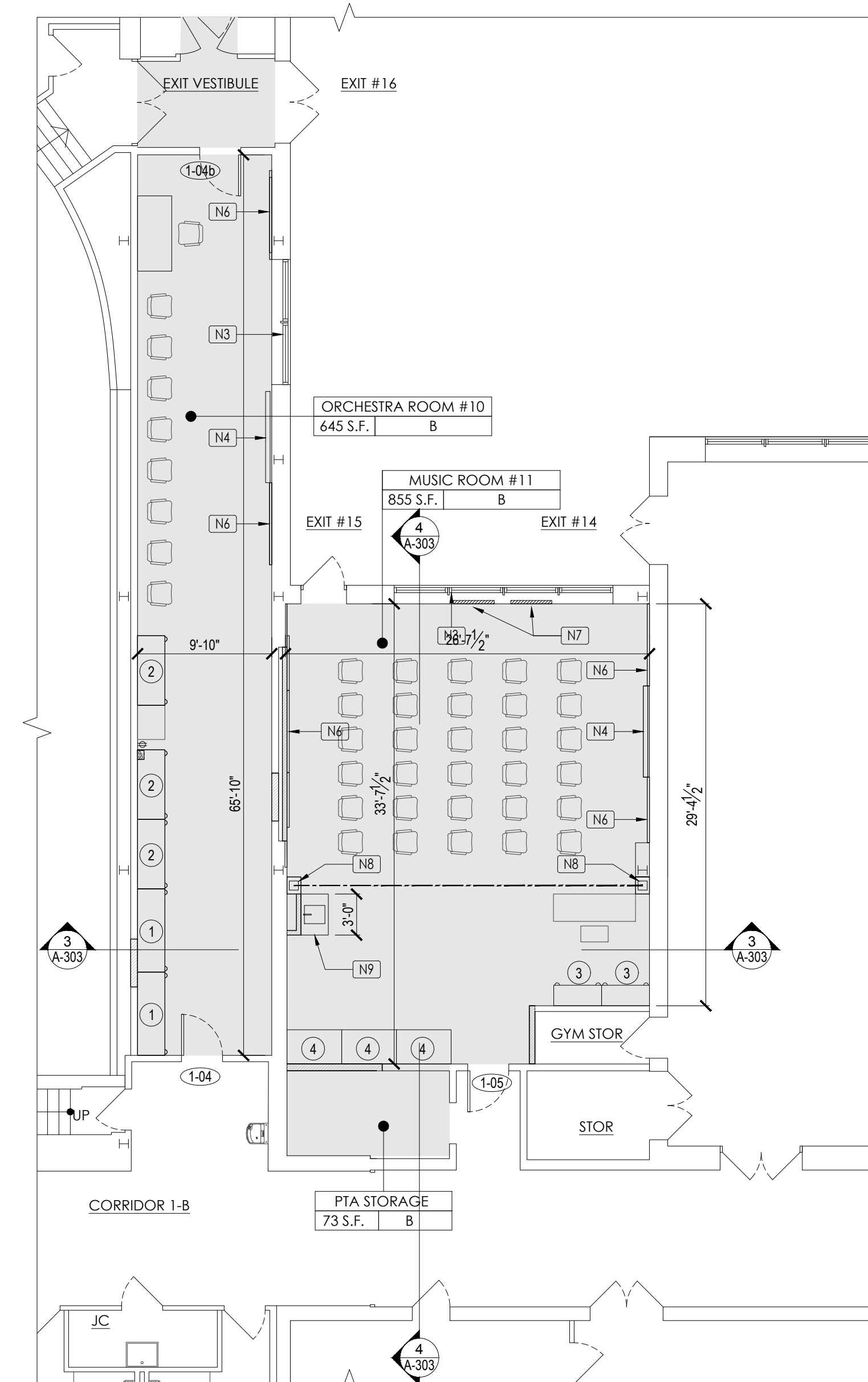
- DEMOLITION WORK SHALL BE DONE IN STRICT CONFORMANCE WITH LOCAL AND STATE REGULATION, INCLUDING ALL PERMITS AND UTILITY CUTOFFS.
- PROVIDE ALL TEMPORARY BARRICADES, RAILINGS, LIGHTINGS, ETC. REQUIRED TO PROTECT THE WORKMEN, OWNERS PERSONNEL AND OTHERS FROM INJURY DUE TO DEMOLITION WORK. PROVIDE FREE AND SAFE PASSAGE OF PERSONS TO AND FROM AREAS AND FACILITIES WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER - RAIN, WIND, STORM, FROST OR HEAT - SO AS TO MAINTAIN ALL WORK, MATERIAL, EQUIPMENT AND FIXTURES FREE FROM DAMAGES. REPAIR ANY DAMAGE TO PROPERTY OF THE OWNER WHICH IS TO REMAIN IN USE, OR THAT OF ANY PERSON, OR PERSON ON OR OFF THE SITE CAUSED BY THE DEMOLITION WORK WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ACCUMULATED DEBRIS PROMPTLY. DISPOSAL BY BURNING WILL NOT BE PERMITTED ON SITE. ALL DEBRIS SHALL BE DISPOSED OF IN A LEGAL, WORKMEN.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT INCLUDING FIXTURES, FURNISHINGS AND DECOR ITEMS SHALL BE STORED AND PROTECTED FROM DAMAGE UNIT THE OWNER DETERMINES THE COURSE OF ACTION TO BE TAKEN WITH SAME.
- PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THESE LINES. CAP ALL UTILITY LINES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- PROVIDE DUST-TIGHT PARTITIONS BETWEEN AREAS WHERE DEMOLITION WORK IS BEING PERFORMED AND AREAS WHICH ARE FINISHED OR IN USE SO THAT THE EXISTING AREAS TO REMAIN WILL BE LEFT FREE OF ALL DUST AND DEBRIS AS A RESULT OF THE CONSTRUCTION OPERATIONS.
- LEAVE EACH AREA BROOM CLEAN UPON COMPLETION OF WORK EACH DAY.
- ANY AND ALL CONDITIONS NOT SHOWN HEREON AND UNCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY, PRIOR TO ANY ACTION INVOLVING SAME.
- ALL EXISTING ELEMENTS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
- PROVIDE ALL NECESSARY TEMPORARY SUPPORTS AS MAY BE REQUIRED PRIOR TO THE INSTALLATION OF NEW STRUCTURAL ELEMENTS REQUIRED BY THE DEMOLITION WORK SHOWN HEREON.
- REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

DEMOLITION LEGEND:



DEMOLITION KEY NOTES AS KEYED BY [D#] ON PLAN:

- D1 REMOVE EXISTING ENTIRE DOOR, TRANSOM, HARDWARE, FRAME AND THRESHOLD AS SHOWN.
- D2 REMOVE FULL HEIGHT OF EXISTING WALL WITH BASE & WALL TILES IF ANY AS SHOWN. DISCONNECT ALL EXISTING ELECTRICAL OUTLETS AND SWITCHES IN WALL. REMOVE EXISTING WIRES BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT. SAND, SCRAPE, REPAIR, PREPARE AFFECTED EXISTING SURFACES SCHEDULED TO REMAIN TO RECEIVE NEW FINISHES).
- D3 REMOVE EXISTING WINDOW & FRAME.
- D4 REMOVE EXISTING RECESSED RADIATOR. CUT AND CAP ALL PIPING BY MECH. CONTRACTOR. PATCH & REPAIR WALL. SCHEDULED TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES.
- D5 REMOVE EXISTING AC SPLIT UNIT BY MECH. CONTRACTOR AND RETURN TO OWNER.
- D6 REMOVE EXISTING WOOD PANELS ON WALL & WINDOW SILL AND PLASTER/GYP. BD BEHIND DOWN TO EXISTING MASONRY WALL.
- D7 REMOVE EXISTING CARPET/VINYL FLOORING & WALL BASE. LEVEL, PATCH & REPAIR EXISTING CONCRETE SLAB TO RECEIVE NEW FINISHED FLOOR.
- D8 REMOVE EXISTING SMART BOARDS AND RETURN TO OWNER.
- D9 REMOVE EXISTING WINDOW SHADES, TYP.
- D10 REMOVE EXISTING BUILT-IN CLOSET & DOORS.
- D11 REMOVE EXISTING GLAZED CERAMIC TILE WAINSCOT. SEE ASB-001 FOR LEAD MATERIALS INFO. PATCH & REPAIR WALL OR REPLACE W/ NEW GYP. BD TO RECEIVE NEW WALL FINISH.
- D12 REMOVE EXISTING CERAMIC TILE. SEE ASB-001 FOR LEAD MATERIALS INFO. PATCH, REPAIR AND LEVEL EXISTING CONCRETE SLAB AND PREPARE FLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISH SYSTEM.
- D13 REMOVE EXISTING BLOCK WALL WITH CEMENT BASE AS SHOWN. CONTRACTOR SHALL SUPPORT ROOF AND/OR STRUCTURE ABOVE DURING DEMOLITION AND CONSTRUCTION. BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY. REFER TO STRUCTURAL DRAWINGS.
- D14 REMOVE EXISTING WALL MOUNTED LAVATORIES, FAUCET AND ALL ASSOCIATED PIPING. MODIFY EXISTING WASTE, VENT, HOT AND COLD WATER ROUGH-IN AS NECESSARY TO ACCOMMODATE LOCATIONS OF NEW FIXTURES. COORDINATE WITH (P) DRAWINGS BY PLUMBER.
- D15 REMOVE EXISTING MOUNTED WATER CLOSET/JURNAL, SUPPORTS, FLUSH VALVES, AND ALL ASSOCIATED PIPING AND INSULATION. MODIFY EXISTING WASTE, VENT, COLD WATER ROUGH-IN AS NECESSARY TO ACCOMMODATE LOCATIONS OF NEW FIXTURES. COORDINATE WITH (P) DRAWINGS BY PLUMBER.
- D16 REMOVE ALL EXISTING SHOWER HEAD AND RELATED PIPING. CAP ALL EXISTING PIPING SO AS NOT TO CREATE ANY DEAD ENDS. SEE (P) DRAWINGS BY PLUMBER.
- D17 REMOVE, DISCONNECT AND CAP EXISTING FLOOR DRAIN. SEE (P) DRAWING BY PLUMBER.
- D18 REMOVE EXISTING CORK BOARDS & WOOD FRAMES. SEE ASB-001 FOR LEAD MATERIALS INFO.
- D19 REMOVE EXISTING PROJECTOR AND RETURN TO OWNER.

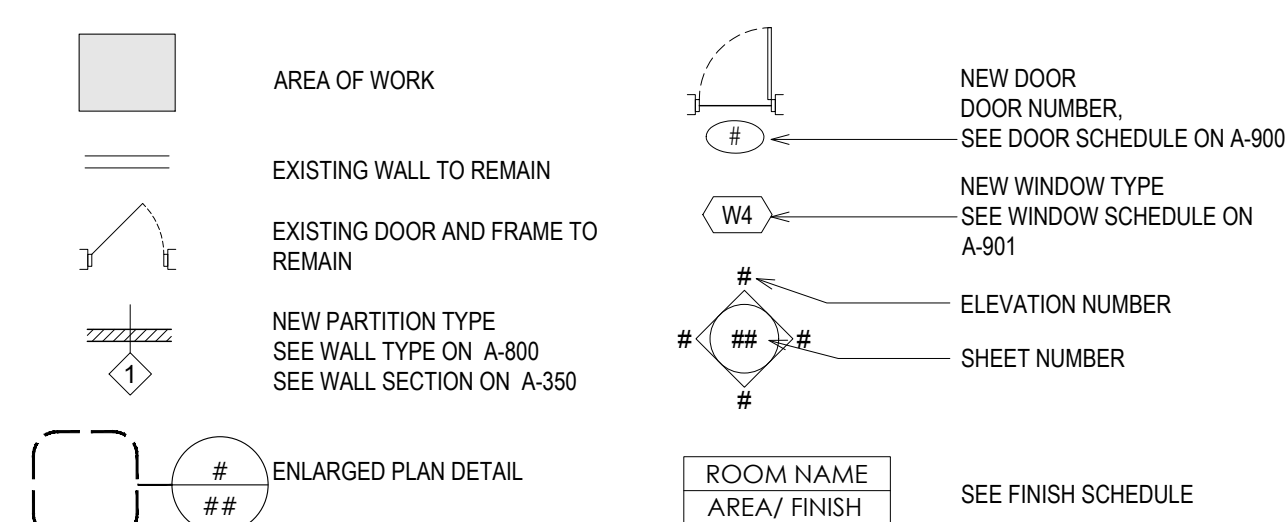


4 CONSTRUCTION PARTIAL FIRST FLOOR PLAN AT NEW MUSIC ROOM
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DISTURBED AREA, UNLESS OTHERWISE NOTED, SHOULD BE PATCHED TO MATCH EXISTING ADJACENT FINISHES INCLUDING TILE, BRICK, PLASTER, WAINSCOT, CEILING, FLOOR FINISHES, WALL BASE AND PAINTING AS REQUIRED.
- ALL FINISHES AND COLORS SHALL BE SELECTED BY THE ARCHITECT/ OWNER. THE CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE NEW WORK.
- PATCH & REPAIR EXISTING BLOCK WALL AT REMOVAL OF DEVICES & EQUIPMENT, TYP.
- EXISTING FIRE ALARM DEVICES AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT FIRE ALARM VENDOR.

CONSTRUCTION LEGEND:



CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON FLOOR PLAN:

- N1 PROVIDE & INSTALL RECESSED SHALLOW POWER & TEL/DATA RECEPTACLES IN NEW FURRING PARTITION, TYP.
- N2 INFILL EXISTING RADIATOR OPENING TO MATCH EXISTING MASONRY WALL CONSTRUCTION AND INSTALL GYP. BD ENCLOSURE WITH WOOD WINDOW SILL.
- N3 PROVIDE LIGHT FILTERING WINDOW SHADES, TYPICAL IN CLASSROOM. SAND & REFINISH EXISTING WINDOW SILL.
- N4 PROVIDE & INSTALL SMART BOARD.
- N5 PROVIDE & INSTALL GLASS WHITE BOARD WITH CHAIR RAIL.
- N6 PROVIDE & INSTALL WHITE BOARD OR TACK BOARD.
- N7 INFILL EXISTING CONVECTOR OPENING TO MATCH EXISTING MASONRY WALL CONSTRUCTION. SAND & REFINISH WINDOW SILL.
- N8 NEW COLUMN WITH FOOTING & GIRDER ABOVE. SEE (S) DRAWINGS FOR ADDITIONAL INFO.
- N9 NEW SINK (SK-1) COUNTER WITH BASE CABINETS.

PROPOSED FINISH SCHEDULE:

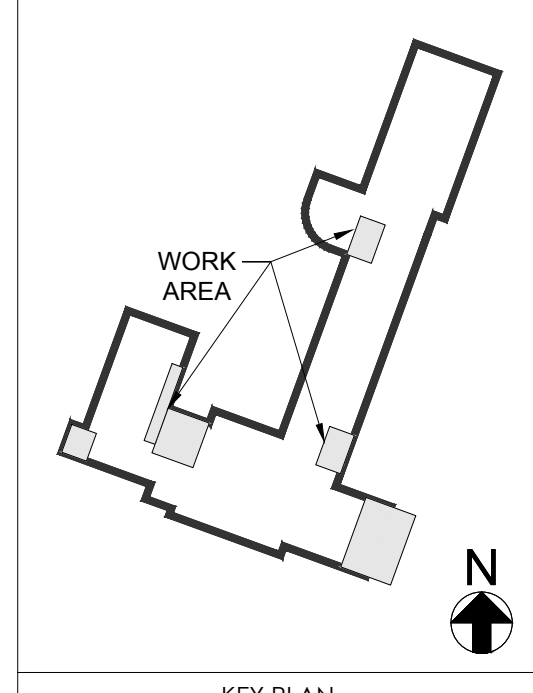
- 'A' CEILING: PROVIDE & INSTALL 2'X2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG
TILE: OPTIMA #3150
GRID: PRELUDE XL 15/16"
OR APPROVED EQUAL. REFER TO RCP.
PREP & PAINT NEW GWB SOFFIT
- WALL: SCRAPE, PATCH/REPAIR AND PAINT EXISTING BLOCK WALL.
PREP. & PAINT NEW GWB WALL
4" VINYL WALL BASE.
- BASE: 2'X2" CARPET TILE INSTALLED IN QUARTER TURN
FLOOR: MANUFACTURE: PATCRAFT
STYLE: REALIZE SERIES
- 'B' CEILING: PROVIDE & INSTALL 2'X2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG
TILE: OPTIMA #3150
PRELUDE XL 15/16"
OR APPROVED EQUAL. REFER TO RCP.
PAINT NEW GYP. BD. SOFFIT
- WALL: SCRAPE, PATCH/REPAIR AND PAINT EXISTING BLOCK WALL.
PREP. & PAINT NEW GWB WALL
4" VINYL WALL BASE.
GLUE-DOWN LVT 12X12
MANUFACTURER: PATCRAFT

FURNITURE KEY NOTES

- 1 564300.000 MOBILE CELLO RACK QTY: 2
- 2 564000.000 MOBILE BASS RACK QTY: 3
- 3 563100.551 CHORAL FOLIO STORAGE, NO DOOR, MOBILE QTY: 2
- 4 560216.443 INSTRUMENT STORAGE, 2 COMPARTMENT, COMPARTMENT WIRE DOOR QTY: 3



IF IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COORDINATING LICENSED ARCHITECT MUST SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS.
(See Appropriate Sections of NYS Education Law)



NO.	DESCRIPTION	DATE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME: **JAMES A. DEVER ELEMENTARY SCHOOL**
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.: 28-02-13-02-0-001-040

DEMOLITION & CONSTRUCTION PARTIAL FIRST FLOOR PLAN - CLASSROOMS & MUSIC ROOM

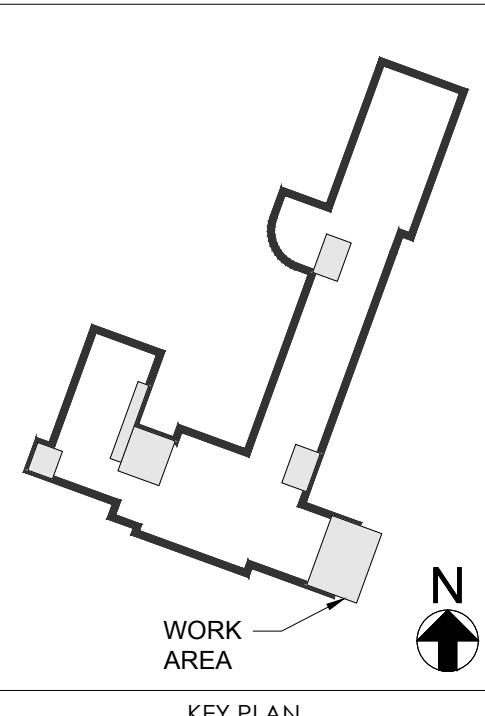
A-101

DATE: 02/12/2021
PROJECT NO.: VS001-02



SEAL

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KEY PLAN

NO.	DESCRIPTION	DATE

REVISION

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

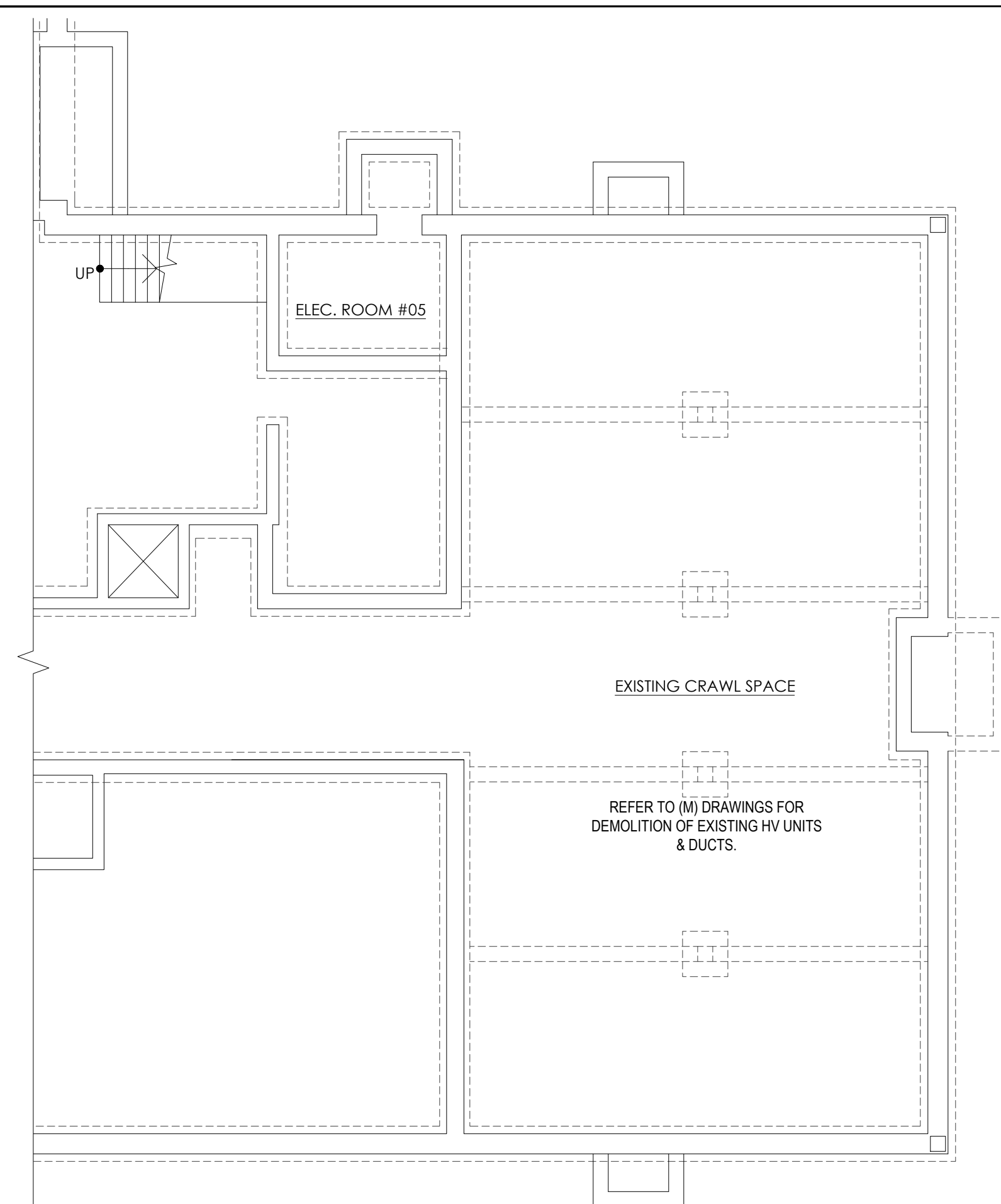
HYSID CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
DEMOLITION & CONSTRUCTION PARTIAL FOUNDATION PLAN - ADMIN ADDITION

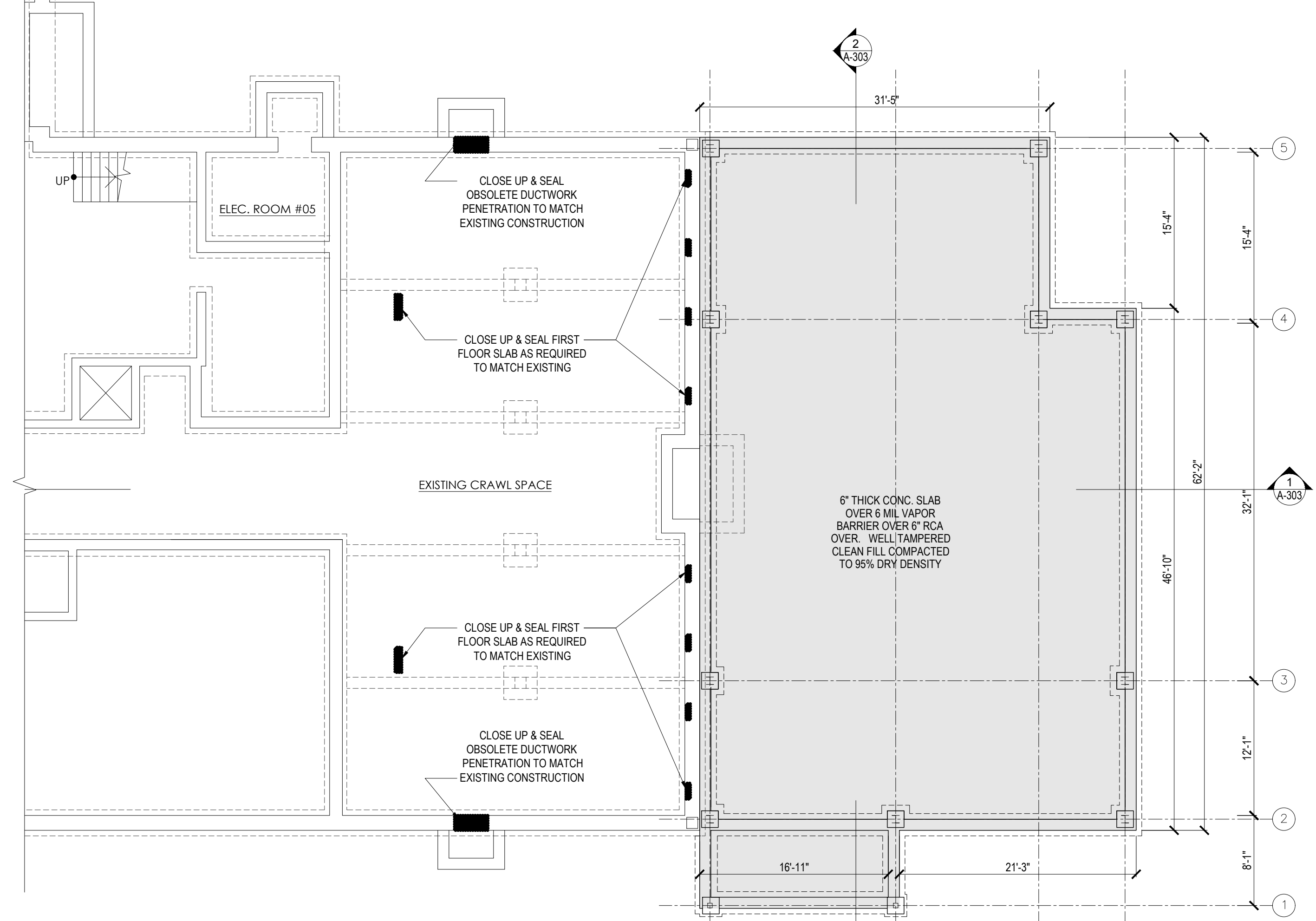
DRAWING NO.
A-102

DATE
02/12/2021

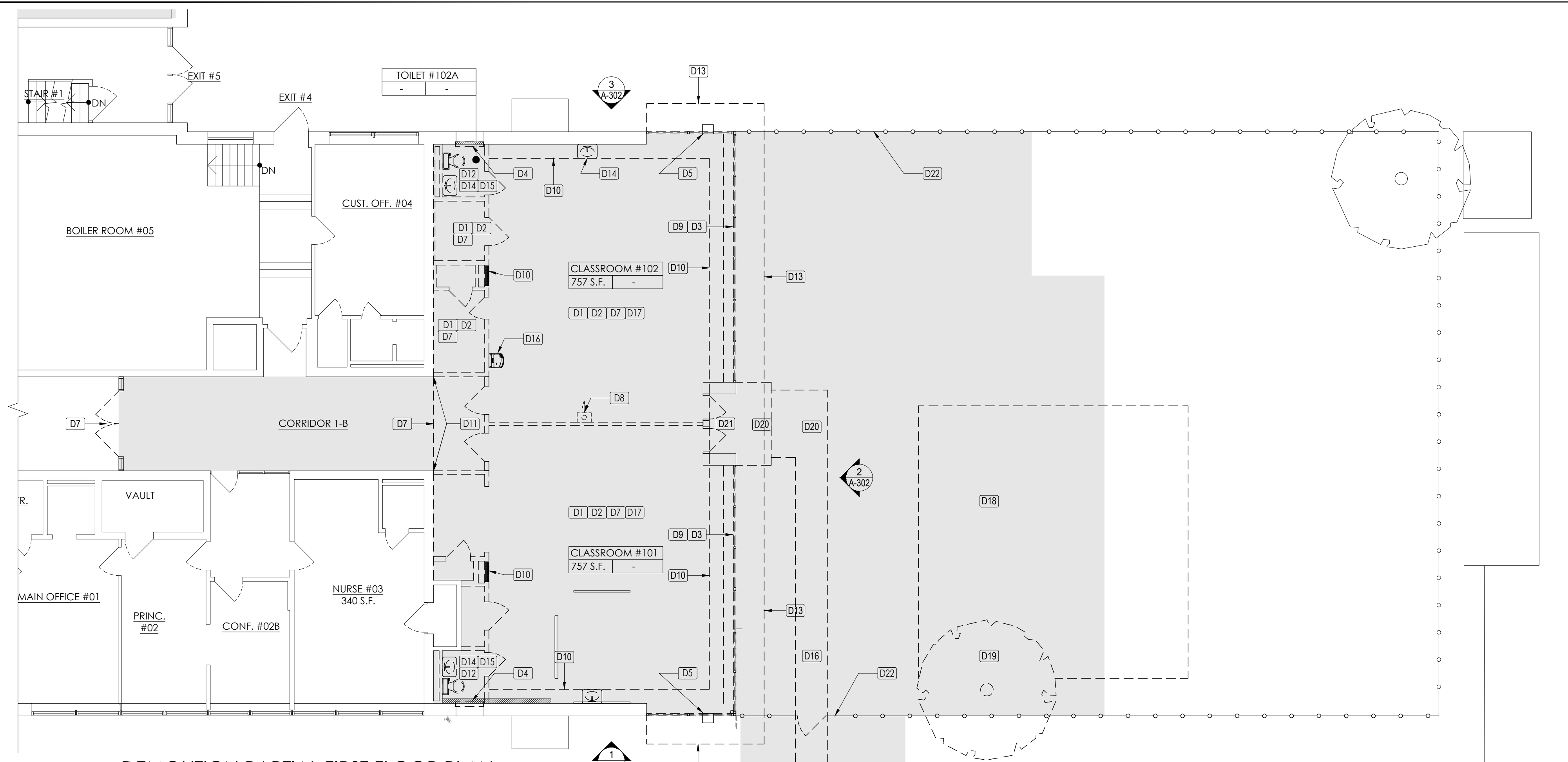
PROJECT NO.
VS001-02



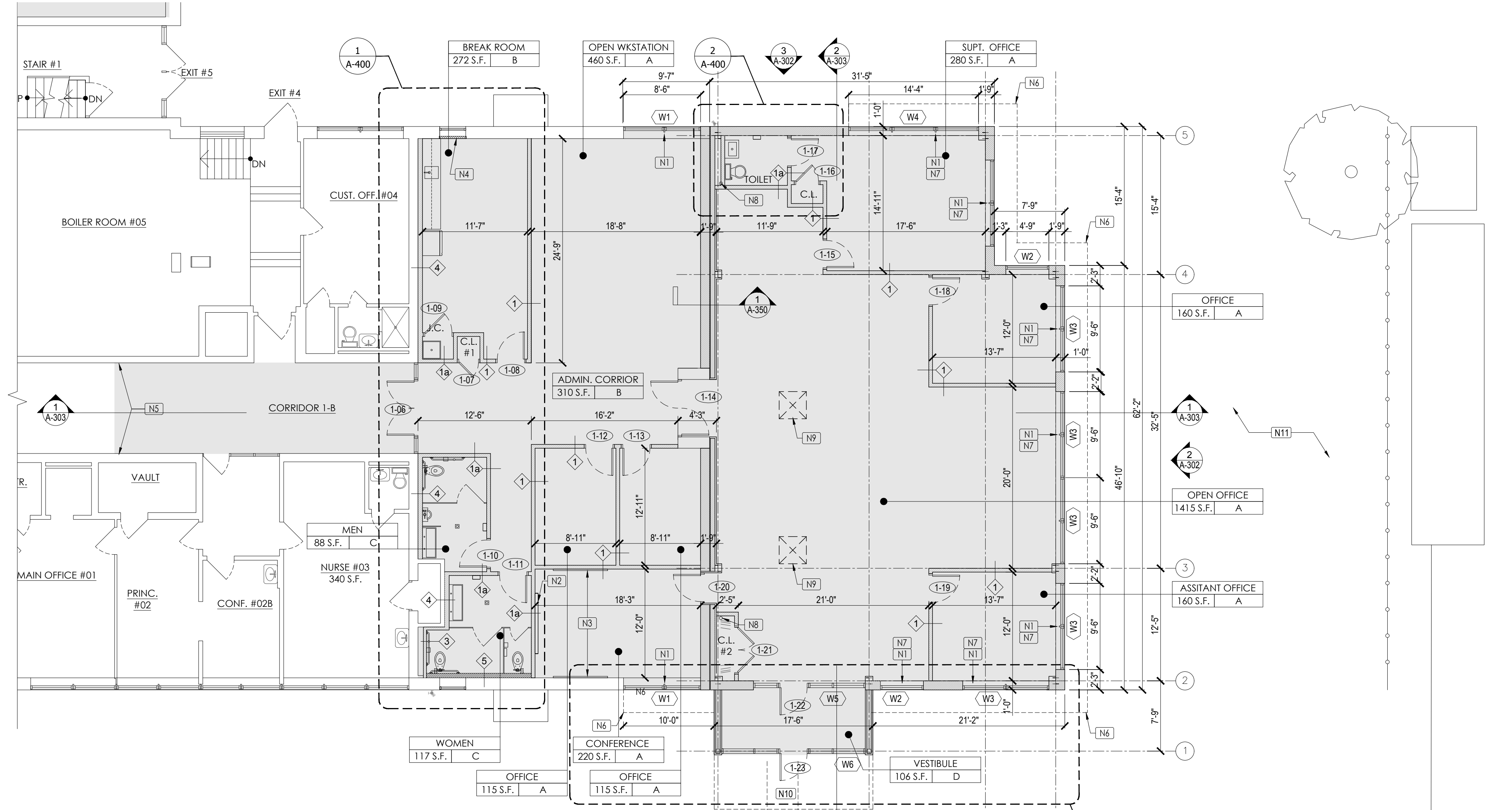
1 DEMOLITION PARTIAL FOUNDATION PLAN AT EXISTING CLASSROOMS
SCALE: 1/8" = 1'-0"



2 CONSTRUCTION PARTIAL FOUNDATION PLAN AT NEW ADMIN ADDITION
SCALE: 1/8" = 1'-0"



1 DEMOLITION PARTIAL FIRST FLOOR PLAN
AT EXISTING CLASSROOMS
SCALE: 1/8" = 1'-0"

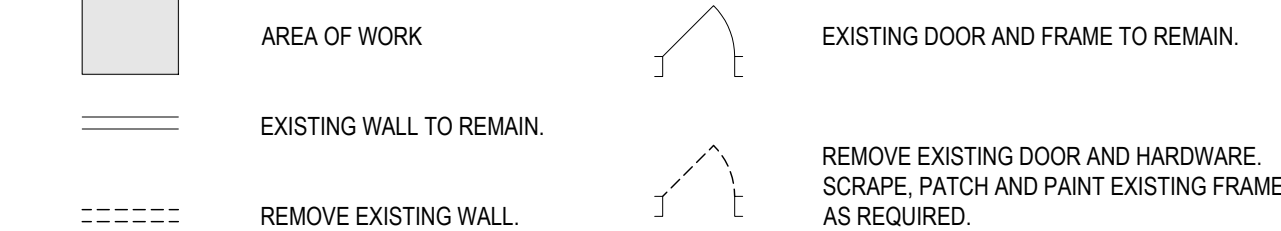


2 CONSTRUCTION PARTIAL FIRST FLOOR PLAN
AT NEW ADMIN ADDITION
SCALE: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES:

- DEMOLITION WORK SHALL BE DONE IN STRICT CONFORMANCE WITH LOCAL AND STATE REGULATION, INCLUDING ALL PERMITS AND UTILITY CUTOFFS.
- PROVIDE ALL TEMPORARY BARRICADES, RAILINGS, LIGHTINGS, ETC. REQUIRED TO PROTECT THE WORKMEN, OWNERS PERSONNEL AND OTHERS FROM INJURY DUE TO DEMOLITION WORK. PROVIDE FREE AND SAFE PASSAGE OF PERSONS TO AND FROM AREAS AND FACILITIES WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER - RAIN, WIND, STORM, FROST OR HEAT - SO AS TO MAINTAIN ALL WORK, MATERIAL, EQUIPMENT AND FIXTURES FREE FROM DAMAGES. REPAIR ANY DAMAGE TO PROPERTY OF THE OWNER WHICH IS TO REMAIN IN USE, OR THAT OF ANY PERSON, OR PERSON ON OR OFF THE SITE CAUSED BY THE DEMOLITION WORK WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ACCUMULATED DEBRIS PROMPTLY. DISPOSAL BY BURNING WILL NOT BE PERMITTED ON SITE. ALL DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT INCLUDING FIXTURES, FURNISHINGS AND DECOR ITEMS SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL THE OWNER DETERMINES THE COURSE OF ACTION TO BE TAKEN WITH SAME.
- PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THESE LINES. CAP ALL UTILITY LINES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- PROVIDE DUST-TIGHT PARTITIONS BETWEEN AREAS WHERE DEMOLITION WORK IS BEING PERFORMED AND AREAS WHICH ARE FINISHED OR IN USE SO THAT THE EXISTING AREAS TO REMAIN WILL BE LEFT FREE OF ALL DUST AND DEBRIS AS A RESULT OF THE CONSTRUCTION OPERATIONS.
- LEAVE EACH AREA BROOM CLEAN UPON COMPLETION OF WORK EACH DAY.
- ANY AND ALL CONDITIONS NOT SHOWN HEREON AND UNCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY, PRIOR TO ANY ACTION INVOLVING SAME.
- ALL EXISTING ELEMENTS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
- PROVIDE ALL NECESSARY TEMPORARY SUPPORTS AS MAY BE REQUIRED PRIOR TO THE INSTALLATION OF NEW STRUCTURAL ELEMENTS REQUIRED BY THE DEMOLITION WORK SHOWN HEREON.
- REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

DEMOLITION LEGEND:



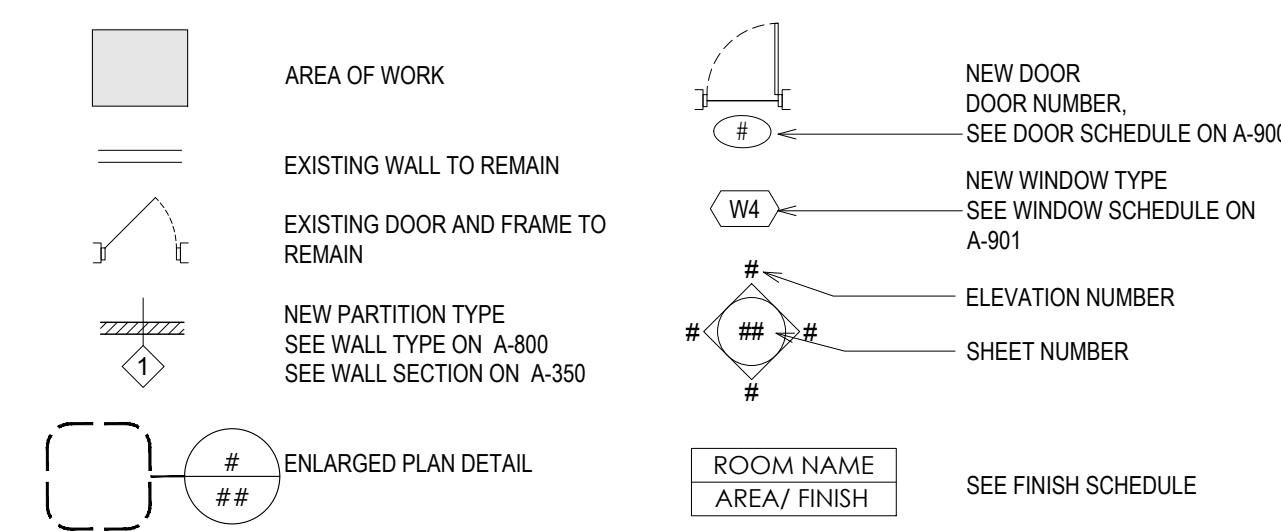
DEMOLITION KEY NOTES AS KEYED BY [D#] ON PLAN:

- D1** REMOVE EXISTING ENTIRE DOOR, TRANSOM, HARDWARE, FRAME AND THRESHOLD AS SHOWN.
- D2** REMOVE FULL HEIGHT OF EXISTING WALL WITH BASE & WALL TILES IF ANY AS SHOWN. DISCONNECT ALL EXISTING ELECTRICAL OUTLETS AND SWITCHES IN WALL. REMOVE EXISTING WIRES BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT. SAND, SCRAPE, REPAIR, PREPARE AFFECTED EXISTING SURFACES SCHEDULED TO REMAIN TO RECEIVE NEW FINISHES.
- D3** REMOVE EXISTING EXTERIOR WINDOWS & FRAMES. SEE ASB-001 FOR LEAD MATERIALS INFO. EXISTING LINTELS TO REMAIN. EXISTING MASONRY WALL ABOVE & BELOW WINDOW TO REMAIN.
- D4** REMOVE EXISTING CONVECTOR. CUT AND CAP ALL PIPING. PATCH & REPAIR WALL SCHEDULED TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES. SEE (M) DRAWINGS BY MECH CONTRACTOR.
- D5** REMOVE EXISTING WINDOW AC UNIT AND ASSOCIATED WIRING.
- D6** REMOVE EXISTING LOW BUILT-IN CABINETS & SHELVES.
- D7** REMOVE EXISTING CARPET/VINYL FLOORING & WALL BASE. LEVEL, PATCH & REPAIR EXISTING CONCRETE SLAB TO EXISTING NEW FINISHED FLOOR.
- D8** REMOVE EXISTING PROJECTOR AND RETURN TO OWNER.
- D9** REMOVE EXISTING WINDOW SHADES, TYP.
- D10** REMOVE EXISTING RETURN GRILLE. SEE (M) DRAWINGS BY MECH CONTRACTOR.
- D11** REMOVE EXISTING GLAZED CERAMIC TILE WAINSCOT, SEE ASB-001 FOR LEAD MATERIALS INFO. PATCH & REPAIR WALL OR REPLACE W/ NEW GYP. BD TO RECEIVE NEW WALL FINISH.
- D12** REMOVE EXISTING CERAMIC TILE. SEE ASB-001 FOR LEAD MATERIALS INFO. PATCH, REPAIR AND LEVEL EXISTING CONCRETE SLAB AND PREPARE FLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISH SYSTEM.
- D13** SAW CUT EXISTING CANOPY ALONG THE EXTERIOR MASONRY WALL.
- D14** REMOVE EXISTING WALL MOUNTED LAVATORIES, FAUCET AND ALL ASSOCIATED PIPING. MODIFY EXISTING WASTE, VENT, HOT AND COLD WATER ROUGH-IN AS NECESSARY TO ACCOMMODATE LOCATIONS OF NEW FIXTURES. COORDINATE WITH (P) DRAWINGS BY PLUMBER.
- D15** REMOVE EXISTING FLOOR MOUNTED WATER CLOSET/URINAL, SUPPORTS, FLUSH VALVES, AND ALL ASSOCIATED PIPING AND INSULATION. MODIFY EXISTING WASTE, VENT, COLD WATER ROUGH-IN AS NECESSARY TO ACCOMMODATE LOCATIONS OF NEW FIXTURES. COORDINATE WITH (P) DRAWINGS BY PLUMBER.
- D16** REMOVE EXISTING DRINKING FOUNTAIN AND CAP ALL EXISTING PIPINGS AS NOT TO CREATE ANY DEAD ENDS. SEE (P) DRAWING BY PLUMBER.
- D17** REMOVE EXISTING CORK BOARDS & WOOD FRAMES. SEE ASB-001 FOR LEAD MATERIALS INFO.
- D18** REMOVE EXISTING PLAYGROUND STRUCTURE & WALK ON PAD.
- D19** REMOVE EXISTING TREE. INFILL & PACK SOLID TO RECEIVE NEW FOUNDATION & SLAB ON GRADE.
- D20** REMOVE EXISTING CONC. LANDING & SIDEWALK.
- D21** REMOVE EXISTING EXIT DOORS AND BROWN PAINTED SOFFIT ABOVE. SEE ASB-001 FOR LEAD MATERIALS INFO. REPAIR SOFFIT OR LAMINATE GYP. BD. TO RECEIVE NEW PAINT FINISH.
- D22** REMOVE EXISTING CHAIN-LINK FENCE.

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DISTURBED AREA, UNLESS OTHERWISE NOTED, SHOULD BE PATCHED TO MATCH EXISTING ADJACENT FINISHES INCLUDING TILE, BRICK, PLASTER, WAINSCOT, CEILING, FLOOR FINISHES, WALL BASE AND PAINTING AS REQUIRED.
- ALL FINISHES AND COLORS SHALL BE SELECTED BY THE ARCHITECT/OWNER. THE CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE NEW WORK.
- PATCH & REPAIR EXISTING BLOCK WALL AT REMOVAL OF DEVICES & EQUIPMENT, TYP.
- EXISTING FIRE ALARM DEVICES AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT FIRE ALARM VENDOR.

CONSTRUCTION LEGEND:



CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON FLOOR PLAN:

- N1** PROVIDE LIGHT FILTERING WINDOW SHADES, TYPICAL IN CLASSROOM. SAND & REFINISH EXISTING WINDOW SILL.
- N2** PROVIDE & INSTALL SMART BOARD.
- N3** PROVIDE & INSTALL GLASS WHITE BOARD WITH CHAIR RAIL.
- N4** INFILL EXISTING CONVECTOR OR OPENING TO MATCH EXISTING MASONRY WALL CONSTRUCTION.
- N5** PATCH & REPAIR WALL & FLOOR TO MATCH EXISTING FINISHES AFTER DOOR REMOVAL.
- N6** PROVIDE & INSTALL 30" D CANOPY. SEE DETAIL 2/A-350.
- N7** PROVIDE & INSTALL LINTEL ABOVE WINDOW. SEE DETAIL 2/A-350.
- N8** PROVIDE & INSTALL NEW ROOF LEADER. SEE (P) DRAWINGS FOR ADDITIONAL INFO.
- N9** PROVIDE & INSTALL 36" X 36" SKYLIGHT. SEE DETAIL 3/A-350.
- N10** PROVIDE & INSTALL NEW CONC. SIDEWALK.
- N11** RESTORE EXISTING PLAYGROUND WITH TOP SOIL AND GRASS SEED.

MDS MARK DESIGN STUDIOS
MARK DESIGN STUDIOS ARCHITECTURE, P.C.
270 NORTH BROADWAY, HECKSVILLE, NY 11801
PH: 516-827-0240 FAX: 516-827-0224

DRAWN: E.L. CHECKED: M.M.

REGISTERED ARCHITECT
MICHAEL MARK
STATE OF NEW YORK
039516

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(See Appropriate Sections of NYS Education Law)

KEY PLAN

NO.	DESCRIPTION	DATE

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

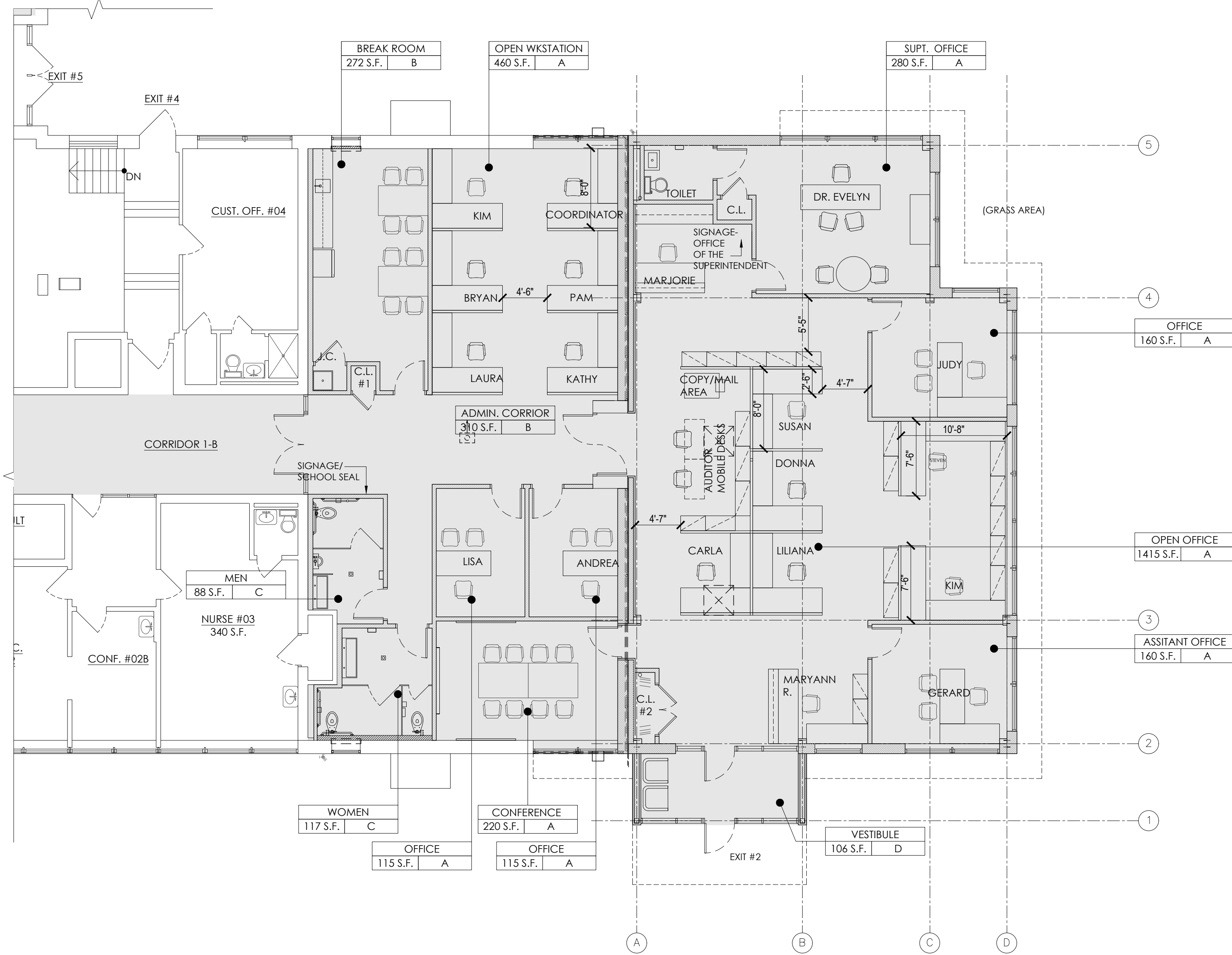
HYSED CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
DEMOLITION & CONSTRUCTION PARTIAL FIRST FLOOR PLAN - ADMIN ADDITION

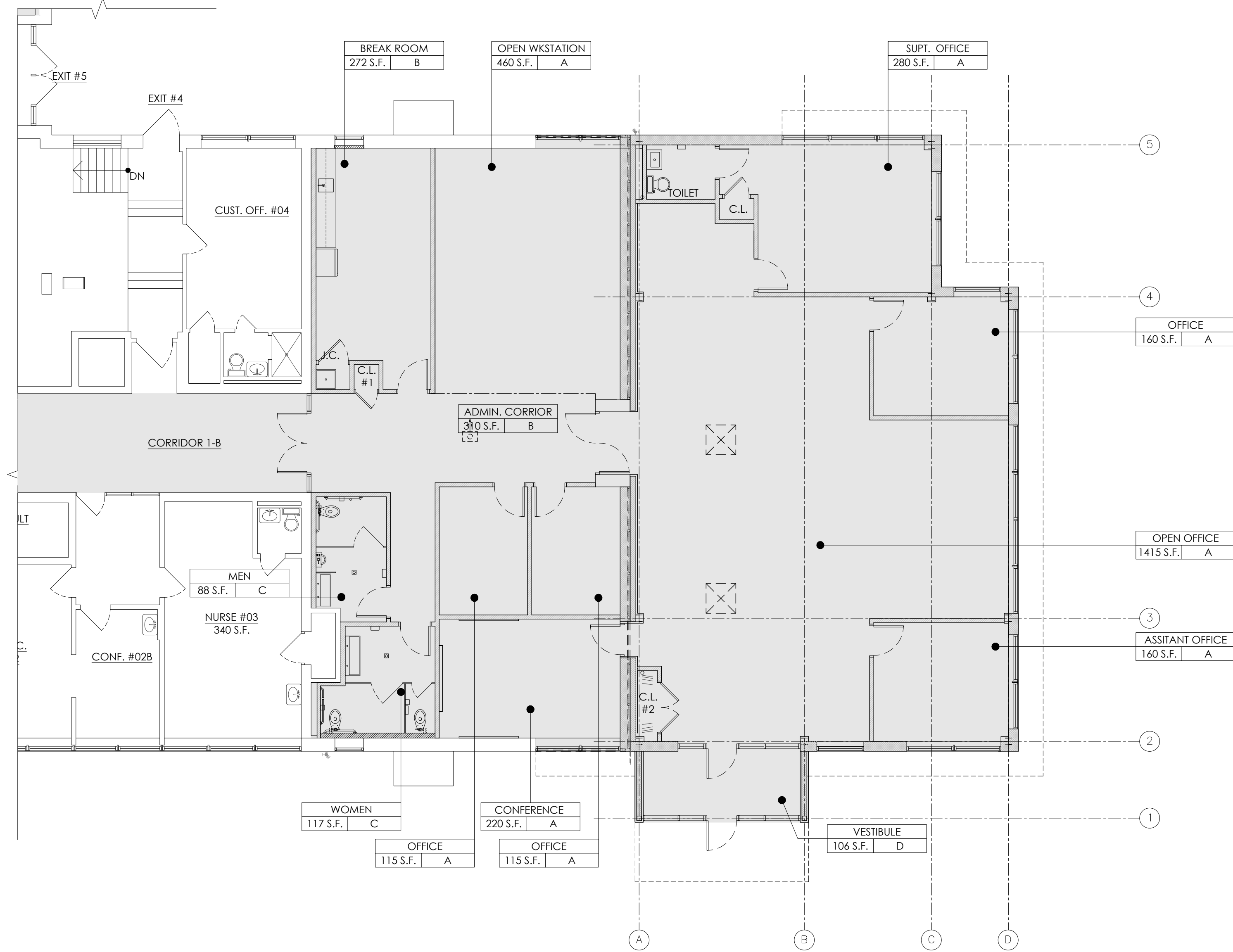
DRAWING NO.
A-103

DATE
02/12/2021

PROJECT NO.
VS001-02



1 PARTIAL FURNITURE PLAN
AT NEW ADMIN ADDITION FOR REFERENCE
SCALE: 1/8" = 1'-0"



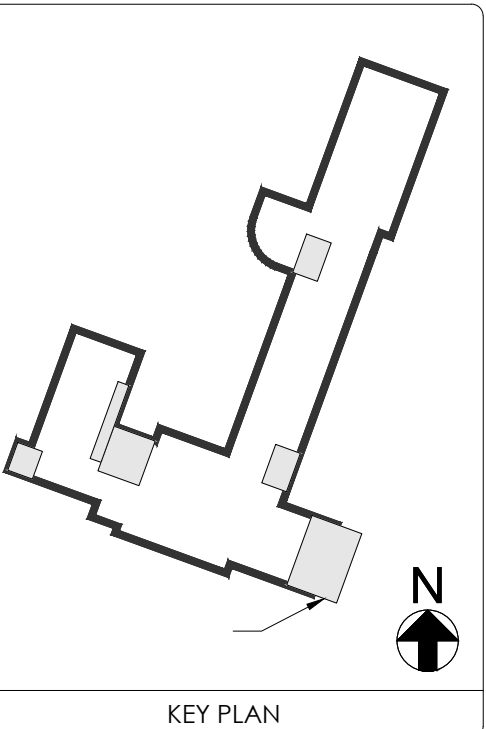
2 PARTIAL FINISH PLAN
AT NEW ADMIN ADDITION
SCALE: 1/8" = 1'-0"

PROPOSED FINISH SCHEDULE:

<p>*A* CEILING: PROVIDE & INSTALL 2'X2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG TILE: OPTIMA #3150 GRID: PRELUDE XL 15/16" OR APPROVED EQUAL. REFER TO RCP. PREP & PAINT NEW GWB SOFFIT</p> <p>WALL: SCRAPE, PATCH/ REPAIR AND PAINT EXISTING BLOCK WALL PREP. & PAINT NEW GWB WALL</p> <p>BASE: 4" VINYL WALL BASE</p> <p>FLOOR: 24"X24" CARPET TILE INSTALLED IN QUARTER TURN MANUFACTURE: PATCRAFT STYLE: REALIZE SERIES</p>	<p>*C* CEILING: PROVIDE & INSTALL 2'X2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG TILE: OPTIMA #3150 GRID: PRELUDE XL 15/16" OR APPROVED EQUAL. REFER TO RCP.</p> <p>WALL: CERAMIC WALL TILES UP TO 5'-0" H. SEE ENLARGED PLAN PREP. & PAINT NEW GWB. BD. WALL 6" CERAMIC COVE BASE</p> <p>FLOOR: PORCELAIN TILE, SEE ENLARGED PLAN</p>
<p>*B* CEILING: PROVIDE & INSTALL 2'X2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG TILE: OPTIMA #3150 GRID: PRELUDE XL 15/16" OR APPROVED EQUAL. REFER TO RCP. PAINT NEW GYP. BD. SOFFIT</p> <p>WALL: SCRAPE, PATCH/REPAIR AND PAINT EXISTING BLOCK WALL PREP. & PAINT NEW GWB WALL</p> <p>BASE: 4" VINYL WALL BASE</p> <p>FLOOR: GLUE-DOWN LVT 12X12 MANUFACTURER: PATCRAFT</p>	<p>*D* CEILING: PROVIDE & INSTALL 2'X2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG TILE: OPTIMA #3150 GRID: PRELUDE XL 15/16" OR APPROVED EQUAL. REFER TO RCP.</p> <p>WALL: NEW GWB WALL TO BE PREP AND PAINTED. 4" VINYL WALL BASE</p> <p>BASE: HEAVY-DUTY, RECESSED ENTRANCE CARPET MANUFACTURER: CS GROUP 'DESIGNSTEP' OR APPROVED EQUAL.</p> <p>REFER TO ENLARGED PLAN A-400 FOR ADDITIONAL FINISHES INFO.</p>



SEAL
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NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
585 NORTH CORONA AVENUE,
VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
DEMOLITION & CONSTRUCTION PARTIAL FURNITURE & FINISH PLANS - ADMIN ADDITION

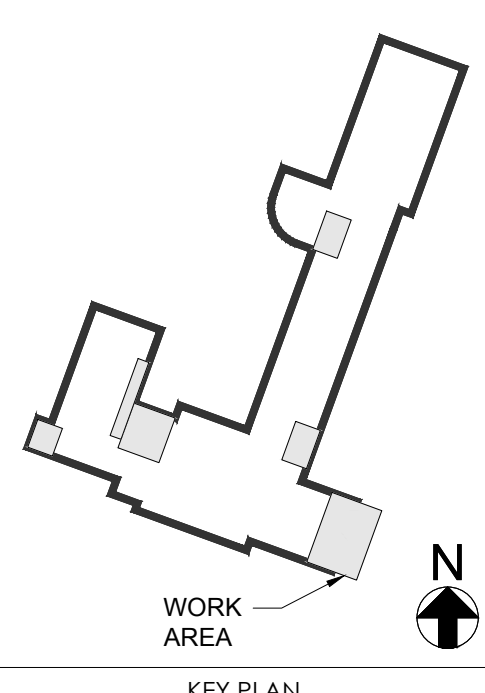
DRAWING NO.
A-104

DATE
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PROJECT NO.
VS001-02



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NO.	DESCRIPTION	DATE
REVISION		

BOARD ROOM RENOVATION & ADMIN ADDITION

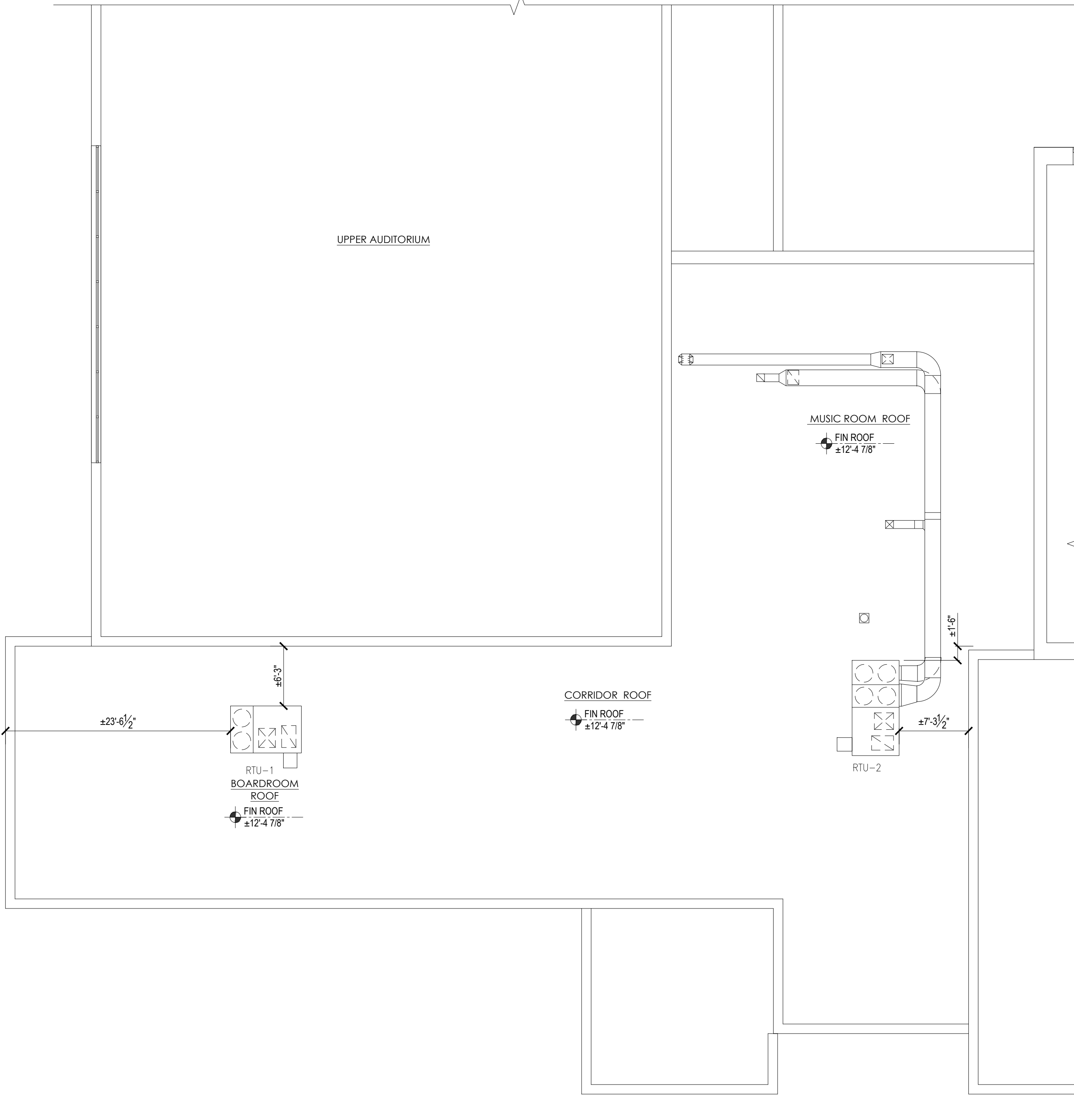
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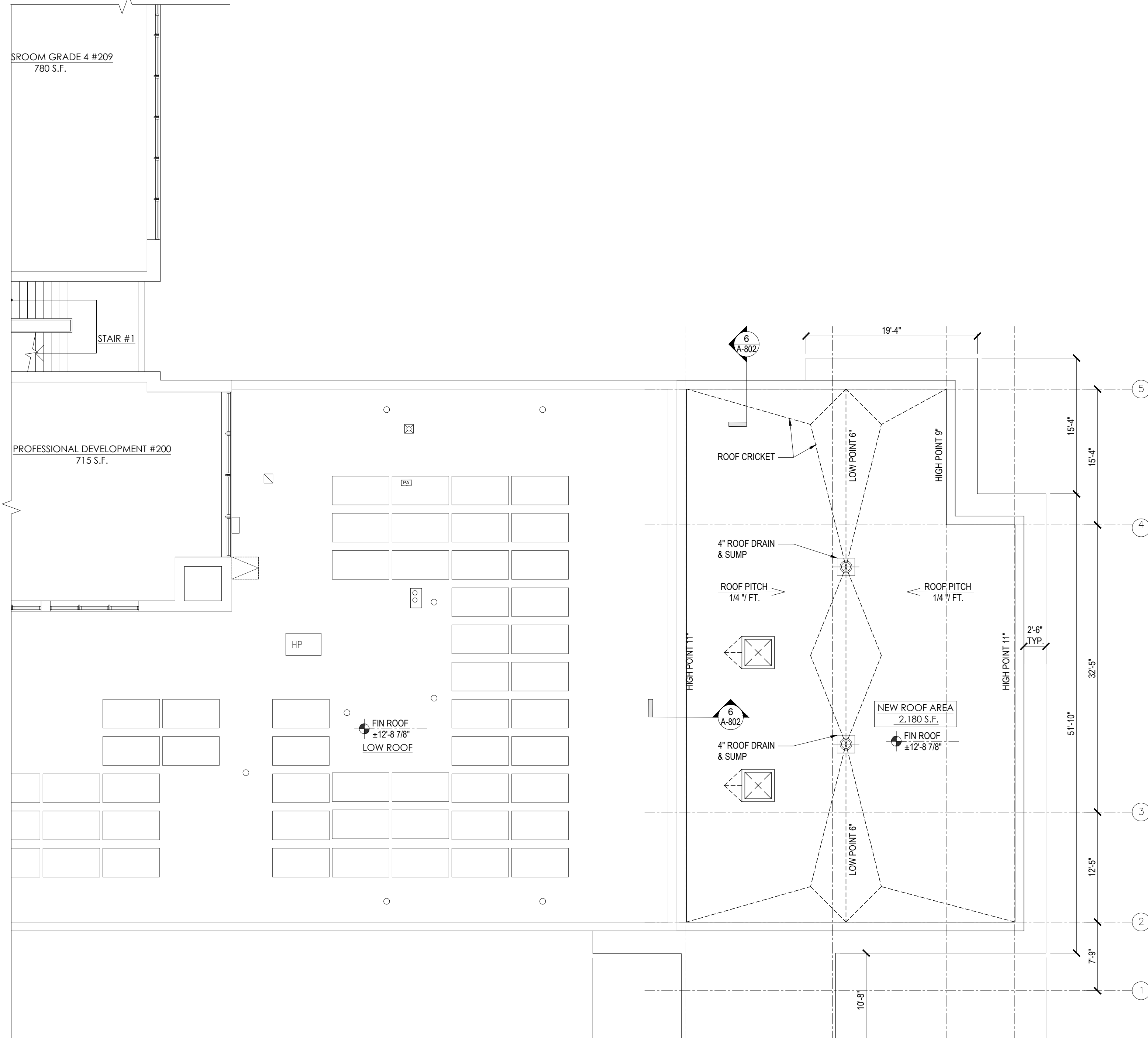
DEMOLITION & CONSTRUCTION PARTIAL LOW ROOF PLANS

DRAWING NO.
A-105

DATE: 02/12/2021
 PROJECT NO.: VS001-02



1 LOW ROOF PLAN AT NEW BOARD ROOM & MUSIC ROOM
 SCALE: 1/8" = 1'-0"



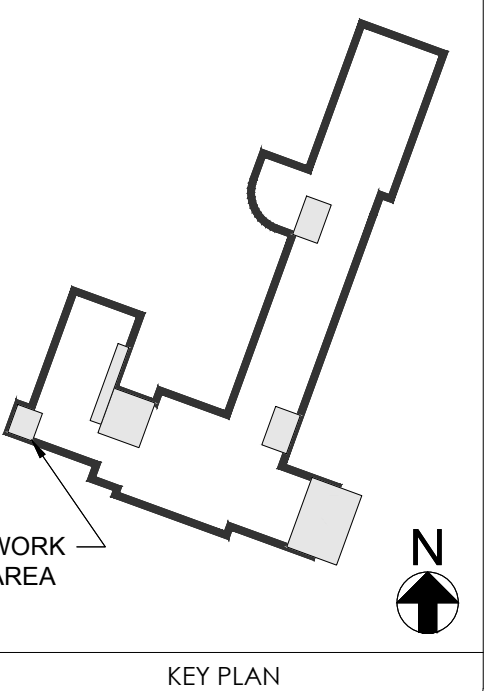
2 CONSTRUCTION PARTIAL LOW ROOF PLAN AT NEW ADMIN ADDITION
 SCALE: 1/8" = 1'-0"

ROOF LEGEND - REFER TO SHEET A-802 FOR ROOF DETAILS & NOTES			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING ROOF DRAIN		NEW HEAT PUMP NEW REFER TO (M) DRAWINGS FOR ADDITIONAL INFO.
	EXISTING PLUMBING VENT		NEW ROOF TOP UNIT. REFER TO (M) & (S) DRAWINGS FOR ADDITIONAL INFO.
	EXISTING EXHAUST FAN		NEW PITCH POCKET
	EXISTING ROOF HATCH		NEW SKYLIGHT

TYP. NOTE:
 MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING WORK IN AREA AFFECTED BY MECHANICAL CONSTRUCTION (PROTECTION, PATCHING, FLASHING, ETC). ALL ROOF WORK SHALL BE DONE BY A CONTRACTOR CERTIFIED BY THE EXISTING ROOF MANUFACTURER SO AS NOT TO VOID ANY WARRANTIES.



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KEY PLAN

BOARD ROOM RENOVATION & ADMIN ADDITION

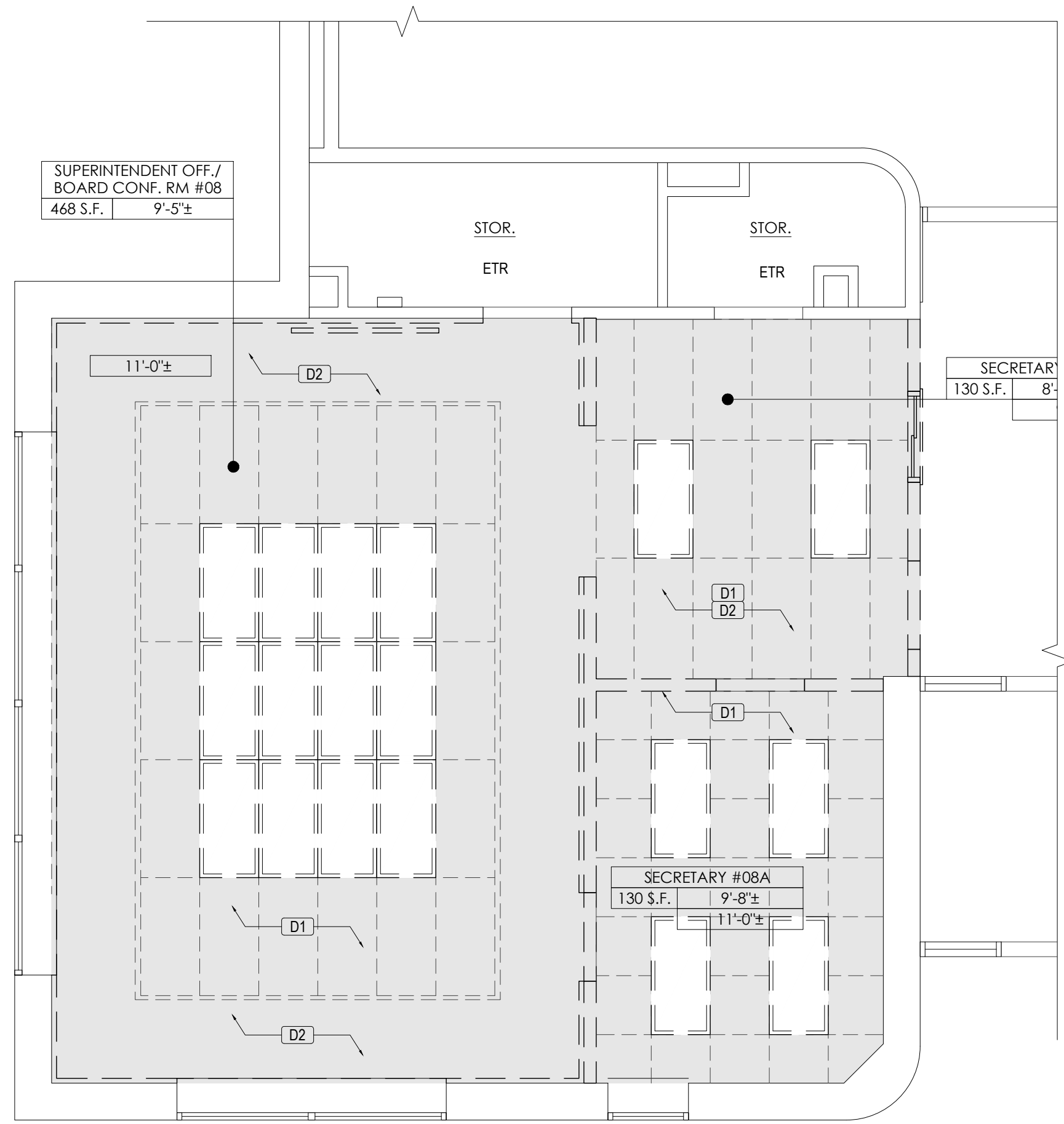
SCHOOL NAME: **JAMES A. DEVER ELEMENTARY SCHOOL**
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HYSD CONTROL NO.: 28-02-13-02-0-001-040

DEMOLITION & PROPOSED CEILING PARTIAL FIRST FLOOR PLAN - BOARDROOM

A-200

DATE: 02/12/2021
PROJECT NO.: VS001-02



1 DEMOLITION CEILING PARTIAL FIRST FLOOR AT EXISTING SUPERINTENDENT / SECRETARY
SCALE: 1/4" = 1'-0"

TYPICAL DEMOLITION REFLECTED CEILING PLAN NOTES:

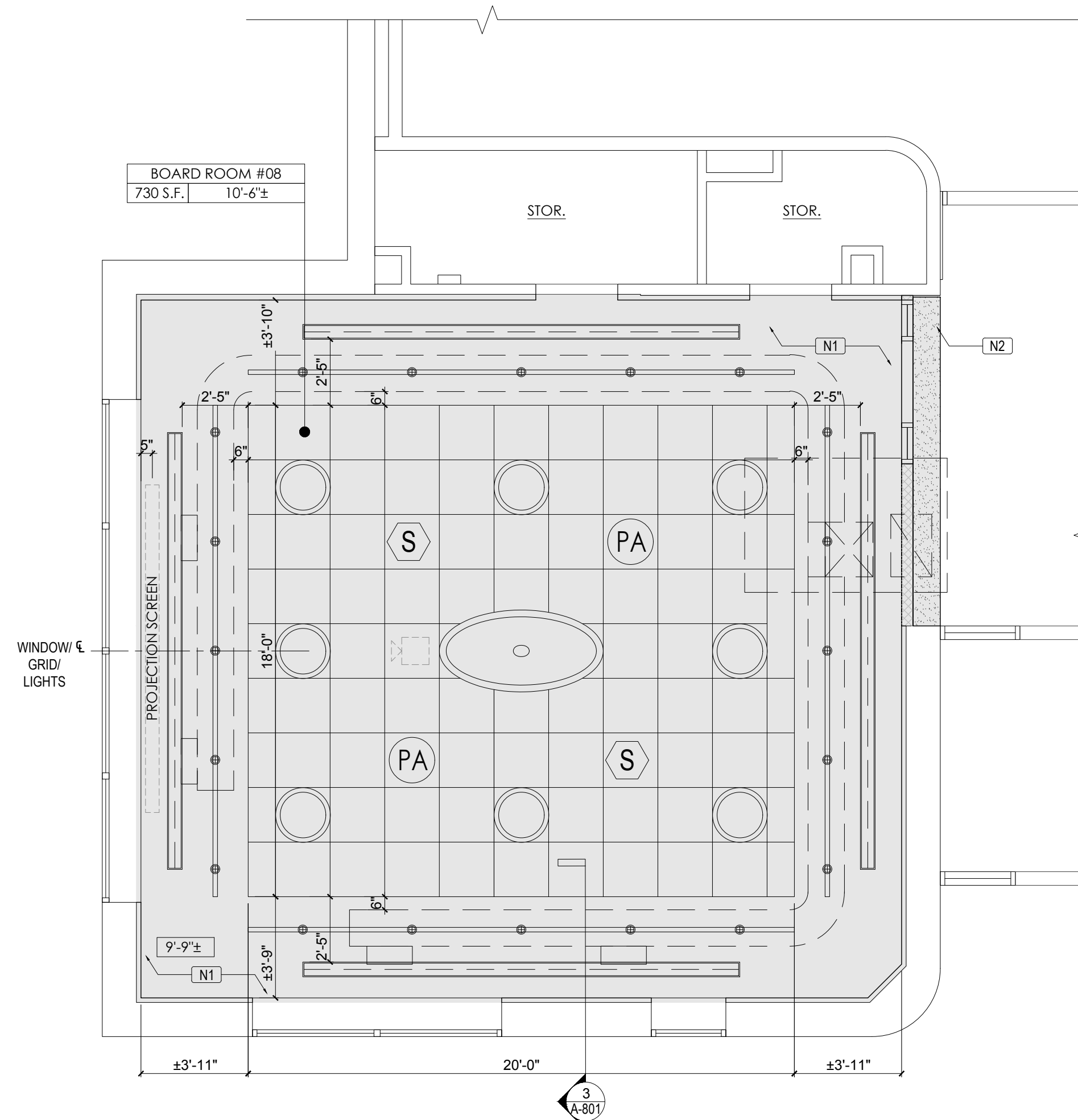
- CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD.
- REMOVE ALL SUSPENDED CEILINGS, INCLUDING ADHESIVES, SUSPENSION SYSTEMS, TRIM AND OTHER CEILING CONSTRUCTION FEATURES. REMOVE REGISTERS & DIFFUSERS, CLEAN & PAINT MECHANICAL FEATURES TO BE REINSTALLED.
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE ALARM SYSTEM, INTERCOM SYSTEM & SECURITY SYSTEM IN OPERATION DURING CONSTRUCTION.
- SCRAPE, PAINT & PATCH EXISTING PLASTER / GYP. BOARD CEILINGS.
- ALL EXISTING LIGHT FIXTURES TO BE REMOVED AND DISPOSED OF LEGALLY.
- ALL OTHER EXISTING CEILING DEVICES (SMOKE DETECTORS, SECURITY CAMERAS, ETC.) TO BE REINSTALLED IN EXISTING LOCATIONS. IF CONFLICT WITH PROPOSED LIGHT ARISES, GC TO NOTIFY ARCHITECT IMMEDIATELY.
- FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- WALL MOUNTED P.A. SPEAKERS ARE TO REMAIN, N.I.C. PROTECT AS REQUIRED DURING DEMOLITION.

DEMOLITION REFLECTED CEILING LEGEND:

- EXISTING CEILING SYSTEM TO BE REMOVED.
- EXISTING SURFACE MOUNTED FLORESCENT LIGHT FIXTURE TO BE REMOVED.
- EXISTING EXIT SIGN TO REMAIN
- ETR EXISTING CEILING & LIGHT FIXTURES TO REMAIN

DEMOLITION KEY NOTES AS KEYED BY [D#] ON PLAN:

- [D1] REMOVE ENTIRE EXISTING GRID CEILING SYSTEM WITH LIGHT FIXTURES AND CEILING DIFFUSERS. REFER TO (M) DRAWINGS FOR ADDITIONAL INFO.
- [D2] REMOVE EXISTING PLASTER CEILING AND SURFACE MOUNTED LIGHTING FIXTURES IF ANY.
- [D3] REMOVE EXISTING 12"x12" CONCEALED SPINE CEILING SYSTEM PARTIALLY REMOVE EXISTING GRID CEILING TO THE SECOND FULL GRID & LIGHT FIXTURE AS SHOWN. PROVIDE SUPPORT AND ATTACH EXISTING GRID CEILING TO THE NEW GYP. BD. HEADER.
- [D4] REMOVE & DISCONNECT EXISTING CEILING FAN. REMOVE EXISTING WIRES BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT.



2 PROPOSED CEILING PARTIAL FIRST FLOOR AT NEW BOARDROOM
SCALE: 1/4" = 1'-0"

CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON PLAN:

- [N1] NEW GYP. BD. CEILING SOFFIT TO ALIGN WITH EXISTING WINDOW HEAD. PATCH & REPAIR PLASTER CEILING AS REQUIRED TO ACCOMMODATE NEW DUCTWORK SEE (M) DRAWINGS FOR ADDITIONAL INFO.
- [N2] MODIFY EXISTING GRID CEILING AS NEEDED TO ACCOMMODATE NEW DUCTWORK, SEE (M) DRAWINGS FOR ADDITIONAL INFO.
- [N3] NEW DROPPED SOFFIT TO ACCOMMODATE NEW DUCTWORK. SEE (M) DRAWINGS FOR ADDITIONAL INFO.

PROPOSED REFLECTED CEILING LEGEND:

- PROVIDE & INSTALL 2'x4' DROPPED ACOUSTIC CEILING
MANUFACTURE: ARMSTRONG
TILES: OPTIMA #3150
GRID: PRELUDE XL 15/16" OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXIT SIGN WITH EMERGENCY BATTERY BACKUP
MANUFACTURE: BREZZA
MODEL: BRZ-LR-U-B OR APPROVED EQUAL.
- PROVIDE AND INSTALL 2'x4' LED 4000K RECESSED LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP
MANUFACTURE: BEGHELLI
MODEL: PLX64-VHO-WT40 OR APPROVED EQUAL.
- PROVIDE AND INSTALL 2'x4' LED 4000K RECESSED LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP
MANUFACTURE: BEGHELLI
MODEL: PLX64-VHO-WT40-120-27V OR APPROVED EQUAL.
- PROVIDE AND INSTALL PENDANT LED STRIP WITH EMERGENCY BATTERY BACKUP
MANUFACTURE: TMS LIGHTING
MODEL NO.: FLIRE 570FL-ID7296-35K-F05 OR APPROVED EQUAL. BOTTOM OF FIXTURE AT 8'-0". LENGTH PER PLAN
- PROVIDE AND INSTALL SURFACE MOUNTED LED STRIP WITH EMERGENCY BATTERY BACKUP
MANUFACTURE: TMS LIGHTING
MODEL NO.: FLIRE 570FL-ID4872-35K-F05-EM OR APPROVED EQUAL. BOTTOM OF FIXTURE AT AT 8'-0". LENGTH PER PLAN
- PROVIDE AND INSTALL PENDANT LIGHT AT BOARDROOM
MANUFACTURE: ALWUSA MR ELLIPSES
MODEL NO.: MR3-E6-SS-MED-3500K OR APPROVED EQUAL. BOTTOM OF FIXTURE AT AT 8'-9"
- PROVIDE AND INSTALL RECESSED LIGHT
MANUFACTURE: VISA LIGHTING
MODEL NO.: CM1982-W-L35K-DAL1 OR APPROVED EQUAL.
- PROVIDE AND INSTALL SURFACE MOUNTED TRACK LIGHTING
MANUFACTURE: WAC LIGHTING
MODEL NO.: S23S-1-939WT & S23S-1-F935K OR APPROVED EQUAL.
- PROVIDE AND INSTALL LED TAPE LIGHT
MANUFACTURE: WAC LIGHTING
MODEL NO.: T24-CS4-01-40WT OR APPROVED EQUAL. WITH LED-T-CH & LED-T-CH-EC, LENGTH PER PLAN
- PROVIDE AND INSTALL PENDANT LIGHT
MANUFACTURE: TMS LIGHTING
MODEL NO.: 9910R1 36 35K F05 OR APPROVED EQUAL.
- PROVIDE AND INSTALL RECESSED DOWNLIGHT
MANUFACTURE: WAC LIGHTING
MODEL NO.: R3CRD1-HZWTR3CRN-11-935 OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXTERIOR RECESSED LED WALLWASHER
MANUFACTURE: IGUZZINI
MODEL NO.: ILMR-FL-L3-14.5-M2-N OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXTERIOR FLOOD LIGHT
MANUFACTURE: WAC LIGHTING
MODEL NO.: WP-LED335-30-8BZ OR APPROVED EQUAL.
- PROVIDE & INSTALL SMOKE DETECTOR BY SCHOOL FIRE ALARM VENDOR. MAX. SPACING OF 30'-0" BETWEEN DETECTORS.
- OCCUPANCY SENSOR AS MANUFACTURED BY WATT STOPPER LMDC-100
- PROVIDE AND INSTALL SURFACE MOUNTED SPEAKER BY SCHOOL VENDOR. MAX. SPACING OF 40'-0" BETWEEN SPEAKERS.
- DAYLIGHT SENSOR

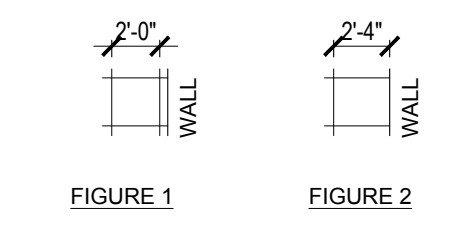
TYPICAL REFLECTED CEILING PLAN NOTES:

- ALL CEILING WORK SHALL BE INSTALLED UNDER GOOD AND CURRENT TRADE PRACTICES, INCLUDING TIGHT SEAMS AND ALIGNED JOINTS. ALL CEILINGS SHALL BE INSTALLED STRAIGHT, LEVEL AND TRUE. SEE TYP. CEILING DETAIL ON SHEET A-801.
- CEILING HEIGHTS SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
- PRIOR TO CLOSING ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING, ELECTRICAL, ETC.) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY ENGINEERS, CONTRACTORS, AND/OR AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL FIELD VERIFY THE CEILING ASSEMBLY AT EACH LEVEL AND REPORT FINDINGS TO THE ARCHITECT PRIOR TO ORDERING CEILING MATERIALS.
- THE CONTRACTOR SHALL ESTABLISH CEILING HEIGHTS AND COORDINATE A PROJECT MEETING AT THE SITE PRIOR TO INSTALLING ANY PORTION OF THE CEILING SYSTEM.
- ALL LIGHT FIXTURES SHALL BE REMOVED AND DISPOSED OF LEGALLY (INCLUDING, BUT NOT LIMITED TO, BULBS) OFF SITE. NEW LED FIXTURES SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION DOCUMENTS. CONNECT TO EXISTING CIRCUITRY.
- THE CONTRACTOR SHALL PROVIDE ALL CUTOUTS AND GROUNDS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS, ACCESS PANELS, ETC. INDICATED OR INFERRABLE FROM THE CONSTRUCTION DOCUMENTS.
- PROVIDE INDEPENDENT SUPPORT FROM STRUCTURE ABOVE CEILING FOR ALL LIGHT FIXTURES.
- EXISTING CAMERA AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT SECURITY VENDOR.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING & STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.

CEILING TILE NOTES:

- IN CASES WHERE A NEW CEILING TILE ADJACENT TO A WALL WILL BE 4" OR LESS (FIGURE 1), THE GRID IS TO BE MODIFIED AND A 24" x 48" CEILING TILE IS TO BE CUT TO EXTEND TO THE WALL (FIGURE 2).
- REMOVE OLD CEILINGS IN ALL SPACES WHERE NEW CEILINGS ARE SHOWN U.O.N. PATCH ALL DISTURBED SURFACES.
- CONNECT LIGHT FIXTURES TO EXISTING LIGHTING CIRCUIT, TYP. FOR ALL AREAS OF WORK.
- CENTER GRID WITHIN EACH SPACE, TYP U.O.N.
- REFER TO TYP. CEILING DETAIL 2/A-011

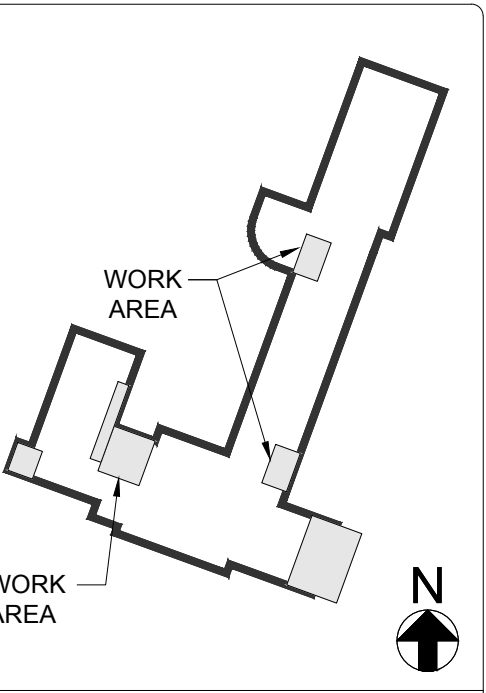
TYPICAL CEILING EDGE DETAIL:



- [BL] BLUE LIGHT
- [WAP] WIRELESS ACCESS POINT
- [SEC] NEW SECURITY CAMERA
- [CO] NEW CEILING MOUNTED CARBON MONOXIDE DETECTOR - LISTED FOR USE WITH EXISTING FIRE ALARM CONTROL PANEL. WIRED TO FACP AND PROGRAMMED.
- [H] NEW HORN/STROBE - LISTED FOR USE WITH EXISTING FIRE ALARM CONTROL PANEL. WIRED TO FACP AND PROGRAMMED.
- [P] FIRE ALARM PULL STATION
- [S] KEY SWITCH



IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COGNATE LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS. (See Appropriate Sections of NYS Education Law)



NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
DEMOLITION & PROPOSED CEILING PARTIAL FIRST FLOOR PLAN - CLASSROOMS & MUSIC ROOM

DRAWING NO.
A-201

DATE
02/12/2021

PROJECT NO.
VS001-02

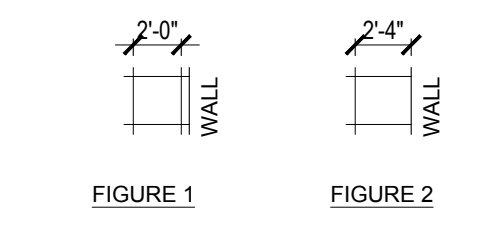
TYPICAL REFLECTED CEILING PLAN NOTES:

- ALL CEILING WORK SHALL BE INSTALLED UNDER GOOD AND CURRENT TRADE PRACTICES, INCLUDING TIGHT SEAMS AND ALIGNED JOINTS. ALL CEILINGS SHALL BE INSTALLED STRAIGHT, LEVEL AND TRUE. SEE TYP. CEILING DETAIL ON SHEET A-801. CEILING HEIGHTS SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
- PRIOR TO CLOSING ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING, ELECTRICAL, ETC.) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY ENGINEERS, CONTRACTORS, AND/OR AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL FIELD VERIFY THE CEILING ASSEMBLY AT EACH LEVEL AND REPORT FINDINGS TO THE ARCHITECT PRIOR TO ORDERING CEILING MATERIALS.
- THE CONTRACTOR SHALL ESTABLISH CEILING HEIGHTS AND COORDINATE A PROJECT MEETING AT THE SITE PRIOR TO INSTALLING ANY PORTION OF THE CEILING SYSTEM.
- ALL LIGHT FIXTURES SHALL BE REMOVED AND DISPOSED OF LEGALLY (INCLUDING, BUT NOT LIMITED TO, BULBS) OFF SITE. NEW LED FIXTURES SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION DOCUMENTS. CONNECT TO EXISTING CIRCUITRY.
- THE CONTRACTOR SHALL PROVIDE ALL CUTOUPS AND GROUNDS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS, ACCESS PANELS, ETC. INDICATED OR INFERRABLE FROM THE CONSTRUCTION DOCUMENTS.
- PROVIDE INDEPENDENT SUPPORT FROM STRUCTURE ABOVE CEILING FOR ALL LIGHT FIXTURES.
- EXISTING CAMERA AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT SECURITY VENDOR.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING & STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.

CEILING TILE NOTES:

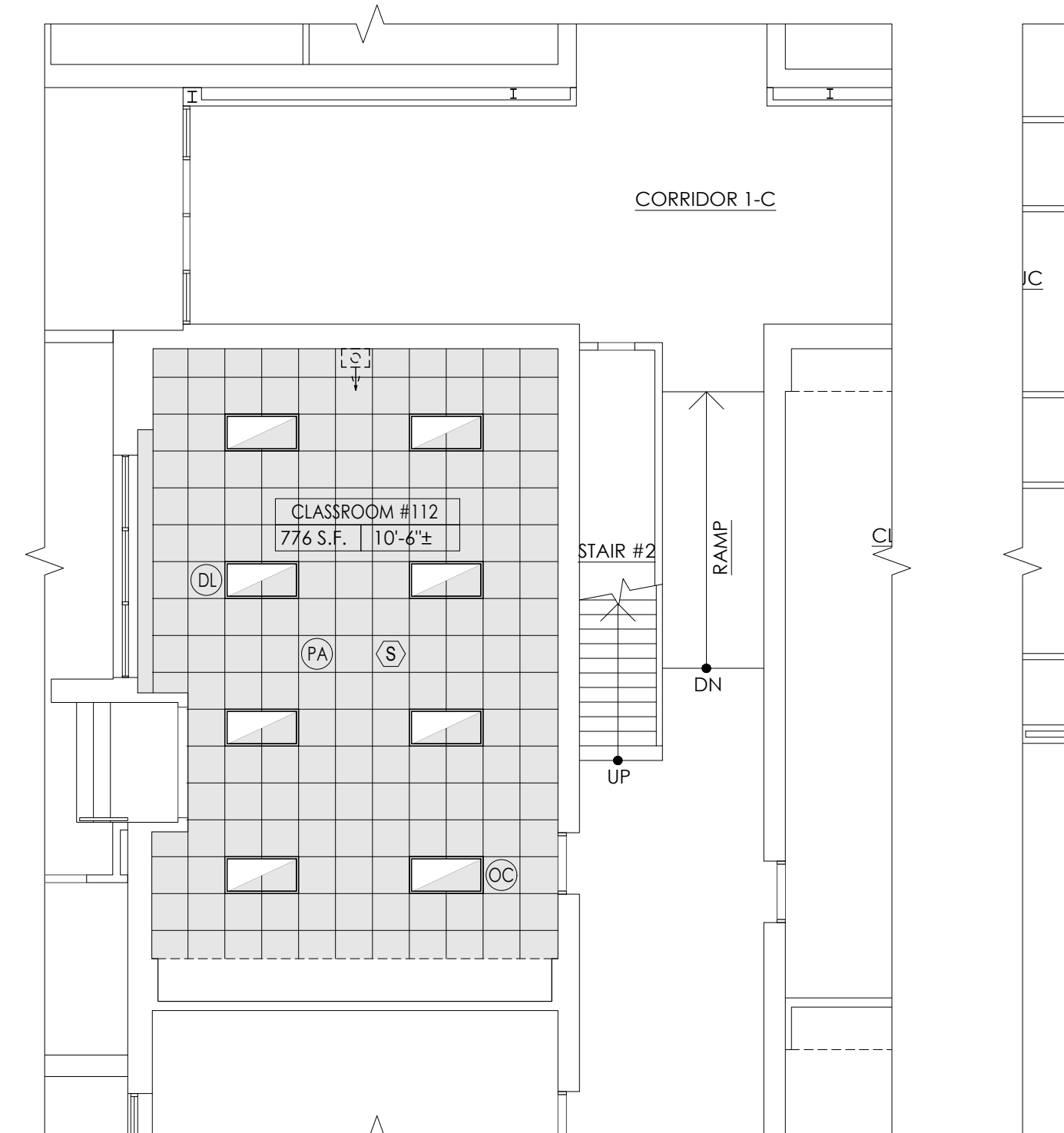
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- REMOVE OLD CEILINGS IN ALL SPACES WHERE NEW CEILINGS ARE SHOWN U.O.N. PATCH ALL DISTURBED SURFACES.
- CONNECT LIGHT FIXTURES TO EXISTING LIGHTING CIRCUIT, TYP. FOR ALL AREAS OF WORK.
- CENTER GRID WITHIN EACH SPACE, TYP. U.O.N.
- REFER TO TYP. CEILING DETAIL 2/A-011

TYPICAL CEILING EDGE DETAIL:

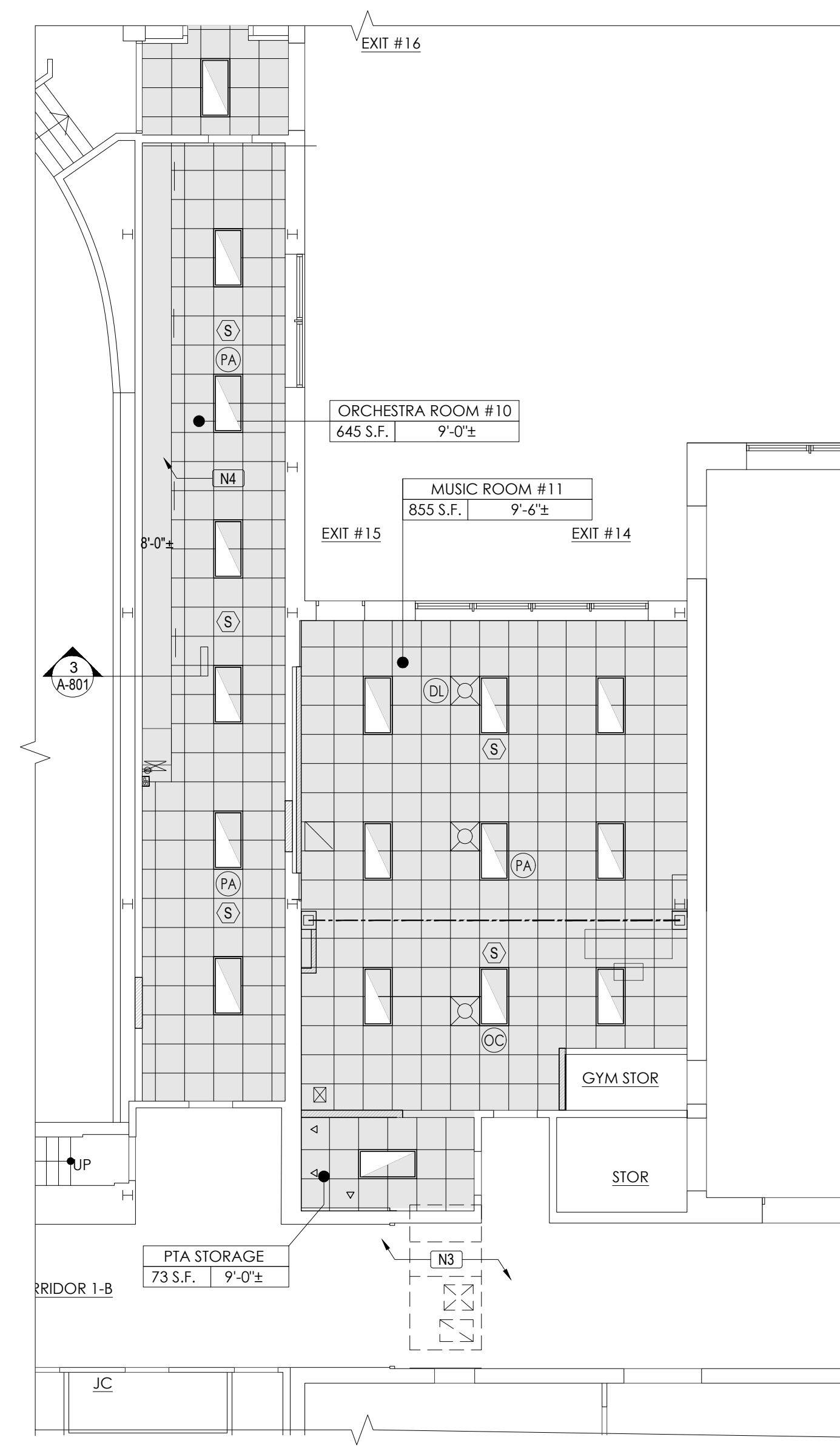


PROPOSED REFLECTED CEILING LEGEND:

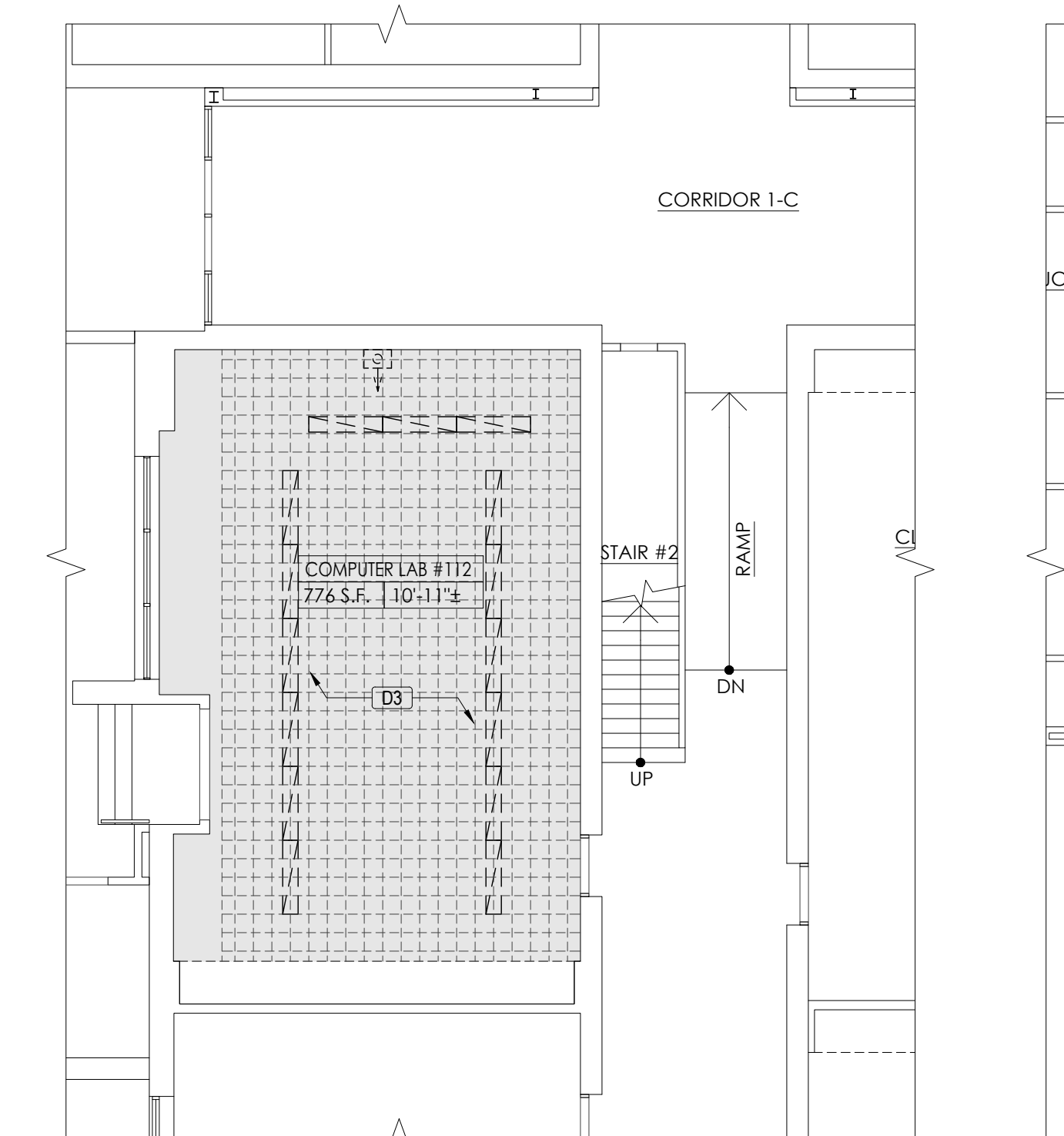
- PROVIDE & INSTALL 2X2' DROPPED ACOUSTIC CEILING TILES: OPTIMA #3150 GRID: PRELUDE XL 15/16" OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXIT SIGN WITH EMERGENCY BATTERY BACKUP MANUFACTURE: BREZZA MODEL: BRZ-LR-U-B OR APPROVED EQUAL.
- PROVIDE AND INSTALL 2X4' LED 4000K RECESSED LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP MANUFACTURE: BEGHELLI MODEL: PLXE4-VHO-WT40 OR APPROVED EQUAL.
- PROVIDE AND INSTALL 2X4' LED 4000K RECESSED LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP MANUFACTURE: BEGHELLI MODEL: PLXE4-VHO-WT40-120-27V OR APPROVED EQUAL.
- PROVIDE AND INSTALL PENDANT LED STRIP WITH EMERGENCY BATTERY BACKUP MANUFACTURE: TMS LIGHTING MODEL NO.: FLIRE 570FL-ID7296-35K-F05 OR APPROVED EQUAL. BOTTOM OF FIXTURE AT 8'-0", LENGTH PER PLAN
- PROVIDE AND INSTALL SURFACE MOUNTED LED STRIP WITH EMERGENCY BATTERY BACKUP MANUFACTURE: TMS LIGHTING MODEL NO.: FLIRE 570FL-ID4872-35K-F05-EM OR APPROVED EQUAL. BOTTOM OF FIXTURE AT 8'-0", LENGTH PER PLAN
- PROVIDE AND INSTALL PENDANT LIGHT AT BOARDROOM MANUFACTURE: ALWUSA MR ELLIPSES MODEL NO.: MR3-E6-SS-MED-3500K OR APPROVED EQUAL. BOTTOM OF FIXTURE AT 4'-9"
- PROVIDE AND INSTALL RECESSED LIGHT MANUFACTURE: VISA LIGHTING MODEL NO.: CM1982-WL-135K-DALI OR APPROVED EQUAL.
- PROVIDE AND INSTALL SURFACE MOUNTED TRACK LIGHTING MANUFACTURE: WAC LIGHTING MODEL NO.: S2SS-1-935WT & S2SS-1-F35K OR APPROVED EQUAL.
- PROVIDE AND INSTALL LED TAPE LIGHT MANUFACTURE: WAC LIGHTING MODEL NO.: T24-CS4-01-40WT OR APPROVED EQUAL. WITH LED-T-CH & LED-T-CH-EC. LENGTH PER PLAN
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- PROVIDE AND INSTALL RECESSED DOWNLIGHT MANUFACTURE: WAC LIGHTING MODEL NO.: R3CRDT-HZWTR3CRN-11-935 OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXTERIOR RECESSED LED WALLWASHER MANUFACTURE: IGUZZINI MODEL NO.: ILMR-FL-13-14.5-M2-N OR APPROVED EQUAL.
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- OCCUPANCY SENSOR AS MANUFACTURED BY WATT STOPPER LMDC-100
- PROVIDE AND INSTALL SURFACE MOUNTED SPEAKER BY SCHOOL VENDOR. MAX. SPACING OF 40'-0" BETWEEN SPEAKERS.
- DAYLIGHT SENSOR



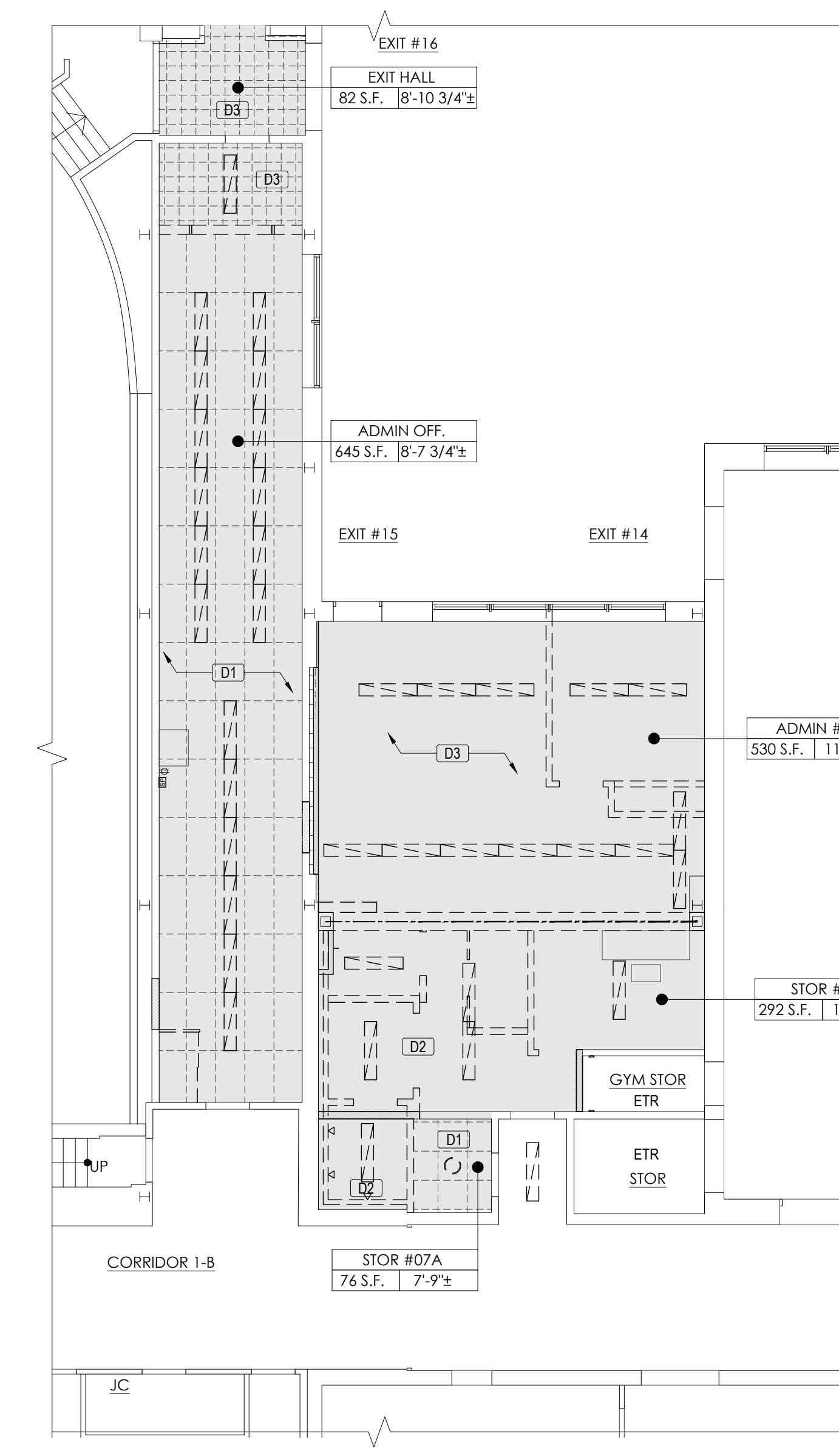
1 DEMOLITION CEILING AT EXISTING COMPUTER LAB & MUSIC ROOM
SCALE: 1/8" = 1'-0"



3 PROPOSED CEILING AT NEW CLASSROOMS #112 & 103
SCALE: 1/8" = 1'-0"



2 DEMOLITION CEILING AT EXISTING ADMIN / STORAGES
SCALE: 1/8" = 1'-0"



4 PROPOSED CEILING AT NEW MUSIC ROOM
SCALE: 1/8" = 1'-0"

TYPICAL DEMOLITION REFLECTED CEILING PLAN NOTES:

- CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD.
- REMOVE ALL SUSPENDED CEILINGS, INCLUDING ADHESIVES, SUSPENSION SYSTEMS, TRIM AND OTHER CEILING CONSTRUCTION FEATURES. REMOVE REGISTERS & DIFFUSERS, CLEAN & PAINT MECHANICAL FEATURES TO BE REINSTALLED.
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE ALARM SYSTEM, INTERCOM SYSTEM & SECURITY SYSTEM IN OPERATION DURING CONSTRUCTION.
- SCRAPE, PAINT & PATCH EXISTING PLASTER / GYP. BOARD CEILINGS.
- ALL EXISTING LIGHT FIXTURES TO BE REMOVED AND DISPOSED OF LEGALLY.
- ALL OTHER EXISTING CEILING DEVICES (SMOKE DETECTORS, SECURITY CAMERAS, ETC.) TO BE REINSTALLED IN EXISTING LOCATIONS. IF CONFLICT WITH PROPOSED LIGHT ARISING, GC TO NOTIFY ARCHITECT IMMEDIATELY.
- FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- WALL MOUNTED P.A. SPEAKERS ARE TO REMAIN, N.I.C. PROTECT AS REQUIRED DURING DEMOLITION.

DEMOLITION REFLECTED CEILING LEGEND:

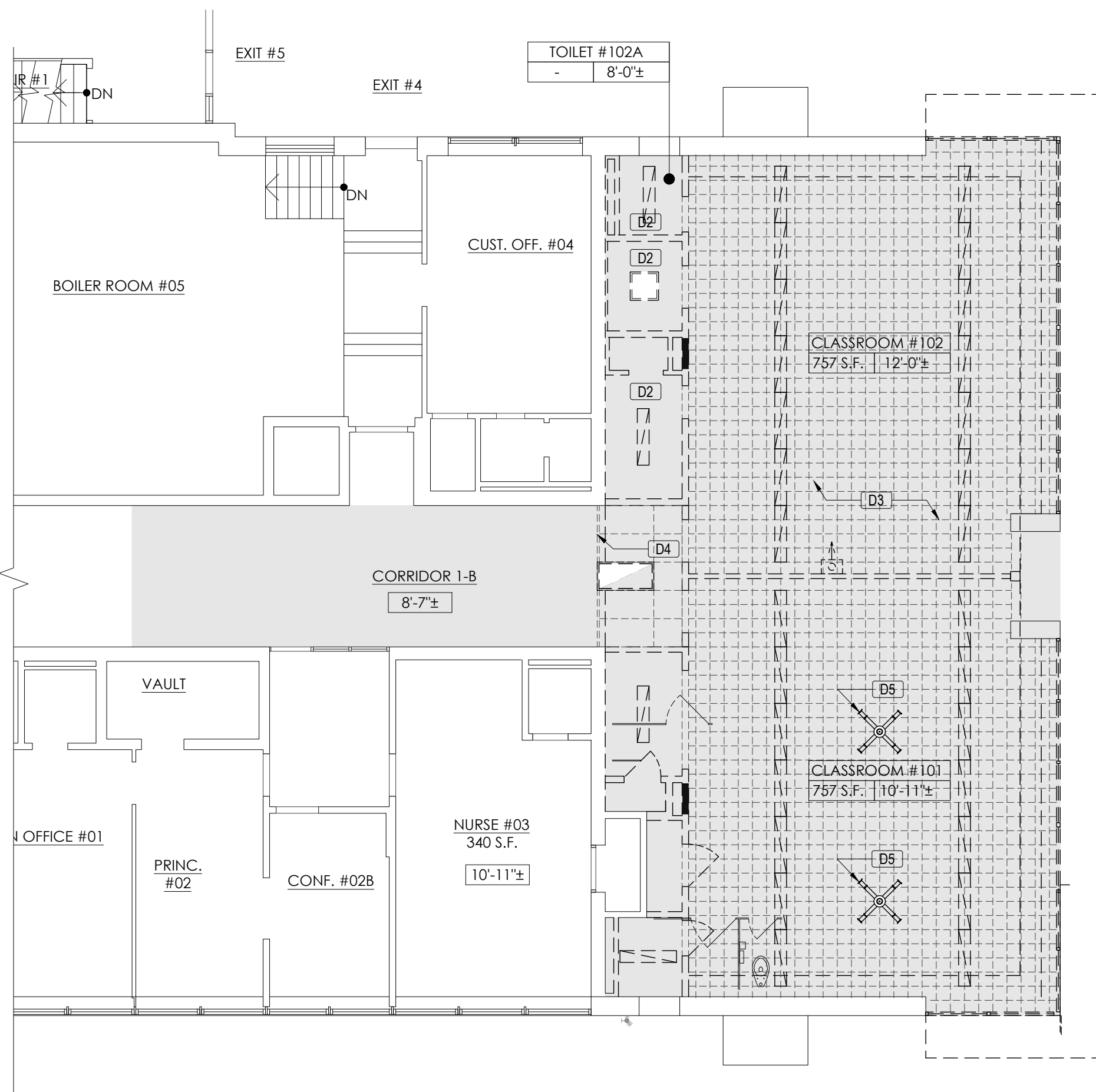
- EXISTING CEILING SYSTEM TO BE REMOVED.
- EXISTING SURFACE MOUNTED FLORESCENT LIGHT FIXTURE TO BE REMOVED.
- EXISTING EXIT SIGN TO REMAIN
- ETR EXISTING CEILING & LIGHT FIXTURES TO REMAIN

DEMOLITION KEY NOTES AS KEYED BY [D#] ON PLAN:

- [D1]** REMOVE ENTIRE EXISTING GRID CEILING SYSTEM WITH LIGHT FIXTURES, AND CEILING DIFFUSERS, REFER TO (M) DRAWINGS FOR ADDITIONAL INFO.
- [D2]** REMOVE EXISTING PLASTER CEILING AND SURFACE MOUNTED LIGHTING FIXTURES IF ANY.
- [D3]** REMOVE EXISTING 12"X12" CONCEALED SPINE CEILING SYSTEM
- [D4]** PARTIALLY REMOVE EXISTING GRID CEILING TO THE SECOND FULL GRID & LIGHT FIXTURE AS SHOWN. PROVIDE SUPPORT AND ATTACH EXISTING GRID CEILING TO THE NEW GYP. BD. HEADER.
- [D5]** REMOVE & DISCONNECT EXISTING CEILING FAN. REMOVE EXISTING WIRES BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT.

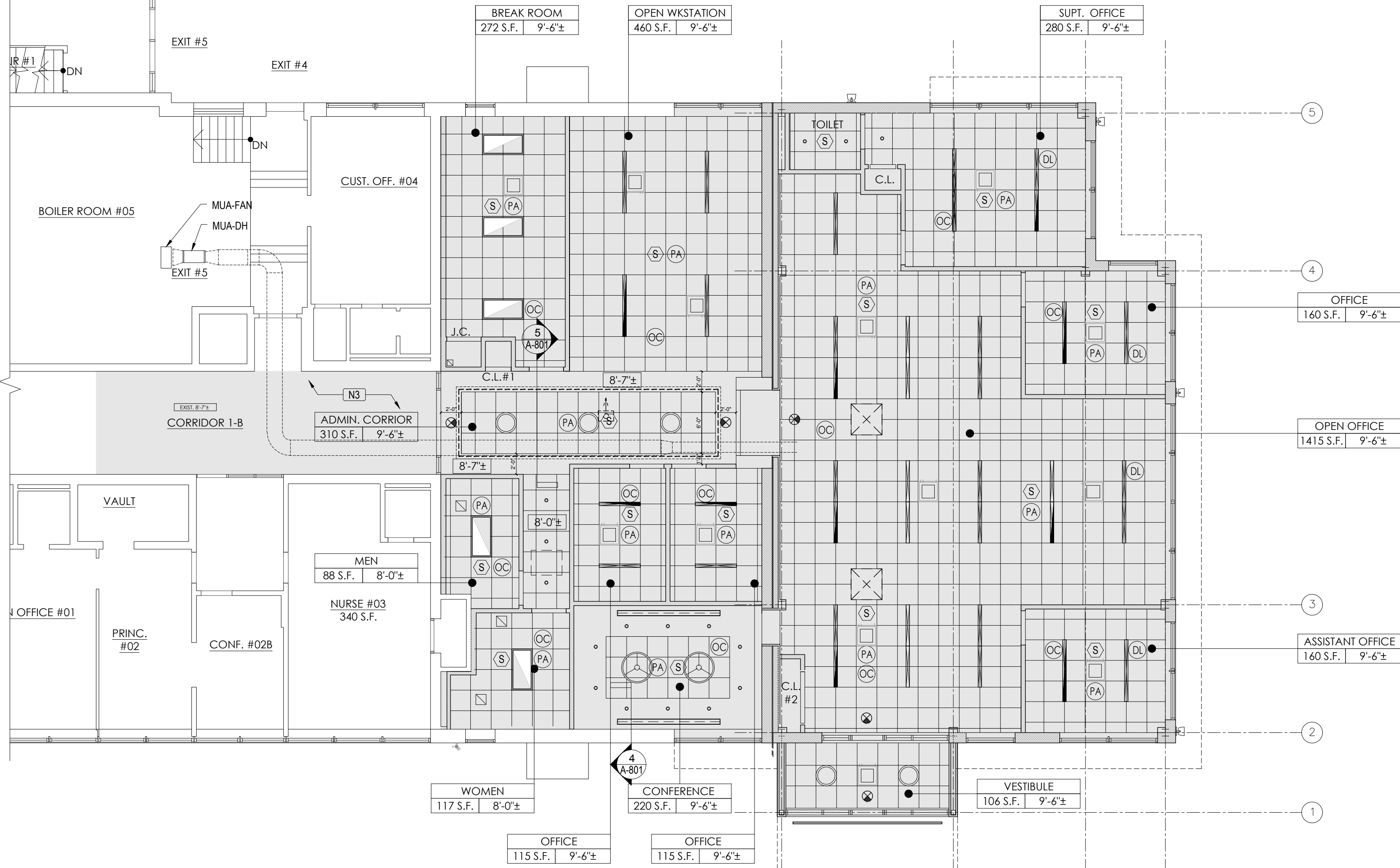
CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON PLAN:

- [N1]** NEW GYP. BD. CEILING SOFFIT TO ALIGN WITH EXISTING WINDOW HEAD.
- [N2]** PATCH & REPAIR PLASTER CEILING AS REQUIRED TO ACCOMMODATE NEW DUCTWORK. SEE (M) DRAWINGS FOR ADDITIONAL INFO.
- [N3]** MODIFY EXISTING GRID CEILING AS NEEDED TO ACCOMMODATE NEW DUCTWORK. SEE (M) DRAWINGS FOR ADDITIONAL INFO.
- [N4]** NEW DROPPED SOFFIT TO ACCOMMODATE NEW DUCTWORK. SEE (M) DRAWINGS FOR ADDITIONAL INFO.



1 DEMOLITION CEILING PLAN AT EXISTING CLASSROOMS

SCALE: 1/8" = 1'-0"



2 PROPOSED CEILING PLAN AT NEW ADMIN ADDITION

SCALE: 1/8" = 1'-0"

TYPICAL DEMOLITION REFLECTED CEILING PLAN NOTES:

- CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD.
- REMOVE ALL SUSPENDED CEILINGS, INCLUDING ADHESIVES, SUSPENSION SYSTEMS, TRIM AND OTHER CEILING CONSTRUCTION FEATURES. REMOVE REGISTERS & DIFFUSERS. CLEAN & PAINT MECHANICAL FEATURES TO BE REINSTALLED.
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE ALARM SYSTEM, INTERCOM SYSTEM & SECURITY SYSTEM IN OPERATION DURING CONSTRUCTION.
- SCRAPE, PAINT & PATCH EXISTING PLASTER / GYP. BOARD CEILINGS.
- ALL EXISTING LIGHT FIXTURES TO BE REMOVED AND DISPOSED OF LEGALLY.
- ALL OTHER EXISTING CEILING DEVICES (SMOKE DETECTORS, SECURITY CAMERAS, ETC.) TO BE REINSTALLED IN EXISTING LOCATIONS. IF CONFLICT WITH PROPOSED LIGHT ARISES, GC TO NOTIFY ARCHITECT IMMEDIATELY.
- FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- WALL MOUNTED P.A. SPEAKERS ARE TO REMAIN, N.I.C. PROTECT AS REQUIRED DURING DEMOLITION.

DEMOLITION REFLECTED CEILING LEGEND:

- EXISTING CEILING SYSTEM TO BE REMOVED.
- EXISTING SURFACE MOUNTED FLORESCENT LIGHT FIXTURE TO BE REMOVED.
- EXISTING EXIT SIGN TO REMAIN
- ETR EXISTING CEILING & LIGHT FIXTURES TO REMAIN

DEMOLITION KEY NOTES AS KEYED BY [D#] ON PLAN:

- D1** REMOVE ENTIRE EXISTING GRID CEILING SYSTEM WITH LIGHT FIXTURES, AND CEILING DIFFUSERS, REFER TO (M) DRAWINGS FOR ADDITIONAL INFO.
- D2** REMOVE EXISTING PLASTER CEILING AND SURFACE MOUNTED LIGHTING FIXTURES IF ANY.
- D3** REMOVE EXISTING 12"x12" CONCEALED SPINE CEILING SYSTEM
- D4** PARTIALLY REMOVE EXISTING GRID CEILING TO THE SECOND FULL GRID & LIGHT FIXTURE AS SHOWN. PROVIDE SUPPORT AND ATTACH EXISTING GRID CEILING TO THE NEW GYP. BD. HEADER
- D5** REMOVE & DISCONNECT EXISTING CEILING FAN. REMOVE EXISTING WIRES BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT.

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- PROVIDE & INSTALL 2'x2' DROPPED ACOUSTIC CEILING MANUFACTURE: ARMSTRONG TILES OPTIMA #3150 GRID: PRELUDE XL 1516" OR APPROVED EQUAL.
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- PROVIDE AND INSTALL 2'x4' LED 4000K RECESSED LIGHTING FIXTURE MANUFACTURE: BEGHELLI MODEL: PLXK4-VHO-WT40 OR APPROVED EQUAL.
- PROVIDE AND INSTALL 2'x4' LED 4000K RECESSED LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP MANUFACTURE: BEGHELLI MODEL: PLXK4-VHO-WT40-120-277V OR APPROVED EQUAL.
- PROVIDE AND INSTALL PENDANT LED STRIP MANUFACTURE: TMS LIGHTING MODEL NO.: FLIRE 570FL-ID7296-35K-F05 OR APPROVED EQUAL. BOTTOM OF FIXTURE AT 8'-0". LENGTH PER PLAN
- PROVIDE AND INSTALL SURFACE MOUNTED LED STRIP WITH EMERGENCY BATTERY BACKUP MANUFACTURE: TMS LIGHTING MODEL NO.: FLIRE 570FL-ID4872-35K-F05-EM OR APPROVED EQUAL. BOTTOM OF FIXTURE AT 8'-0". LENGTH PER PLAN
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- PROVIDE AND INSTALL RECESSED LIGHT MANUFACTURE: VISA LIGHTING MODEL NO.: CM1982-W-L35K-DALI OR APPROVED EQUAL.
- PROVIDE AND INSTALL SURFACE MOUNTED TRACK LIGHTING MANUFACTURE: WAG LIGHTING MODEL NO.: S2SS-1-935WT & S23S-1-F33K OR APPROVED EQUAL.
- PROVIDE AND INSTALL LED TAPE LIGHT MANUFACTURE: WAG LIGHTING MODEL NO.: T24-CS4-01-40WT OR APPROVED EQUAL WITH LED-T-CH & LED-T-CH-EC. LENGTH PER PLAN
- PROVIDE AND INSTALL PENDANT LIGHT MANUFACTURE: TMS LIGHTING MODEL NO.: 9910RI 36 35K F05 OR APPROVED EQUAL.
- PROVIDE AND INSTALL RECESSED DOWNLIGHT MANUFACTURE: WAG LIGHTING MODEL NO.: R3CRDT-HZWT/R3CRN-11-935 OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXTERIOR RECESSED LED WALL WASHER MANUFACTURE: IGIUZZINI MODEL NO.: ILMR-FL-13-14.5-M2-N OR APPROVED EQUAL.
- PROVIDE AND INSTALL EXTERIOR FLOOD LIGHT MANUFACTURE: WAG LIGHTING MODEL NO.: WP-LED335-30-8Z OR APPROVED EQUAL.
- PROVIDE & INSTALL SMOKE DETECTOR BY SCHOOL FIRE ALARM VENDOR. MAX. SPACING OF 30'-0" BETWEEN DETECTORS.
- OCCUPANCY SENSOR AS MANUFACTURED BY WATT STOPPER LMDC-100
- PROVIDE AND INSTALL SURFACE MOUNTED SPEAKER BY SCHOOL VENDOR. MAX. SPACING OF 40'-0" BETWEEN SPEAKERS.
- DAYLIGHT SENSOR

CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON PLAN:

- N1** NEW GYP. BD. CEILING SOFFIT TO ALIGN WITH EXISTING WINDOW HEAD.
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- CEILING HEIGHTS SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
- PRIOR TO CLOSING ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING, ELECTRICAL, ETC.) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY ENGINEERS, CONTRACTORS, AND/OR AUTHORITIES HAVING JURISDICTION.
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- THE CONTRACTOR SHALL ESTABLISH CEILING HEIGHTS AND COORDINATE A PROJECT MEETING AT THE SITE PRIOR TO INSTALLING ANY PORTION OF THE CEILING SYSTEM.
- ALL LIGHT FIXTURES SHALL BE REMOVED AND DISPOSED OF LEGALLY (INCLUDING, BUT NOT LIMITED TO, BULBS) OFF SITE. NEW LED FIXTURES SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION DOCUMENTS. CONNECT TO EXISTING CIRCUITRY.
- THE CONTRACTOR SHALL PROVIDE ALL CUTOUTS AND GROUNDS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS, ACCESS PANELS, ETC. INDICATED OR INFERRABLE FROM THE CONSTRUCTION DOCUMENTS.
- PROVIDE INDEPENDENT SUPPORT FROM STRUCTURE ABOVE CEILING FOR ALL LIGHT FIXTURES.
- EXISTING CAMERA AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT SECURITY VENDOR.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING & STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.

CEILING TILE NOTES:

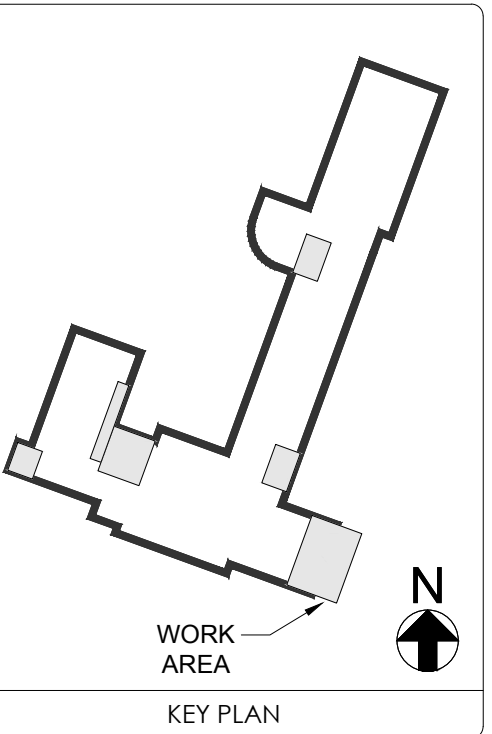
- IN CASES WHERE A NEW CEILING TILE ADJACENT TO A WALL WILL BE 4" OR LESS (FIGURE 1), THE GRID IS TO BE MODIFIED AND A 24" x 48" CEILING TILE IS TO BE CUT TO EXTEND TO THE WALL (FIGURE 2).
- REMOVE OLD CEILINGS IN ALL SPACES WHERE NEW CEILINGS ARE SHOWN U.O.N. PATCH ALL DISTURBED SURFACES.
- CONNECT LIGHT FIXTURES TO EXISTING LIGHTING CIRCUIT, TYP. FOR ALL AREAS OF WORK.
- CENTER GRID WITHIN EACH SPACE, TYP U.O.N.
- REFER TO TYP. CEILING DETAIL 21A-011

TYPICAL CEILING EDGE DETAIL:

-
- BLUE LIGHT
 - WIRELESS ACCESS POINT
 - NEW SECURITY CAMERA
 - NEW CEILING MOUNTED CARBON MONOXIDE DETECTOR - LISTED FOR USE WITH EXISTING FIRE ALARM CONTROL PANEL. WIRED TO FACP AND PROGRAMMED.
 - NEW HORN/STROBE - LISTED FOR USE WITH EXISTING FIRE ALARM CONTROL PANEL. WIRED TO FACP AND PROGRAMMED.
 - FIRE ALARM PULL STATION
 - KEY SWITCH



SEAL
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NO.	DESCRIPTION	DATE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

DEMOLITION & PROPOSED CEILING PLAN - ADMIN ADDITION

DRAWING NO.

A-202

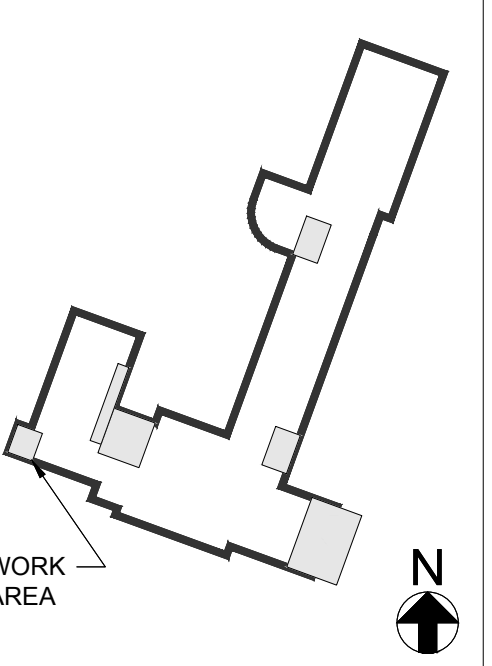
DATE
02/12/2021

PROJECT NO.
VS001-02



SEAL

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KEY PLAN

NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
**JAMES A. DEVER
ELEMENTARY SCHOOL**
585 NORTH CORONA AVENUE,
VALLEY STREAM, NEW YORK 11580

HYSED CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE

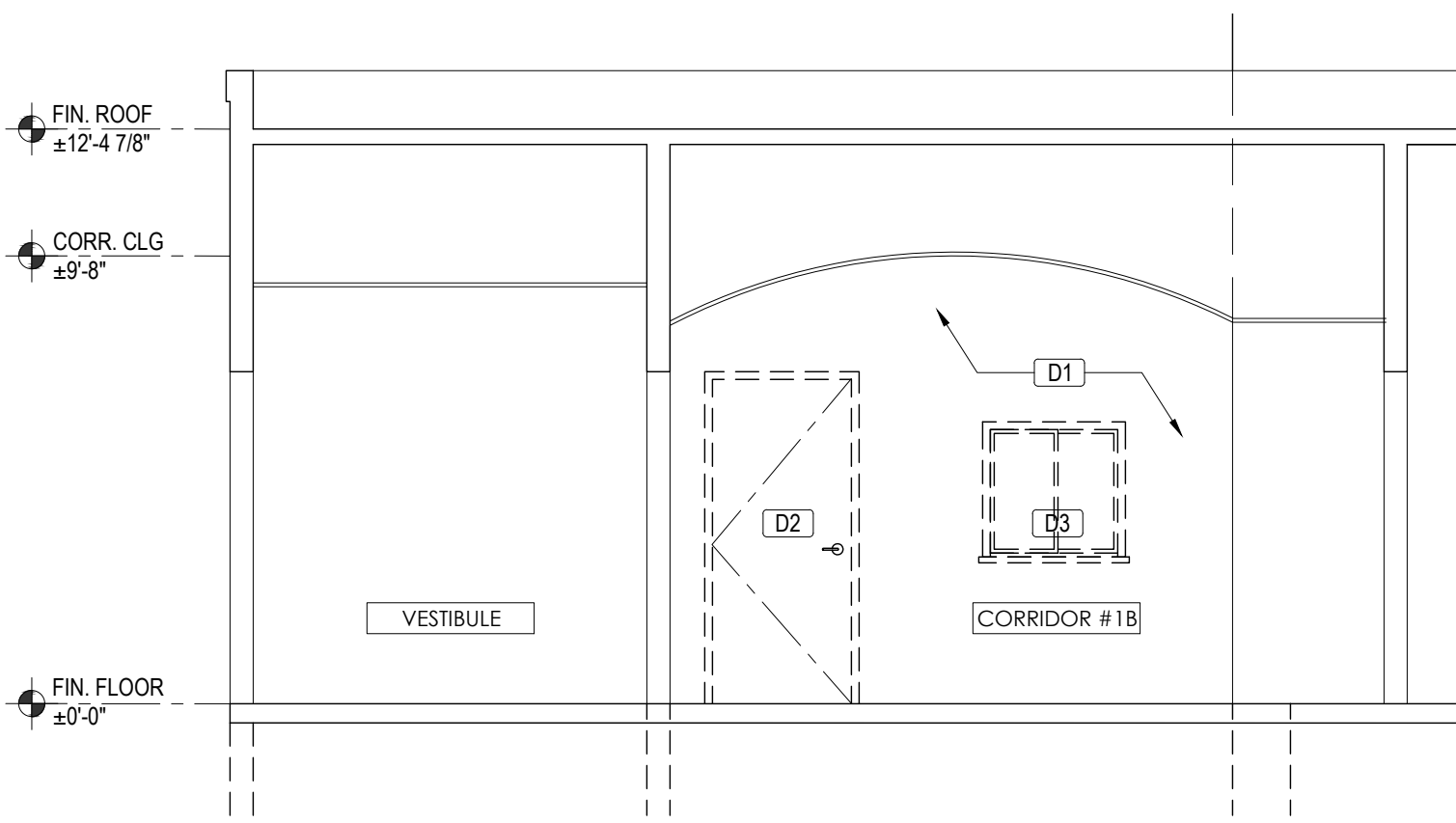
DEMOLITION & CONSTRUCTION INTERIOR ELEVATIONS - BOARDROOM

DRAWING NO.

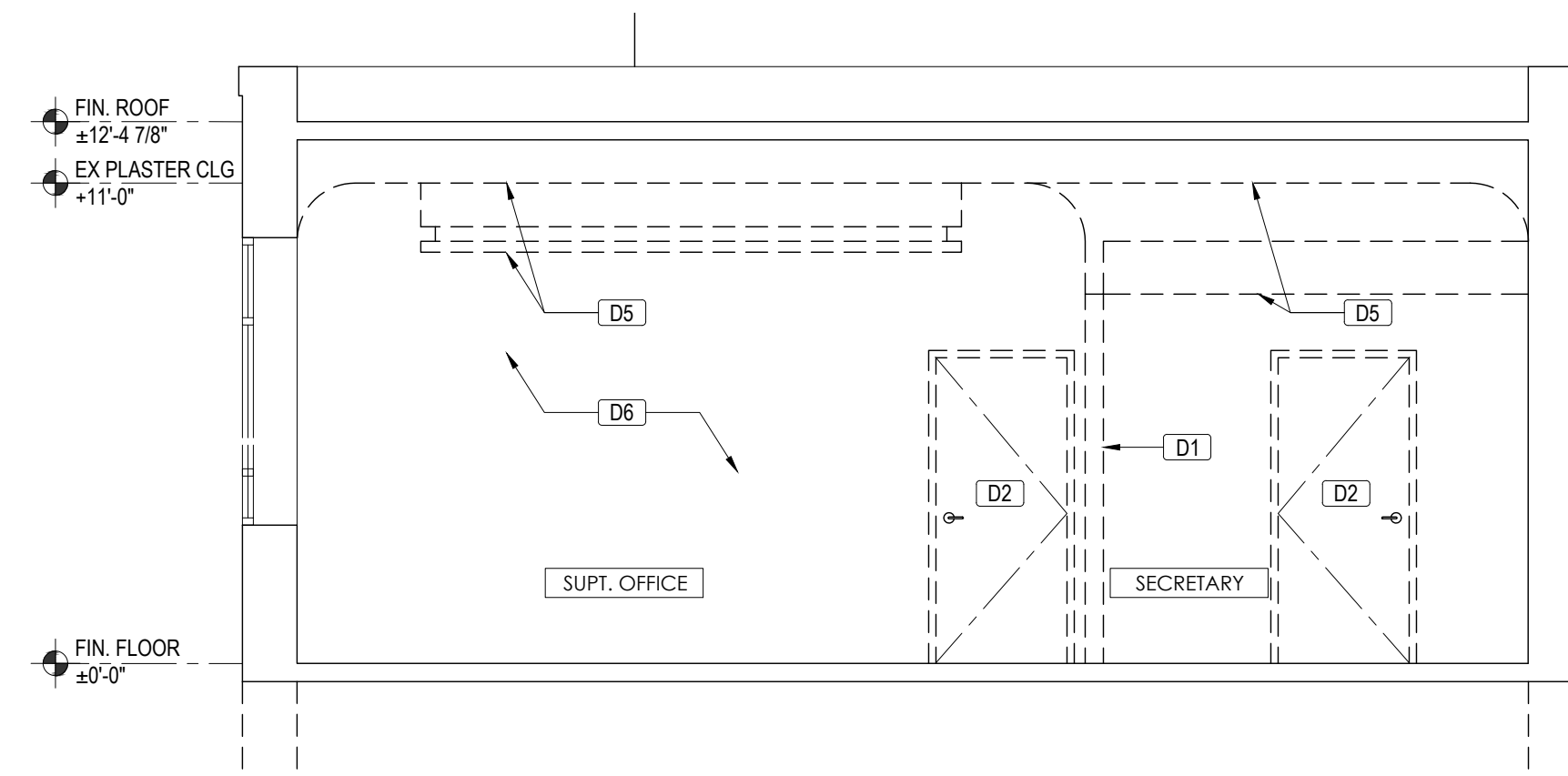
A-300

DATE
02/12/2021

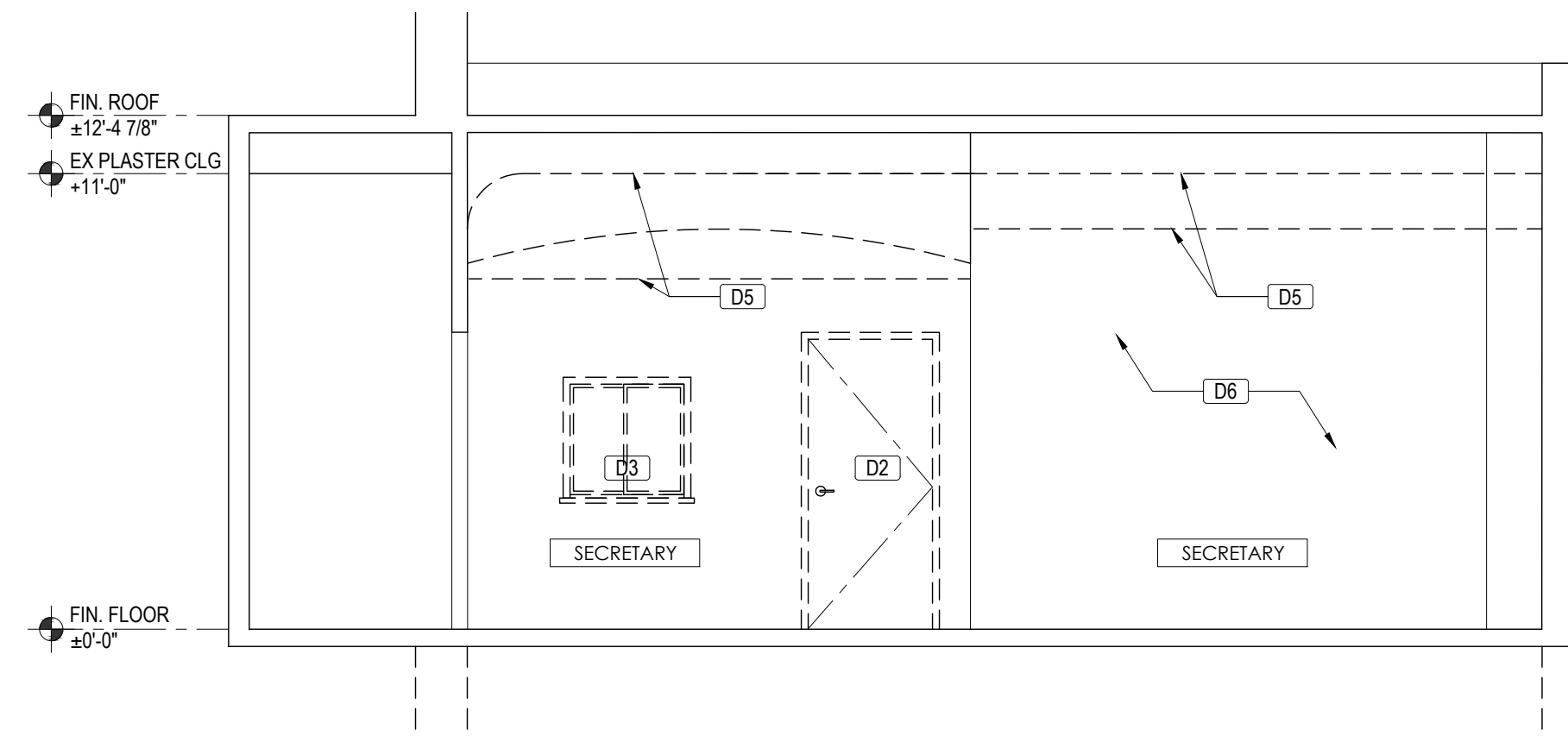
PROJECT NO.
VS001-02



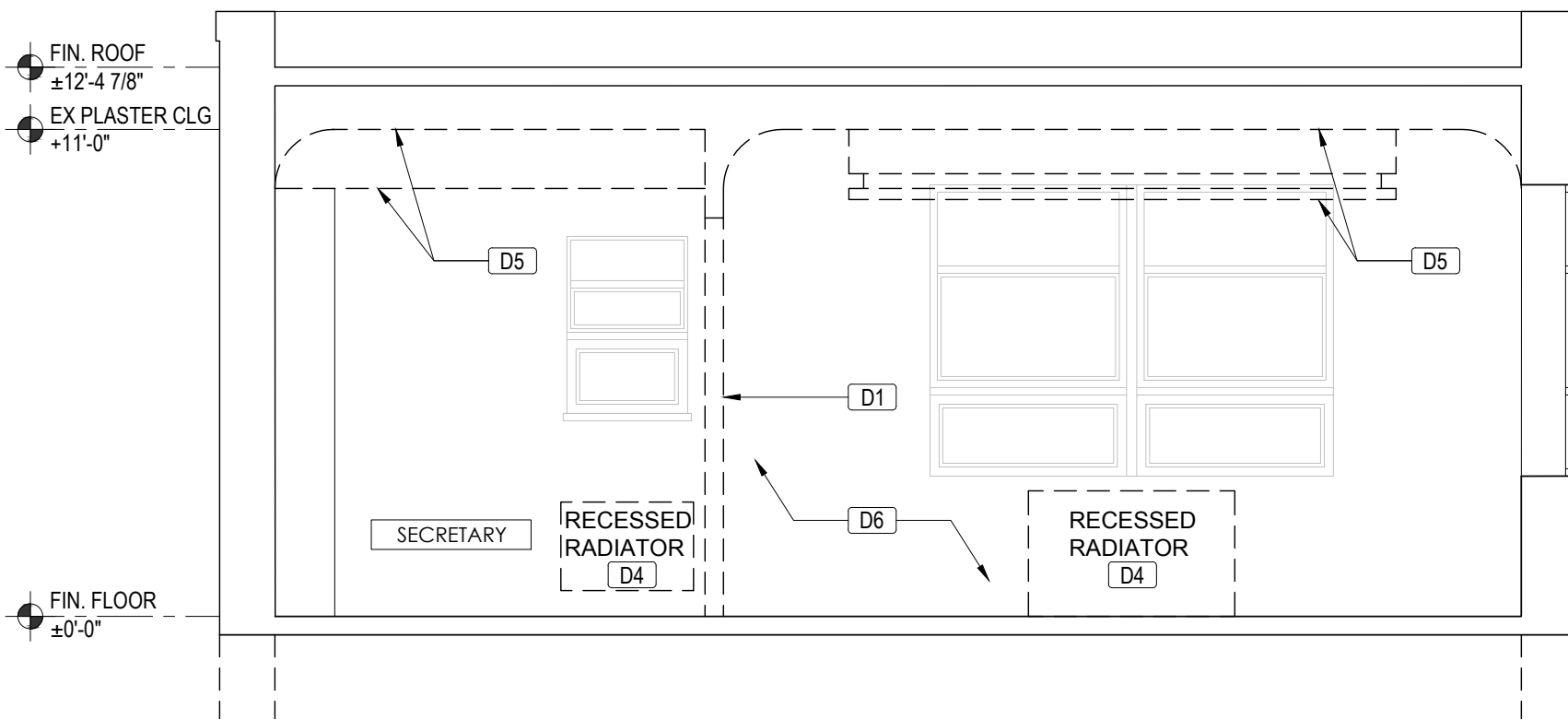
1 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



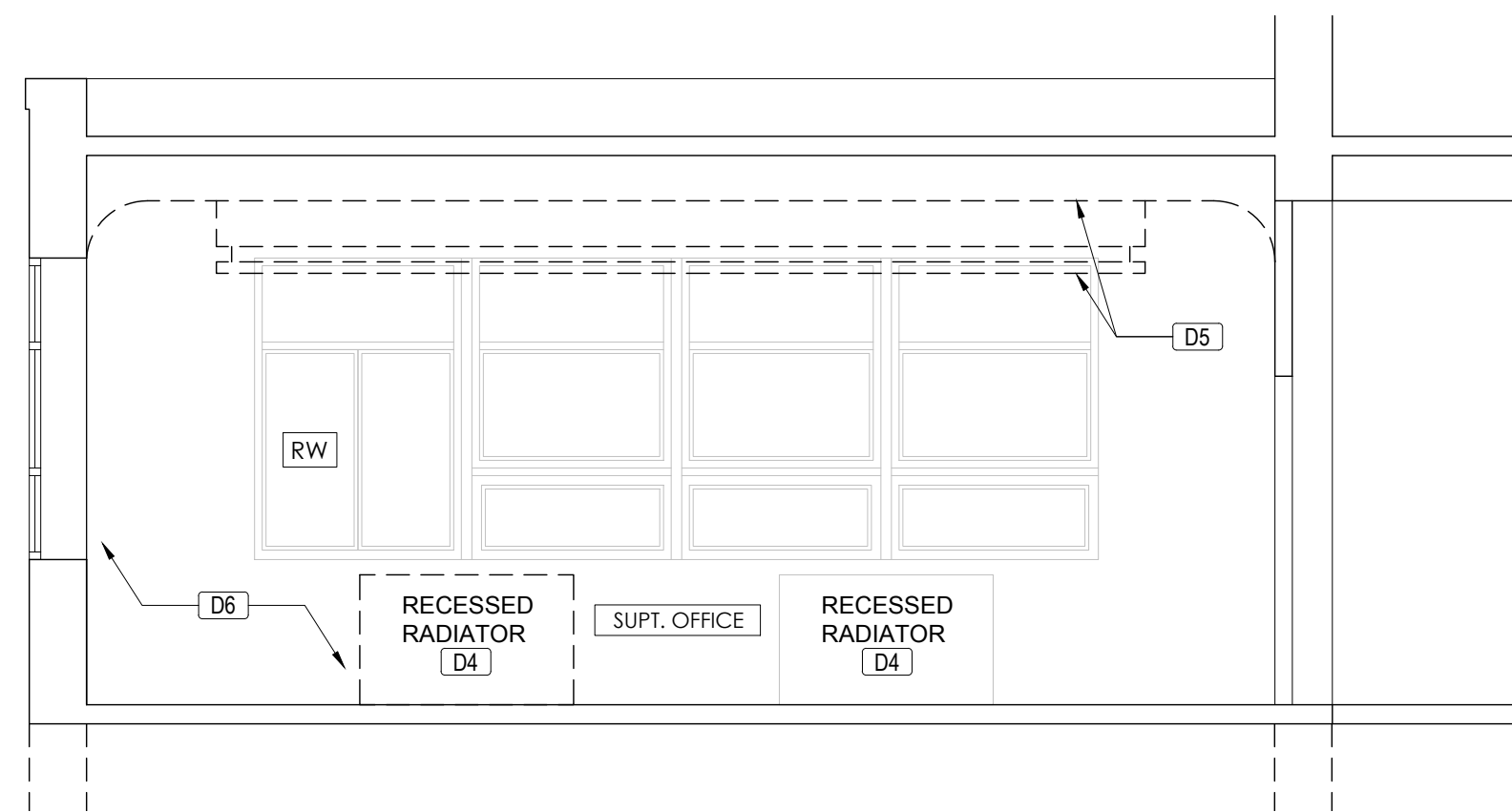
2 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

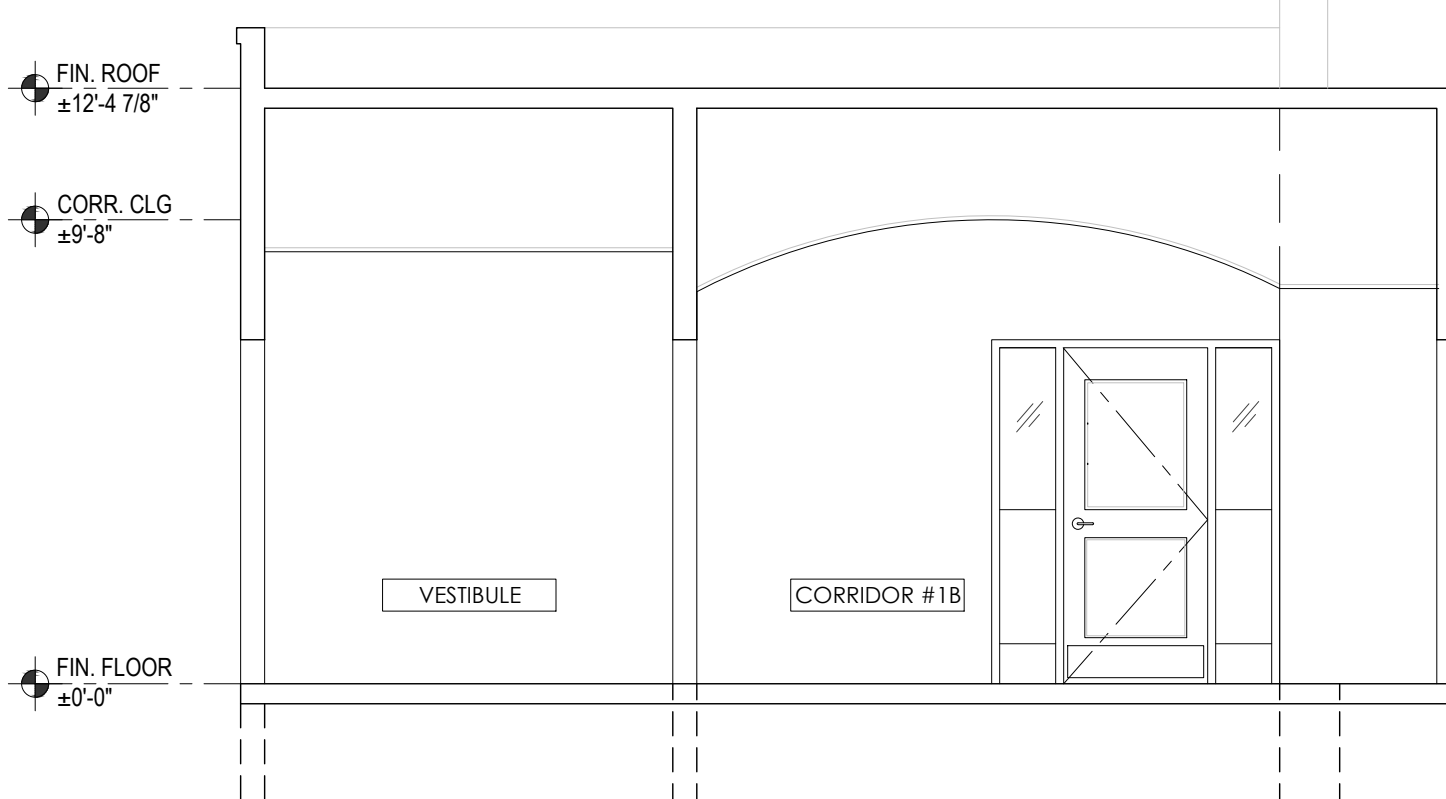


4 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

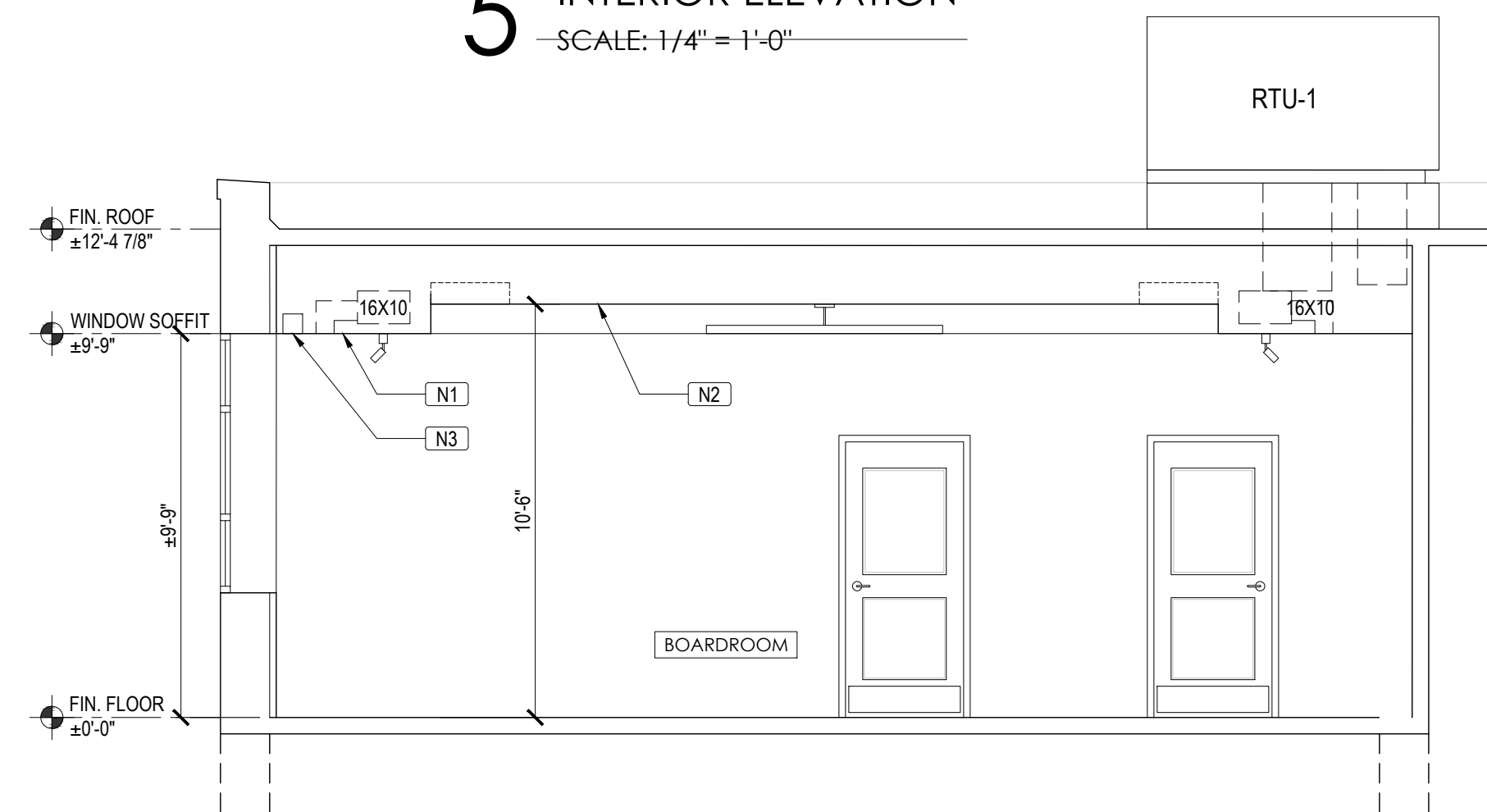


5 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

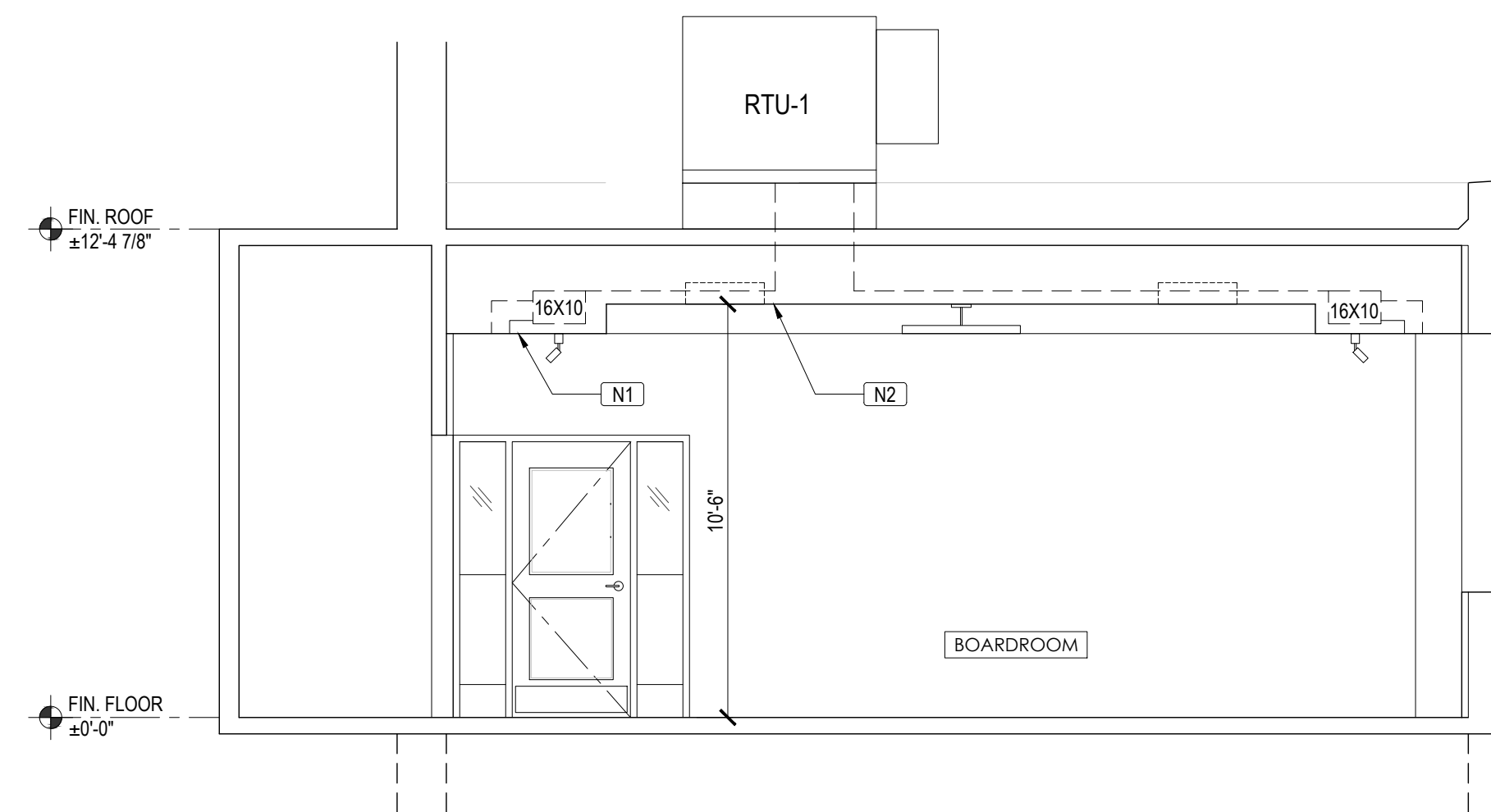
- DEMOLITION KEY NOTES AS KEYED BY [D#] ON ELEVATION:
- [D1] REMOVE EXISTING ENTIRE DOOR, TRANSOM, HARDWARE, FRAME AND THRESHOLD AS SHOWN.
 - [D2] REMOVE FULL HEIGHT OF EXISTING WALL WITH BASE & WALL TILES IF ANY AS SHOWN. DISCONNECT ALL EXISTING ELECTRICAL, OUTLETS AND SWITCHES IN WALL. REMOVE EXISTING WIRING BACK TO EXISTING ELECTRICAL PANELS THROUGHOUT. SAND, SCRAPE, REPAIR, PREPARE AFFECTED EXISTING SURFACES SCHEDULED TO REMAIN TO RECEIVE NEW FINISHES.
 - [D3] REMOVE EXISTING WINDOW & FRAME.
 - [D4] REMOVE EXISTING RECESSED RADIATOR. CUT AND CAP ALL PIPING. PATCH & REPAIR WALL SCHEDULED TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES. SEE MECHANICAL DRAWINGS.
 - [D5] REMOVE EXISTING DROPPED GRID CEILING & PLASTER CEILING TO EXISTING JOISTS.
 - [D6] REMOVE EXISTING WOOD PANELS ON WALL & WINDOW SILL AND PLASTER/POP. GO BEHIND DOWN TO EXISTING MASONRY WALL.



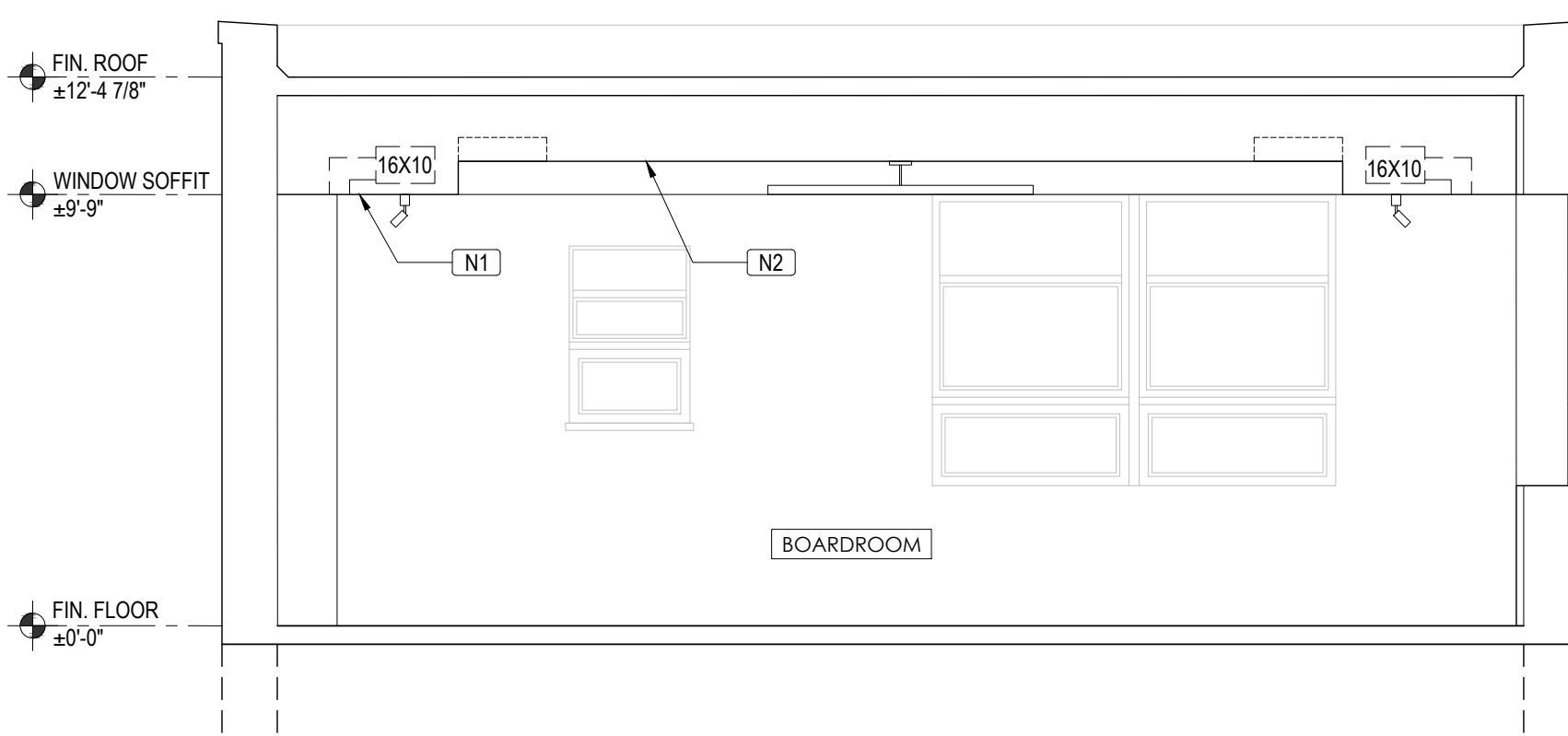
1 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



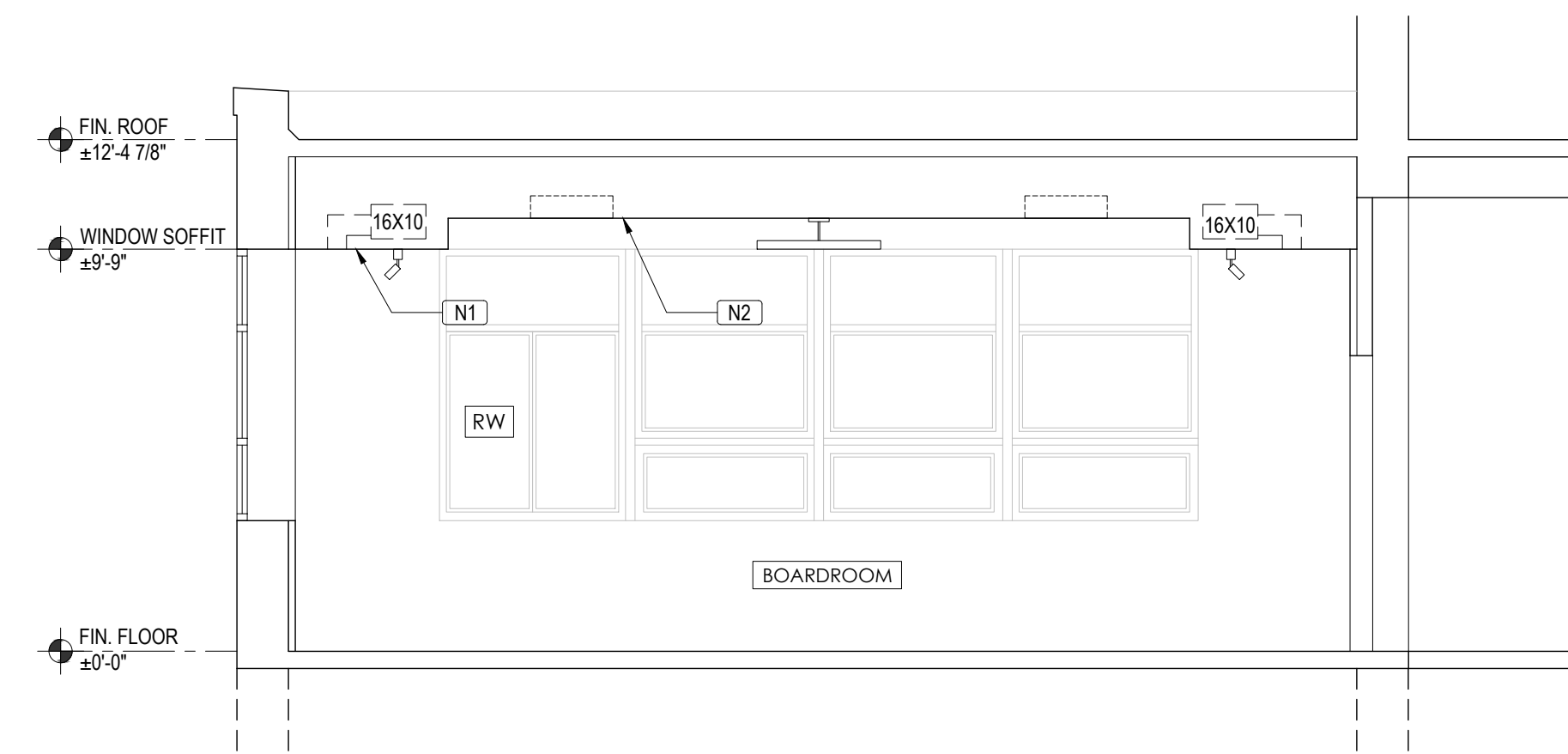
2 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

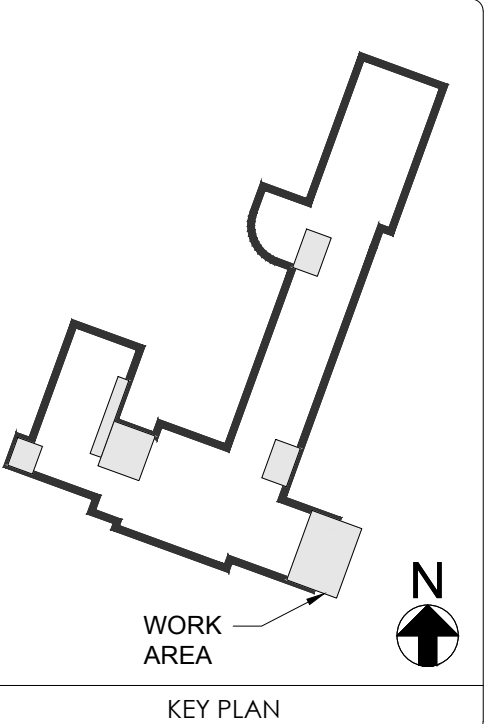


5 DEMOLITION INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

- CONSTRUCTION KEY NOTES AS KEYED BY [C#] ON ELEVATION:
- [C1] NEW GYP. BO. CEILING SOFFIT TO ALIGN WITH EXISTING WINDOW HEAD.
 - [C2] NEW 2X2 DROPPED ACOUSTIC CEILING WITH SCHEDULED LIGHT FIXTURES.
 - [C3] NEW RECESSED CEILING PROJECTION SCREEN.



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 (See Appropriate Sections of NYS Education Law)



NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

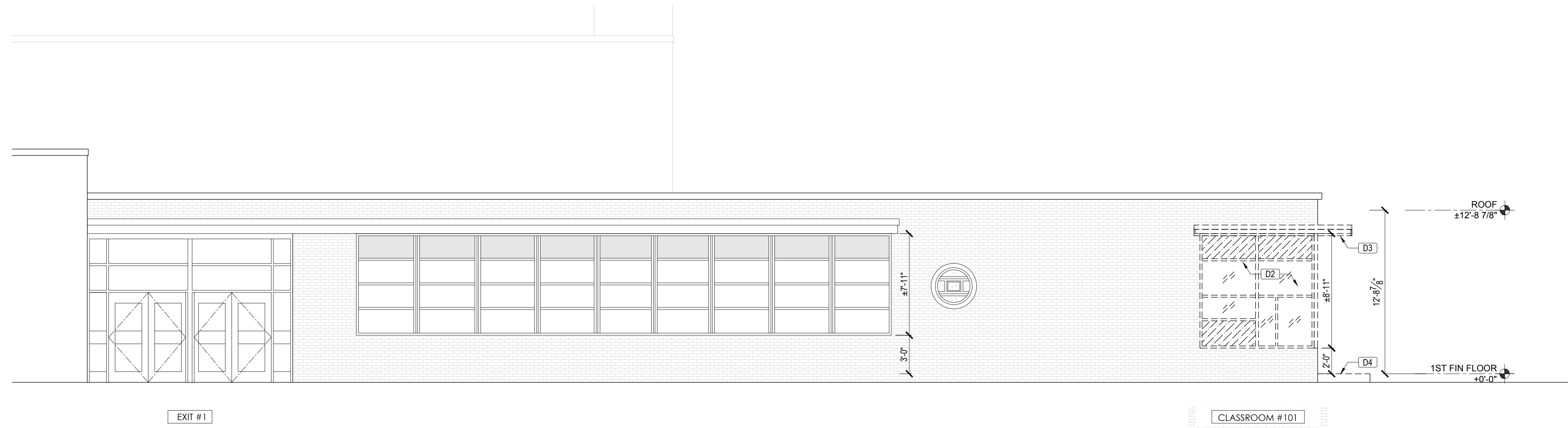
HYSED CONTROL NO.
 28-02-13-02-0-001-040

DRAWING TITLE
DEMOLITION EXTERIOR ELEVATIONS - ADMIN ADDITION

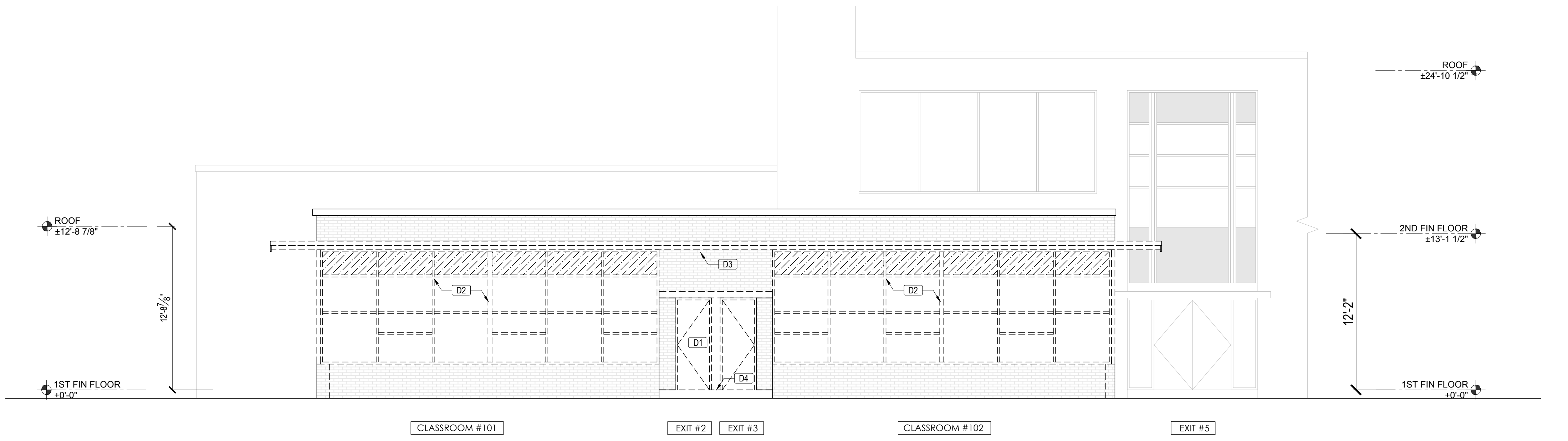
DRAWING NO.
A-301

DATE
 02/12/2021

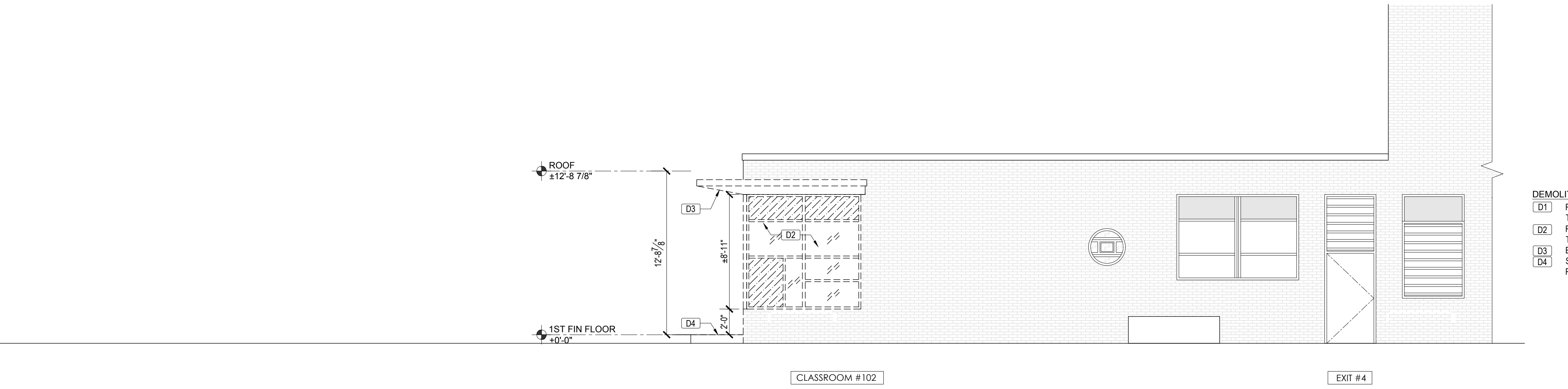
PROJECT NO.
 VS001-02



1 DEMOLITION EXTERIOR NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 DEMOLITION EXTERIOR EAST ELEVATION
 SCALE: 3/16" = 1'-0"

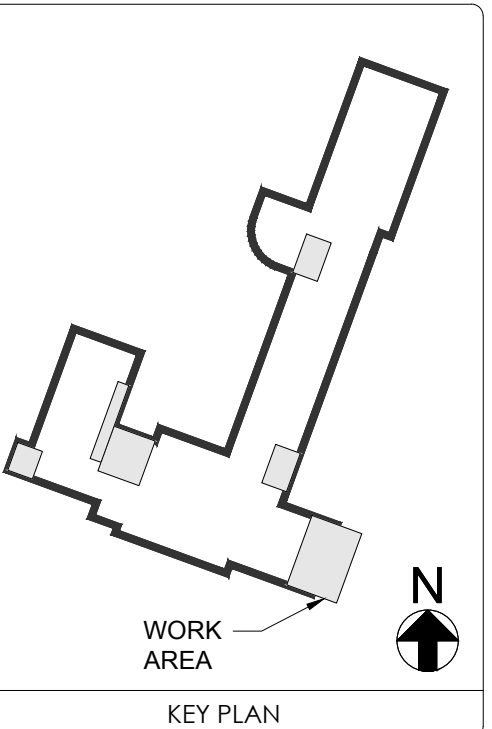


3 DEMOLITION EXTERIOR SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

- DEMOLITION KEY NOTES AS KEYED BY [D#] ON ELEVATION:
- [D1] REMOVE EXISTING ENTIRE DOOR, TRANSOM, HARDWARE, FRAME AND THRESHOLD AS SHOWN.
 - [D2] REMOVE EXISTING ENTIRE EXTERIOR WINDOWS & FRAMES. EXISTING LINTEL TO REMAIN.
 - [D3] EXISTING MASONRY WALL ABOVE & BELOW THE WINDOW TO REMAIN. SAW CUT EXISTING CANOPY ALONG THE EXTERIOR MASONRY WALL. REMOVE EXISTING CONC. LANDING & SIDEWALK.
 - [D4] REMOVE EXISTING ENTIRE EXTERIOR WINDOWS & FRAMES. EXISTING LINTEL TO REMAIN.



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PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
 585 NORTH CORONA AVENUE,
 VALLEY STREAM, NEW YORK 11580

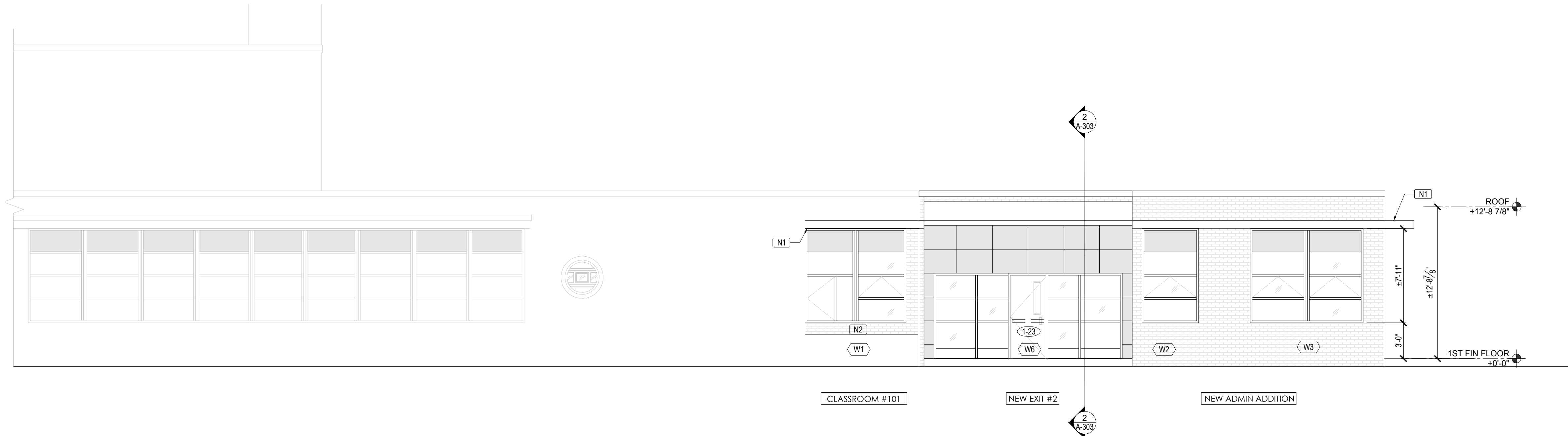
HYSED CONTROL NO.
 28-02-13-02-0-001-040

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS - ADMIN ADDITION

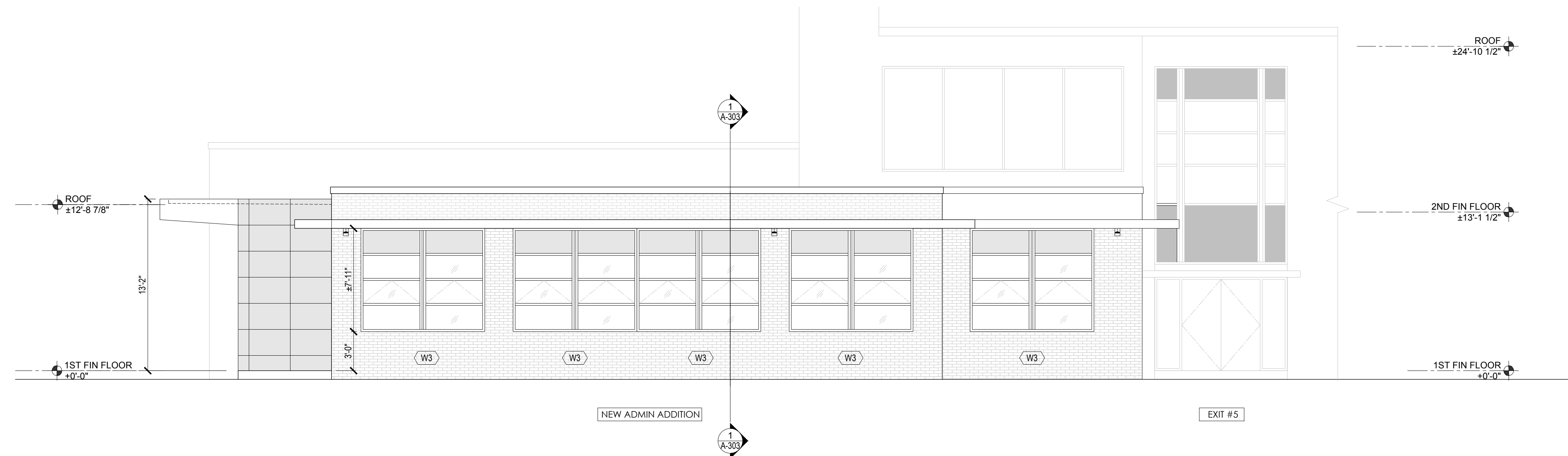
DRAWING NO.
A-302

DATE
 02/12/2021

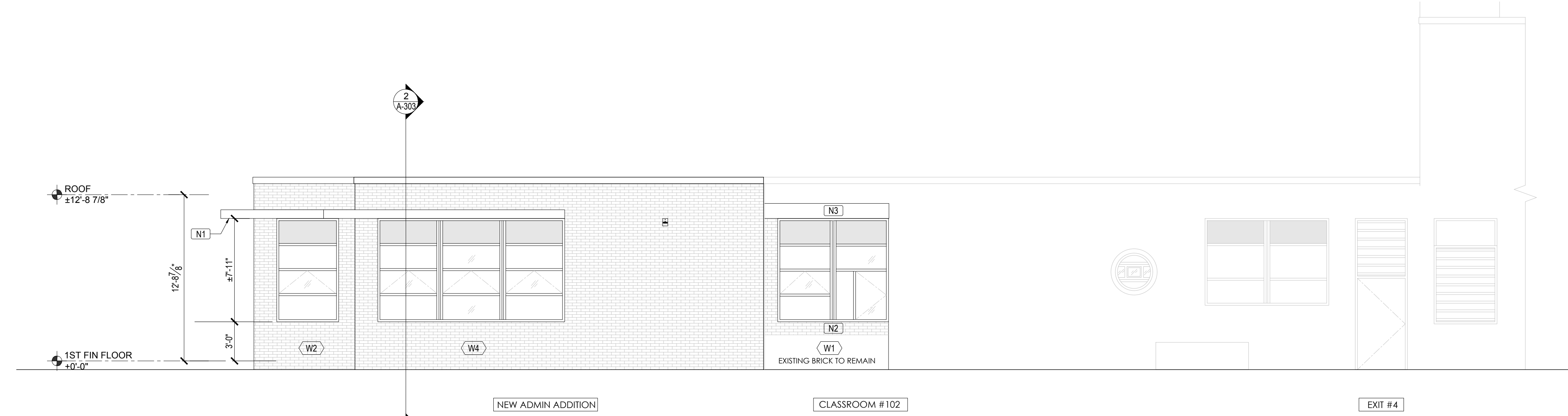
PROJECT NO.
 VS001-02



1 PROPOSED EXTERIOR NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 PROPOSED EXTERIOR EAST ELEVATION
 SCALE: 3/16" = 1'-0"

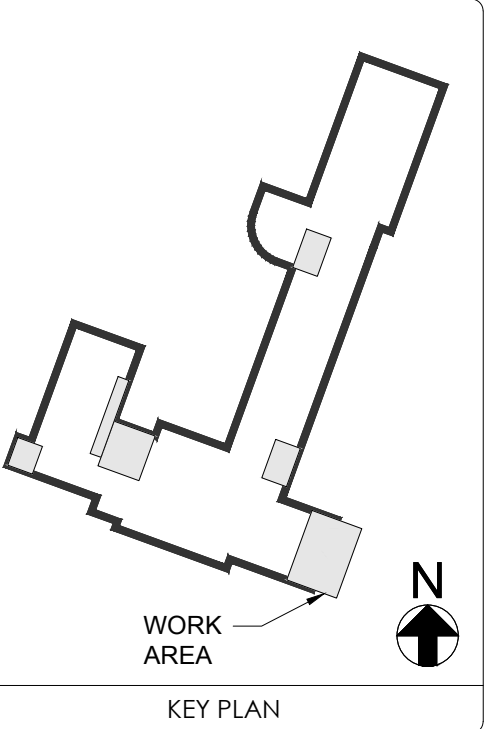


3 PROPOSED EXTERIOR SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON ELEVATION:
 [N1] NEW 30"D CANOPY
 [N2] TOOTH IN BRICKS TO INFILL EXISTING OPENING TO MATCH EXISTING COURSING & FINISHES
 [N3] PROVIDE FINISHED PANEL TO COVER EXISTING CANOPY INSIDE THE PERIMETER WALL



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 VALLEY STREAM, NEW YORK 11580

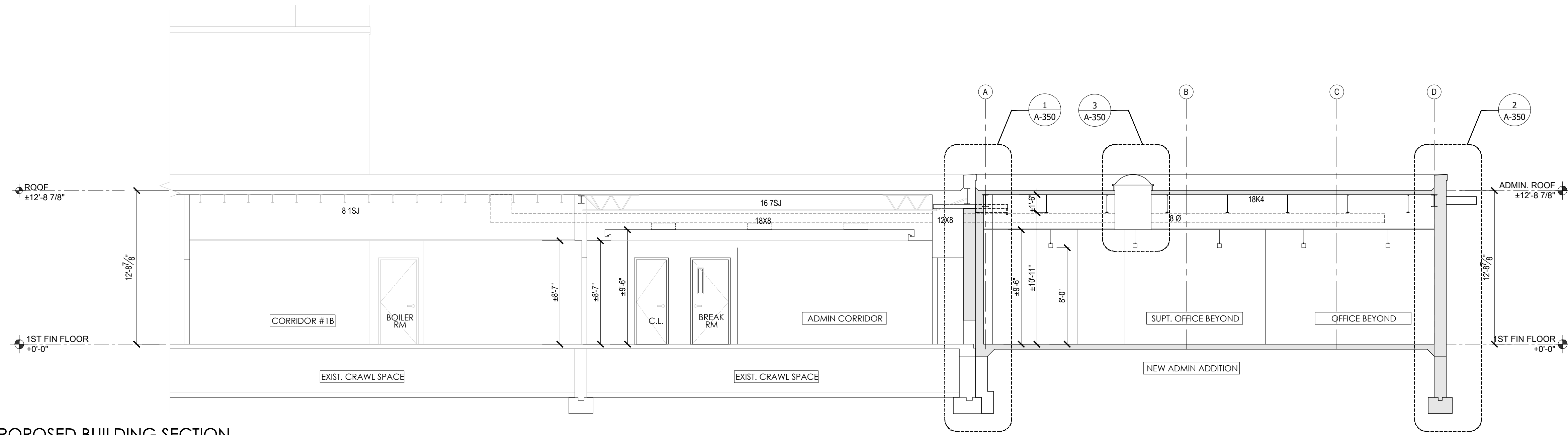
HYSED CONTROL NO.
 28-02-13-02-0-001-040

DRAWING TITLE
PROPOSED BUILDING SECTIONS AT ADMIN ADDITION AND MUSIC ROOM

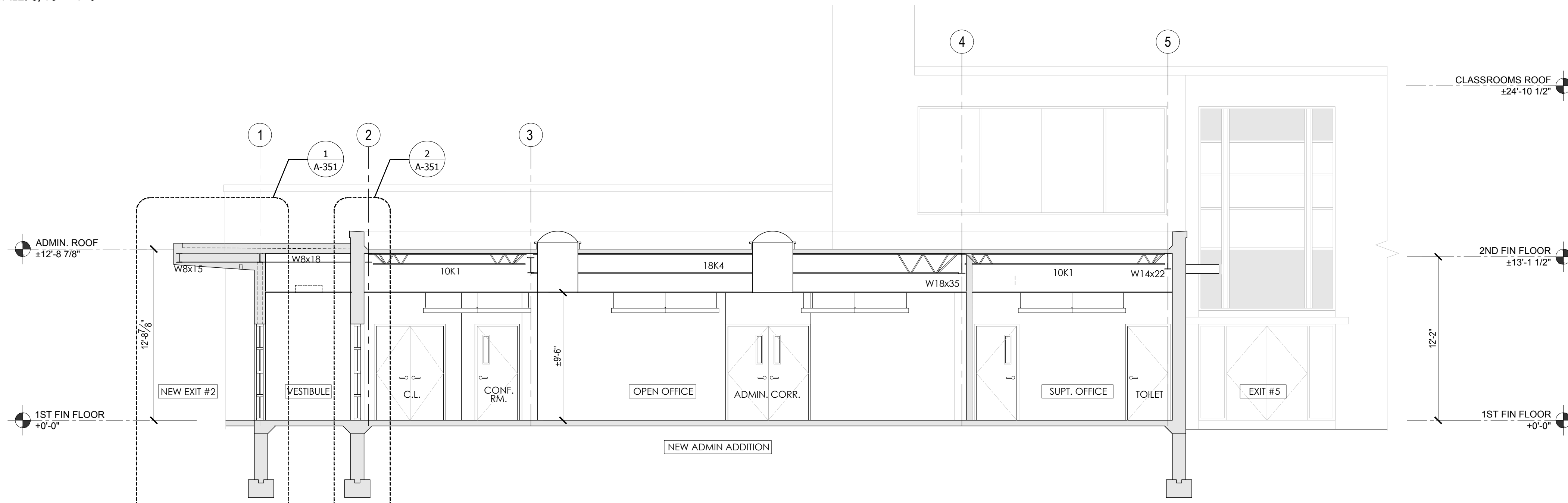
DRAWING NO.
A-303

DATE
 02/12/2021

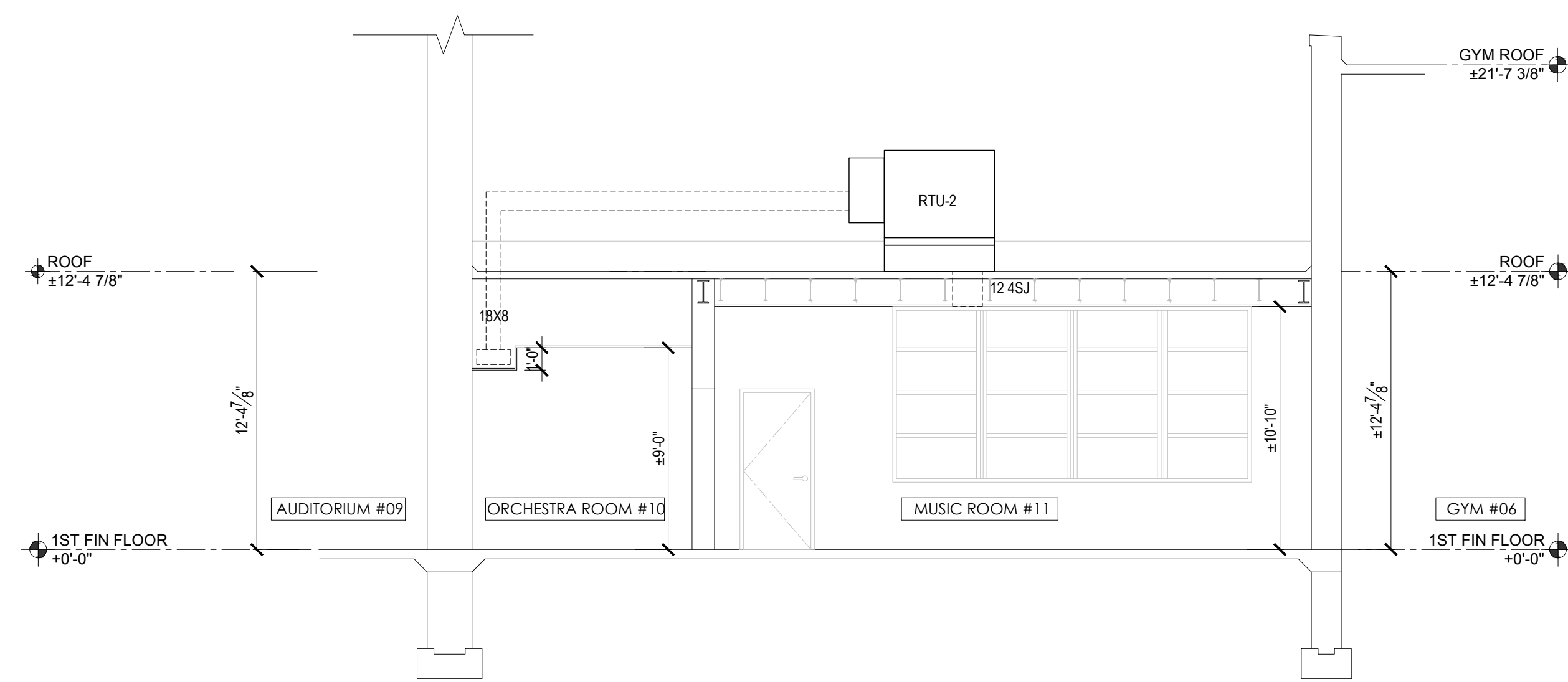
PROJECT NO.
 VS001-02



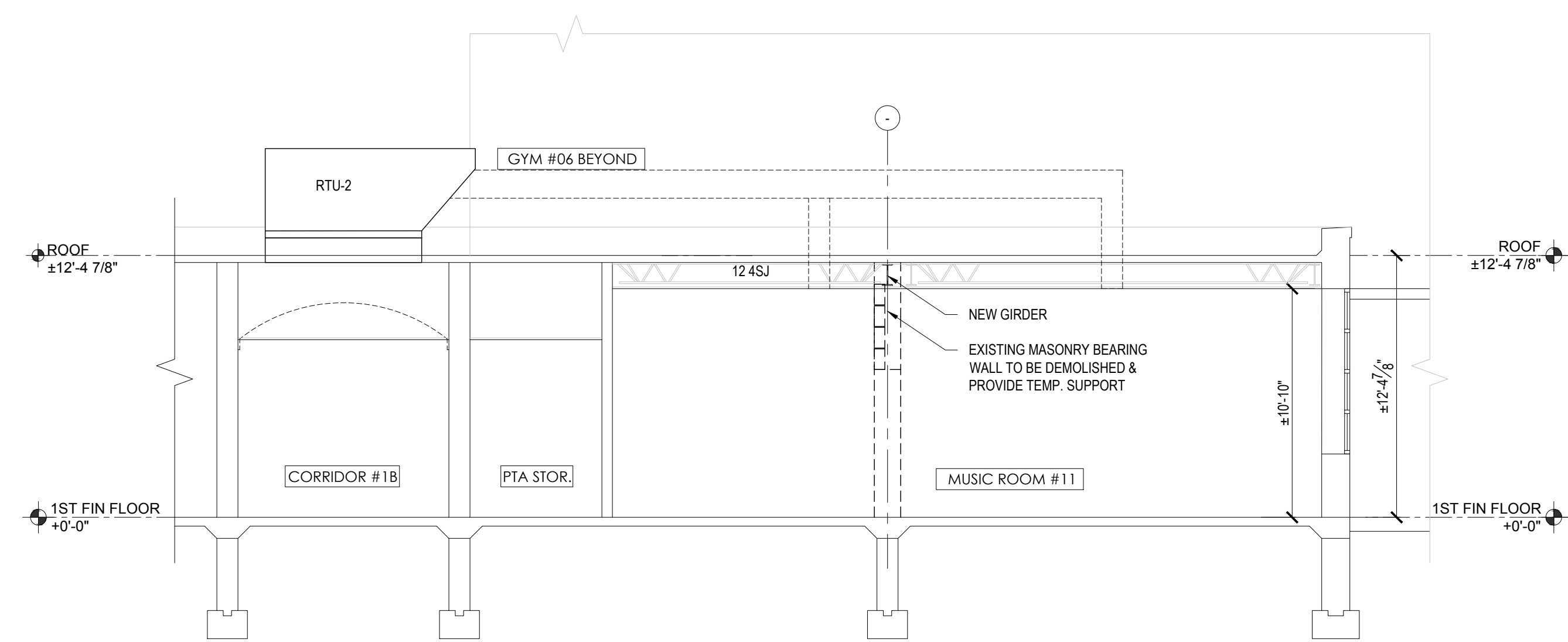
1 PROPOSED BUILDING SECTION AT ADMIN ADDITION
 SCALE: 3/16" = 1'-0"



2 PROPOSED BUILDING SECTION AT ADMIN ADDITION
 SCALE: 3/16" = 1'-0"



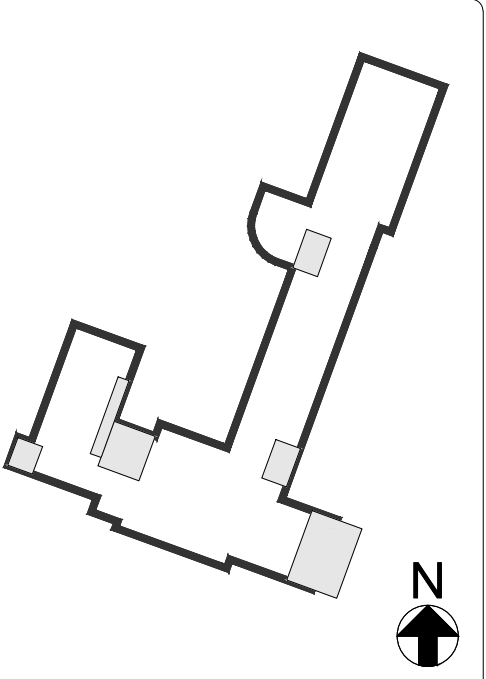
3 BUILDING SECTION AT MUSIC ROOM
 SCALE: 3/16" = 1'-0"



4 BUILDING SECTION AT MUSIC ROOM
 SCALE: 3/16" = 1'-0"



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KEY PLAN

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REVISION		

BOARD ROOM RENOVATION & ADMIN ADDITION

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 VALLEY STREAM, NEW YORK 11580

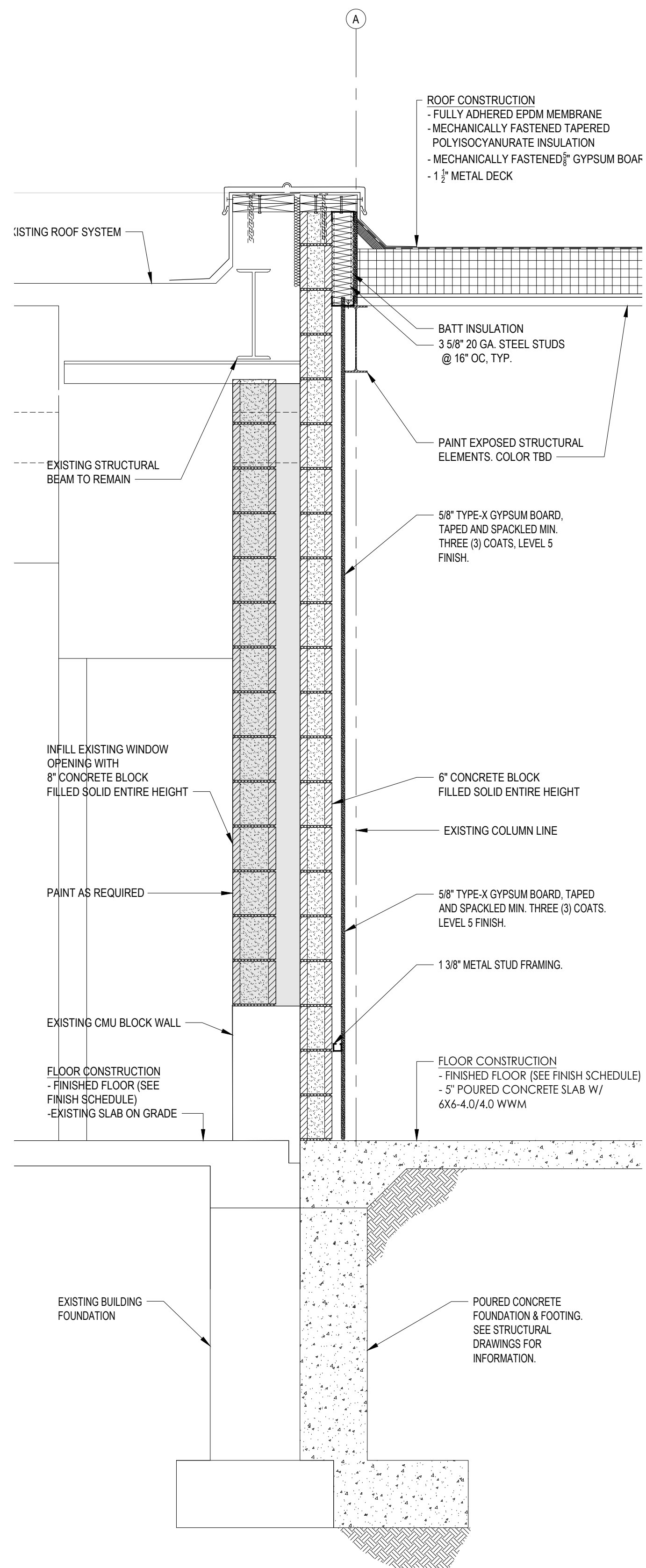
HYSID CONTROL NO.
 28-02-13-02-0-001-040

DRAWING TITLE
WALL SECTION DETAILS - ADMIN ADDITION

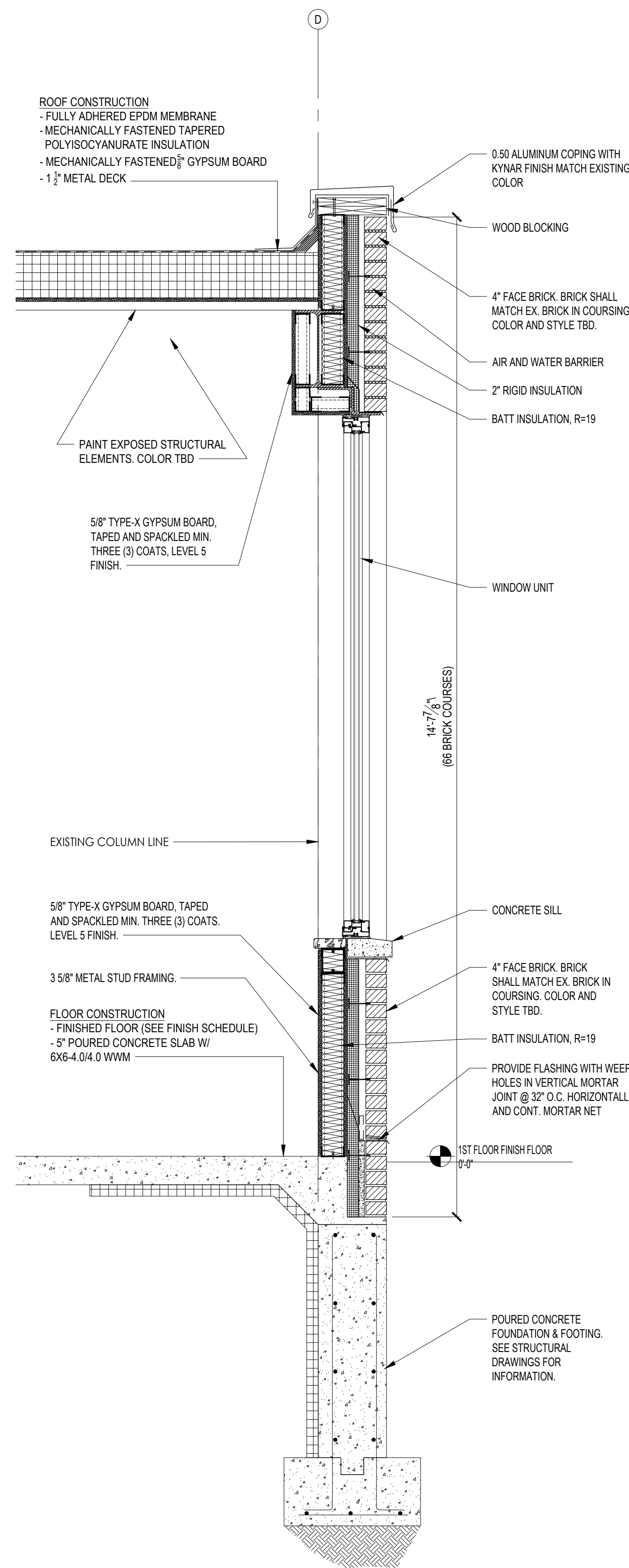
DRAWING NO.
A-350

DATE
 02/12/2021

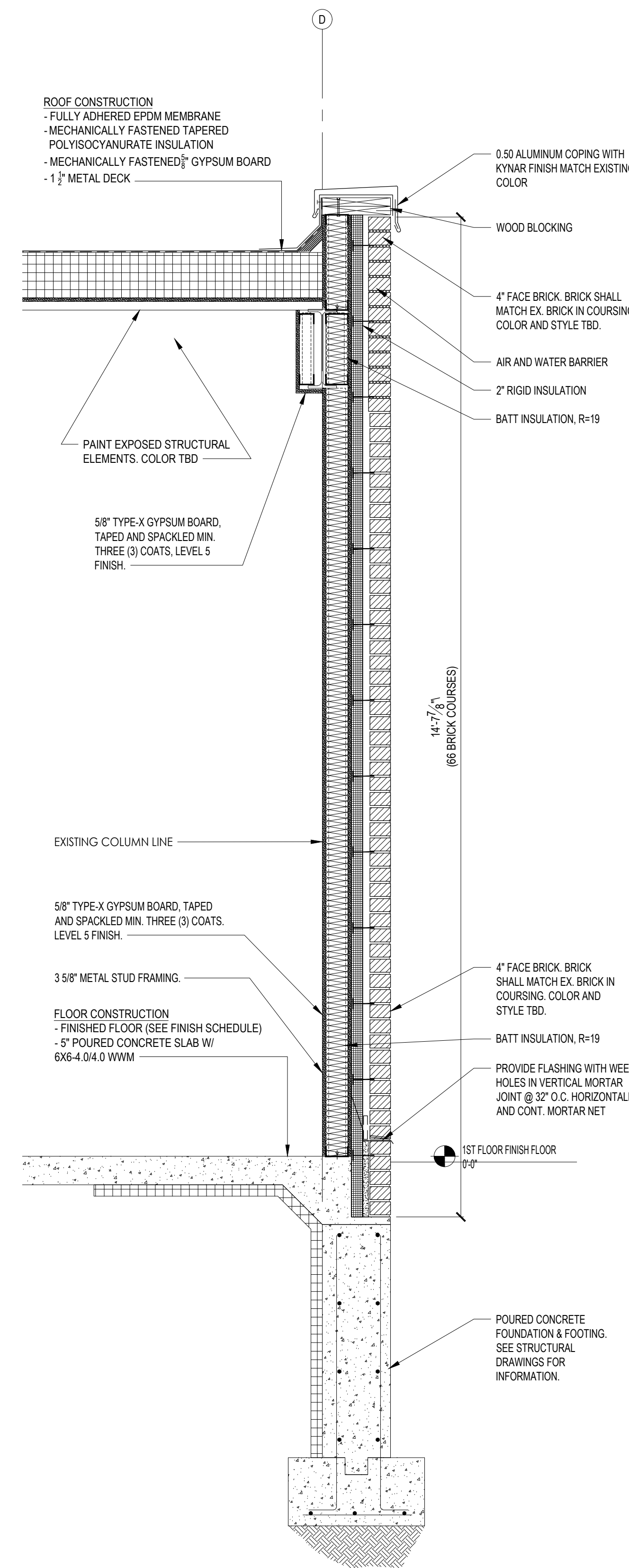
PROJECT NO.
 VS001-02



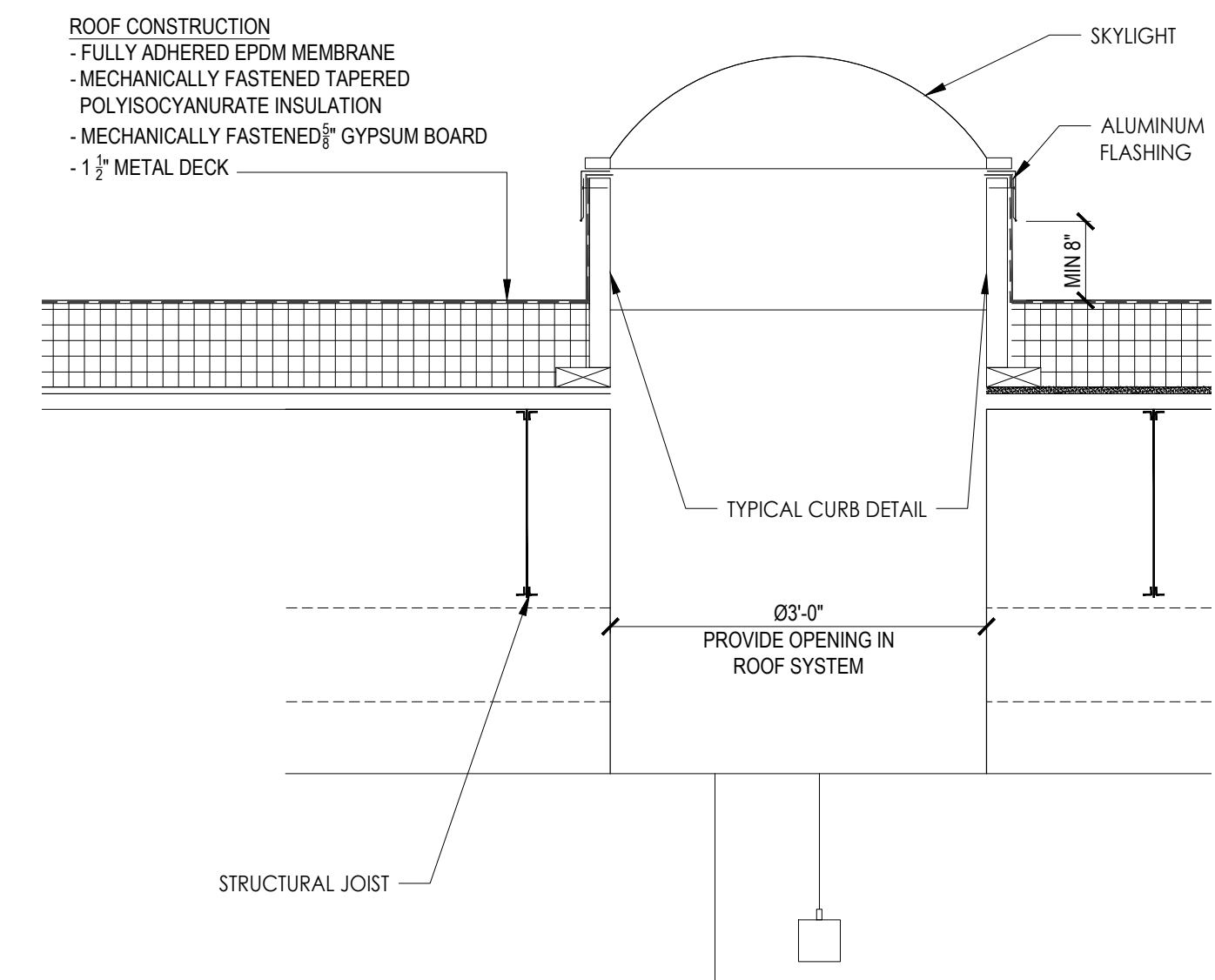
1 EXISTING/NEW WALL SECTION DETAILS
 SCALE: 3/4" = 1'-0"



2 PERIMETER WALL SECTION DETAILS
 SCALE: 3/4" = 1'-0"



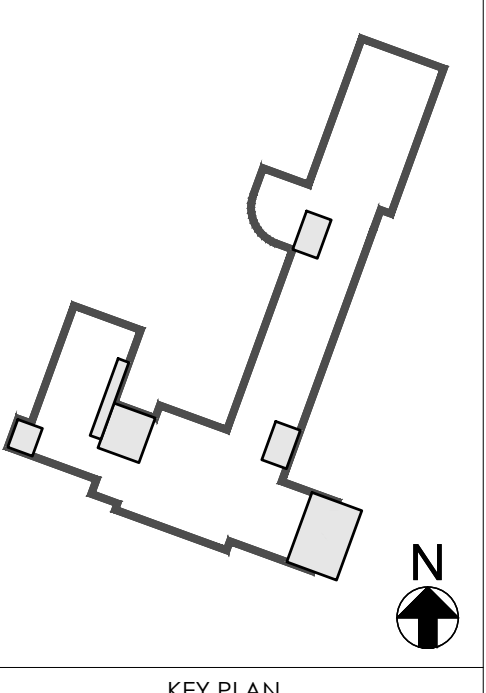
2.1 PERIMETER WALL SECTION DETAILS
 SCALE: 3/4" = 1'-0"



3 SKYLIGHT SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



IF A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COGNATE LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS. (See Appropriate Sections of NYS Education Law)



NO.	DESCRIPTION	DATE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME: **JAMES A. DEVER ELEMENTARY SCHOOL**
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.: 28-02-13-02-0-001-040

ENLARGED CONSTRUCTION PLAN - TOILETS & BREAKROOM

A-400

DATE: 02/12/2021
PROJECT NO.: VS001-02

PLUMBING DEMOLITION NOTES:

- CONTRACTOR SHALL REMOVE EXISTING CERAMIC FLOOR TILE AND PREPARE SURFACE FOR NEW CERAMIC FLOOR TILE FINISH.
- CONTRACTOR SHALL REMOVE EXISTING WALL TILE AND SETTING BED COMPLETELY. PREPARE SURFACE TO RECEIVE NEW WALL FINISH, AS SPECIFIED.
- CONTRACTOR SHALL REMOVE EXISTING TOILET ROOM ACCESSORIES SUCH AS, BUT NOT LIMITED TO, MIRRORS, SOAP DISPENSERS, TOILET PAPER HOLDER, WASTE RECEPTORS, ETC. ALL HOLES LEFT BY REMOVAL SHALL BE PATCHED AND FINISHED TO MATCH EXISTING.
- CONTRACTOR SHALL REMOVE EXISTING TOILET PARTITIONS AND DISPOSE OF OFF-SITE, UNLESS OTHERWISE BY DISTRICT.
- CONTRACTOR SHALL REMOVE EXISTING CONCRETE BLOCK CHASE WALLS AS NECESSARY FOR THE INSTALLATION OF THE NEW PLUMBING FIXTURES.
- DEMOLITION TO BE PERFORMED IN AREAS OF EXISTING CONSTRUCTION. SERVICES RUNNING THROUGH DEMOLITION AREAS FEEDING OTHER AREAS MUST BE LEFT INTACT UNTIL SUCH TIME AS THEY CAN BE REMOVED.
- CONTRACTOR TO VERIFY WITH BUILDING MANAGER TO DETERMINE IF ANY EQUIPMENT LINES IN THE AREA TO BE DEMOLISHED SUPPLY OTHER PORTIONS OF THE BUILDING AND MUST REMAIN.
- ALL EXISTING BASE BUILDING SERVICES SHALL REMAIN INTACT AND IN OPERATION. THIS CONTRACTOR MUST VERIFY ALL EXISTING TO REMAIN SERVICES WITH BUILDING ENGINEER PRIOR TO STARTING DEMOLITION.
- CONTRACTOR SHALL INVESTIGATE SPACE BEFORE STARTING TO DEMOLISH THE WORK AND BE FAMILIAR WITH SYSTEM BEING REMOVED. HE SHALL REPORT TO THE ARCHITECT AND/OR ENGINEER ANY DEVIATION FROM SCOPE OF WORK TO BE DEMOLISHED.
- PROTECT ALL EQUIPMENT THAT IS TO REMAIN FROM DAMAGE OR REPLACE AS REQUIRED AT CONTRACTOR'S EXPENSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL REVIEW THESE DRAWINGS AND CAREFULLY INSPECT THE SITE WITH REGARD TO EXISTING CONDITIONS. SHOULD IT BE OBSERVED THAT SOME CONDITIONS ARE IN DISCREPANCY WITH THOSE SHOWN ON THE PLANS, SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR REVIEW.
- PROVIDE INTERIM WORK IF REQUIRED FOR CONTINUED UNINTERRUPTED SERVICE WHERE SHUTDOWN IS REQUIRED.
- THE EXISTING SYSTEM SHALL BE LEFT IN PERFECT WORKING ORDER UPON THE COMPLETION OF WORK. AREA SHOULD BE THOROUGHLY CLEANED AND DEBRIS REMOVED.

NOTE: WHEN REMOVING FIXTURES INCLUDE ALL PIPING, INSULATION, HANGERS, ROOS AND SWAY BRACES. REFER TO ARCHITECTURAL DRAWINGS FOR THE REMOVAL OF HAUNCH WHERE FLOOR URINALS ARE INSTALLED.

PLUMBING GENERAL NOTES:

- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH BUILDING STANDARDS, SPECIFICATIONS AND GUIDELINES AND COMPLY WITH ALL STATE AND LOCAL CODES.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- EXISTING PIPING WHERE SHOWN FOR VARIOUS SYSTEMS IS DIAGRAMMATICALLY ON THE DRAWINGS.
- CONTRACTOR SHOULD BE THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS AT THE BUILDING WHERE WORK IS TO BE DONE.
- INSTALL ALL WORK IN FULL ACCORDANCE WITH THE REQUIREMENTS OF ALL LOCAL AND GOVERNMENTAL DEPARTMENTS HAVING JURISDICTION OVER THESE MATTERS, AS WELL AS ANY REQUIREMENTS OF NFPA, UL, AND OTHER CODES. SECURE AND PAY FOR NECESSARY PERMITS, INSPECTIONS, ETC. AND DELIVER THE OFFICIAL RECORDS OF THE GRANTING OF PERMITS TO THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- PREPARE AND SUBMIT FOR APPROVAL SHOP DRAWINGS AND DATA FOR EQUIPMENT.
- KEEP A RECORD OF DEVIATIONS BETWEEN WORK SHOWN ON DRAWINGS AND THAT WHICH IS ACTUALLY PERFORMED.
- CONTRACTOR SHALL FURNISH AND INSTALL ACCESS DOORS, CLEANOUT WALL PLATES AS SHOWN OF THE DRAWINGS.
- THE PIPING SHALL BE SIZED TO PROVIDE MAXIMUM VELOCITY OF 6 FEET PER SECOND IN THE MAINS AND 4 FEET PER SECOND IN ALL BRANCH PIPING.
- DIELECTRIC FITTINGS SHALL BE INSTALLED BETWEEN DISSIMILAR METALS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DISTURBED AREA, UNLESS OTHERWISE NOTED, SHOULD BE PATCHED TO MATCH EXISTING ADJACENT FINISHES INCLUDING TILE, BRICK, PLASTER, WAINSCOT, CEILING, FLOOR FINISHES, WALL BASE AND PAINTING AS REQUIRED.
- REMOVE ALL EXISTING FINISHES FROM FLOOR, WALLS AND CEILINGS AT TOILETS INCLUDING SETTING BEDS FROM TILED FINISH. NEW CERAMIC TILE FOR BOTH FLOOR AND WALL SHALL BE SET ON A SETTING BED AS PER RECOMMENDATION OF TOA HANDBOOK. THICKNESS OF SETTING BEDS SHALL BE ENOUGH TO MAKE THE FINISH FLOOR ELEVATION AND FINISHED WALL SURFACES MATCH EXISTING.
- PROVIDE LIQUID MEMBRANE WATERPROOFING UNDER FLOORING AND BEHIND BASE AT TOILET ROOMS.
- SLOPE FLOOR TILE TO FLOOR DRAIN.
- ACCESS PANELS SHALL BE LOCATED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. COORDINATE LOCATION OF ALL ACCESS PANELS SO AS NOT TO INTERFERE WITH LOCATION AND REQUIRED MOUNTING HEIGHTS OF ALL PLUMBING FIXTURES, HAND DRYERS, ETC.

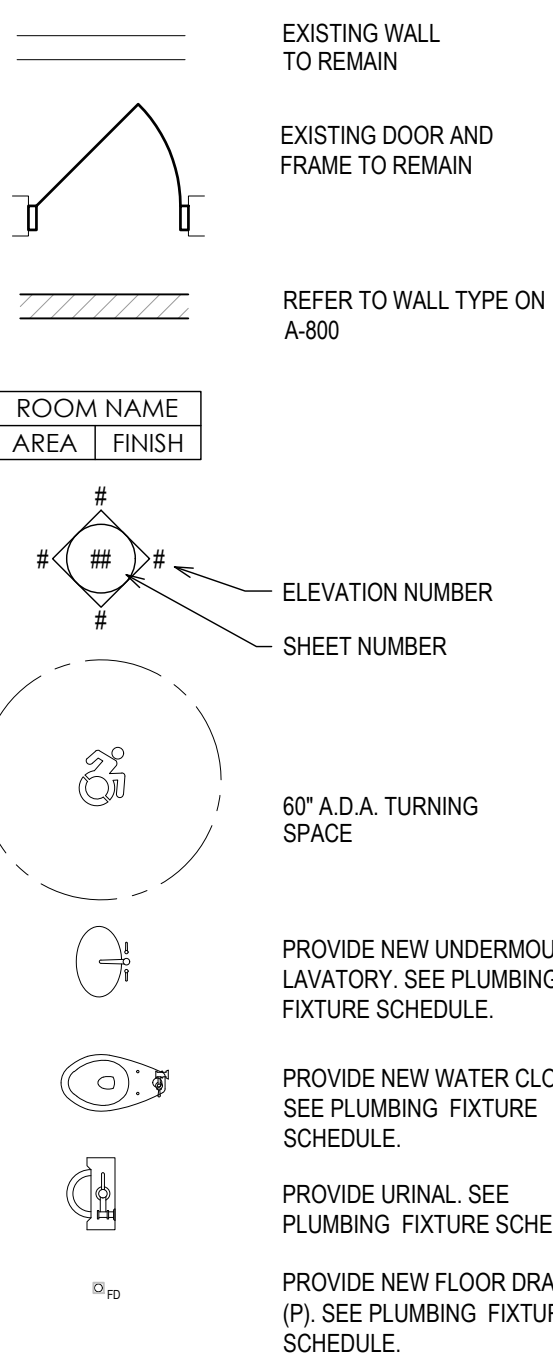
GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DISTURBED AREA, UNLESS OTHERWISE NOTED, SHOULD BE PATCHED TO MATCH EXISTING ADJACENT FINISHES INCLUDING TILE, BRICK, PLASTER, WAINSCOT, CEILING, FLOOR FINISHES, WALL BASE AND PAINTING AS REQUIRED.
- ALL FINISHES AND COLORS SHALL BE SELECTED BY THE ARCHITECT/ OWNER. THE CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH THE NEW WORK.
- REFER TO SHEET A-011 FOR TYP. CLASSROOM ELEVATIONS
- PATCH & REPAIR EXISTING BLOCK WALL AT REMOVAL OF DEVICES & EQUIPMENT. TYP. EXISTING FIRE ALARM DEVICES AFFECTED DURING DEMOLITION & CONSTRUCTION TO BE REMOVED & REINSTALLED BY DISTRICT FIRE ALARM VENDOR.

CONSTRUCTION KEY NOTES AS KEYED BY [N#] ON PLAN:

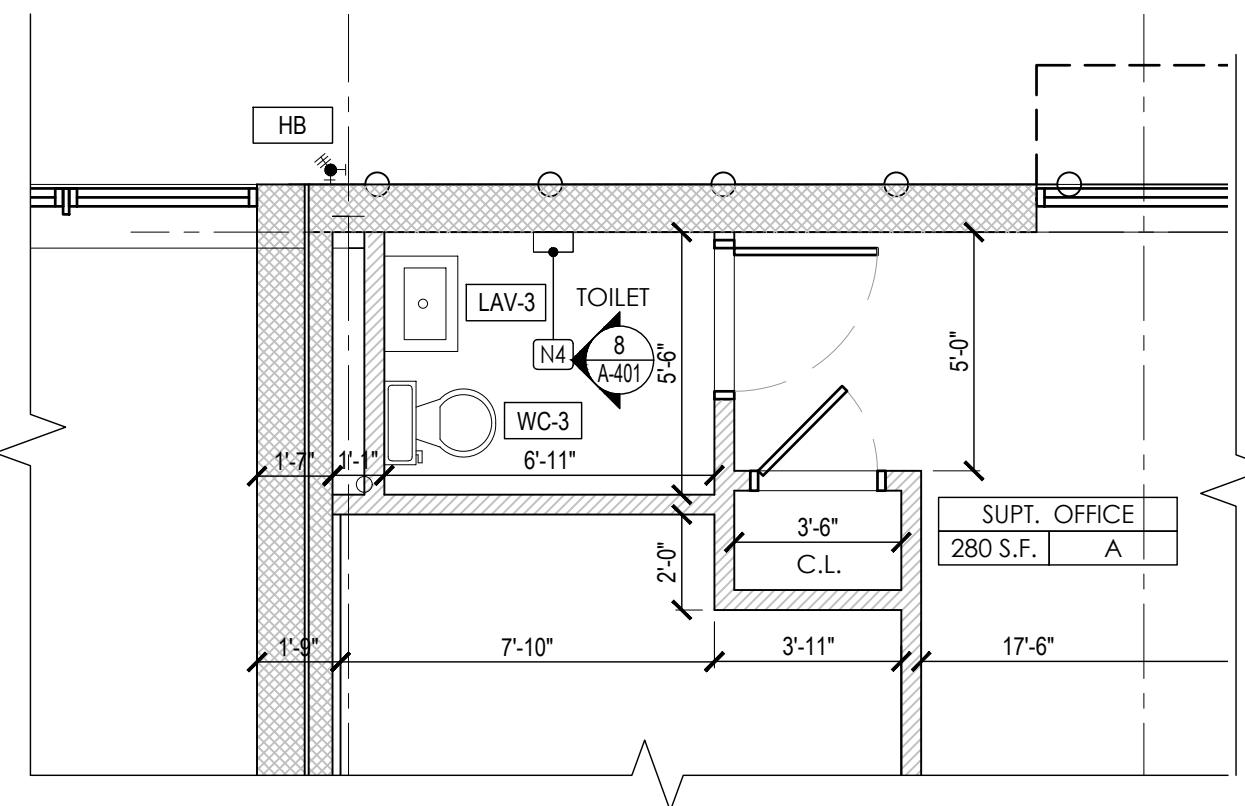
- [N1] PROVIDE 2"x2" CERAMIC TILE FLOORING AND SLOPE TO FLOOR DRAIN. PROVIDE GLAZED CERAMIC WALL TILES AND BASE. PROVIDE NEW 2"x2" SUSPENDED ACOUSTICAL CEILING TILE SYSTEM. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- [N2] PROVIDE MARBLE SADDLE AS NEEDED. COLOR SELECTED BY SCHOOL DISTRICT. SEE DOOR SCHEDULE.
- [N3] PROVIDE PHENOLIC TOILET PARTITION SYSTEM AND URINAL PRIVACY SCREENS WHERE REQUIRED. PARTITIONS TO BE FLOOR ANCHORED WITH OVERHEAD BRACED PILASTERS. COLOR TO BE SELECTED BY OWNER FROM MANUFACTURER'S FULL RANGE. PROVIDE WALL MOUNTED HAND DRYERS. ALL ELECTRIC WIRING AND JUNCTION BOXES TO BE RECESSED. SEE TOILET ACCESSORY SCHEDULE.
- [N4] PROVIDE NEW TOILET ACCESSORIES. TYPICAL. SEE TOILET ACCESSORY SCHEDULE AND REFER TO ELEVATIONS ON SHEET A-401.
- [N5] REMOVE EXISTING SHEETROCK AND INSTALL NEW 5'-0" H KNEE WALL WITH TOP & BOTTOM GRILLE FOR AIR CIRCULATION.
- [N6] REMOVE EXISTING SHEETROCK AND INSTALL NEW 5'-0" H KNEE WALL WITH TOP & BOTTOM GRILLE FOR AIR CIRCULATION.
- [N7] PROVIDE & INSTALL FULL HEIGHT WALL TILE T-01 AROUND MOP SINK

CONSTRUCTION LEGEND:

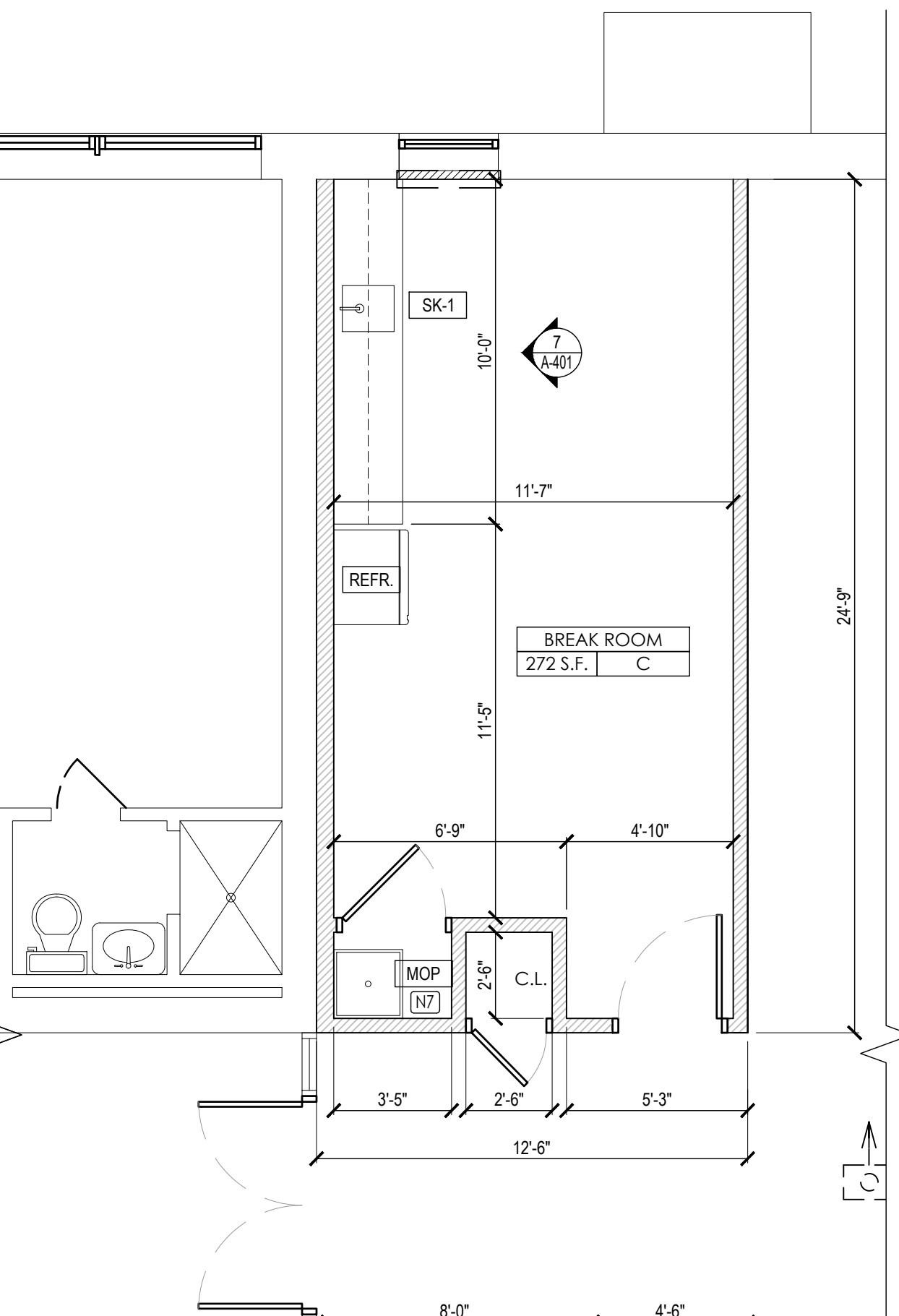


PLUMBING FIXTURE SCHEDULE

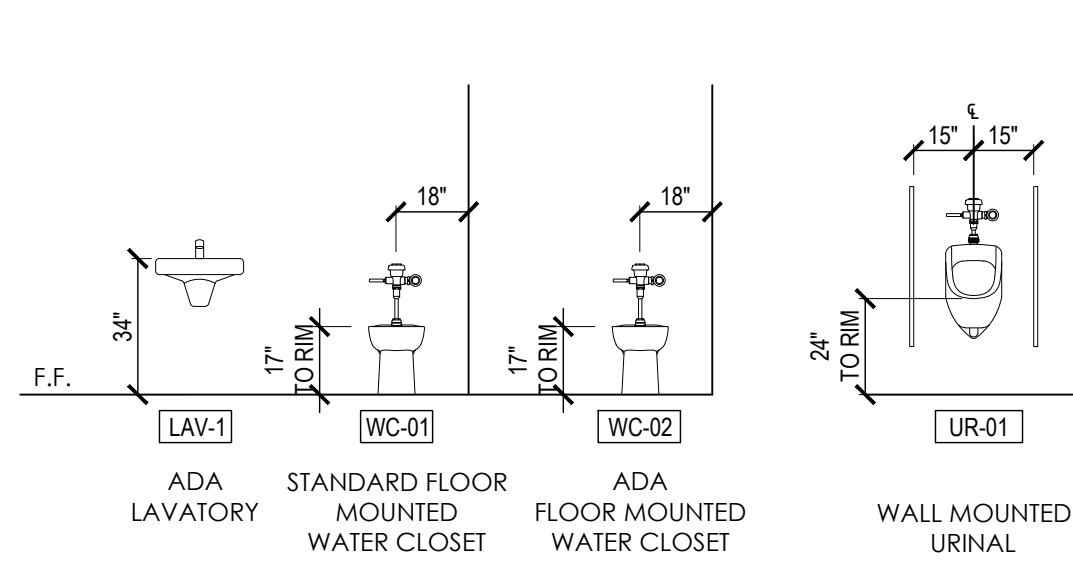
SYMBOL	ABBR.	DESCRIPTION	SOIL	VENT	CW	HW	MOUNTING HEIGHT RIM A.F.F.	MODEL	FAUCET / FLASHOMETER	REMARKS	NUMBER OF FIXTURES
	LAV-1	LAVATORY	2"	1 1/2"	1/2"	1/2"	34"	WALLMOUNTED /VESSEL BATHROOM SINK NAMEEK'S SCARABEO 8031R-100B	WITH (2) NAMEEK'S CLASS LINE REMER L11USNL-CR SINGLE-HANDLE FAUCETS	WITH (2) DURABLE ROUND BRASS SINK P-TRAPS & BRASS CLICK CLARK POP-UP WASTE WITH OVERFLOW	1
	LAV-2	LAVATORY	2"	1 1/2"	1/2"	1/2"	34"	WALLMOUNTED /VESSEL BATHROOM SINK NAMEEK'S SCARABEO 8031R-120B	WITH (2) NAMEEK'S CLASS LINE REMER L11USNL-CR SINGLE-HANDLE FAUCETS	WITH (2) DURABLE ROUND BRASS SINK P-TRAPS & BRASS CLICK CLARK POP-UP WASTE WITH OVERFLOW	1
	LAV-3	LAVATORY	2"	1 1/2"	1/2"	1/2"	34"	WALLMOUNTED /DROP IN BATHROOM SINK NAMEEK'S SCARABEO 3004		SMITH: 0750 CARRIER, 1/2" STOPS, 1 1/2" CP CAST BRASS TRAP, WALL EXCUTEIONS.	1
	SK-1	COUNTER SINK	2"	1 1/2"	1/2"	1/2"	25" X 20"	ELKAY ESSB-2520C STAINLESS STEEL SERVICE SINK	LK-400 ROUGH BRASS C.P. MIXING FAUCET, SPOUT WITH 3/4" HOSE THREAD.	CAST IRON P TRAP.	1
	UR-1	URINAL	2"	1 1/2"	1"	-	24"	KOHLER DEXTER URINAL MODEL# K-5016-ETSS OR EQUAL	SLOAN ROYAL MANUAL FLUSHOMETER MODEL # ROYAL 186	FLUSH OUTLET TECHNOLOGY SIPHON JET. INSTALL THIS PRODUCT ACCORDING TO THE INSTALLATION INSTRUCTIONS.	1
	WC-1	WATER CLOSET	4"	2"	1/2"	-	15"	KOHLER WELLCOME ULTRA TOILET BOWL MODEL #K-96053 WITH COMMERCIAL TOILET SEAT MODEL #K-4670	SLOAN ROYAL EXPOSED MANUAL FLUSHOMETER MODEL # ROYAL 116	TOILETS SITTING HEIGHT IS 15". PLEASE SEE MANUFACTURE SPECIFICATIONS FOR INSTALLATION DETAILS. WATER HAMMER ARRESTOR AND CONNECTION POINTS TO BE EQUAL IN DIAMETER TO THE PIPE TO WHICH IT IS INSTALLED.	1
	WC-2	ADA WATER CLOSET	4"	2"	1/2"	-	16 1/2"	KOHLER HIGHCLIFF ULTRA, ELONGATED BOWL MODEL #K-96057-SS ADA WITH COMMERCIAL TOILET SEAT MODEL #K-4670	SLOAN ROYAL EXPOSED MANUAL FLUSHOMETER MODEL # ROYAL 116	TOILETS SITTING HEIGHT IS 16 1/2". PLEASE SEE MANUFACTURE SPECIFICATIONS FOR INSTALLATION DETAILS. WATER HAMMER ARRESTOR AND CONNECTION POINTS TO BE EQUAL IN DIAMETER TO THE PIPE TO WHICH IT IS INSTALLED.	2
	WC-3	WATER CLOSET	4"	2"	1/2"	-	16 1/2"	KOHLER HIGHCLIFF ULTRA, ELONGATED BOWL MODEL #K-96057-SS ADA WITH COMMERCIAL TOILET SEAT MODEL #K-4670	SLOAN ROYAL EXPOSED MANUAL FLUSHOMETER MODEL # ROYAL 116	TOILETS SITTING HEIGHT IS 16 1/2". PLEASE SEE MANUFACTURE SPECIFICATIONS FOR INSTALLATION DETAILS. WATER HAMMER ARRESTOR AND CONNECTION POINTS TO BE EQUAL IN DIAMETER TO THE PIPE TO WHICH IT IS INSTALLED.	2
	FD	FLOOR DRAIN	3"	2"	-	-	-	SERIES 2005-A BY J.R. SMITH OR EQUAL	-	FLOOR DRAINS SHALL HAVE DUCO CAST IRON BODY, DRAINAGE FLANGE & ROUND ADJUSTABLE NICKEL-BRONZE STRAINER HEADS W/ TAMPER PROOF SCREWS W/ TRAP PRIMER. TRAP PRIMER ASSEMBLY. PROVIDE TO EACH FLOOR DRAIN WITH 1/2" K COPPER FROM TRAP TO F.D.	AS RQD
	MOP	MOP SINK	3"	1 1/2"	3/4"	3/4"	-	ELKAY STAINLESS STEEL 32X24" MOP SINK FLR-2X WITH SKIRT, NO-CAULK DRAIN	LK-400 ROUGH BRASS C.P. MIXING FAUCET, SPOUT WITH 3/4" HOSE THREAD.	CAST IRON P-TRAP	1
	REF	REFRIGERATOR W/ICE MAKER	-	-	-	-	-	-	-	-	-
	TP	TRAP PRIMER	-	-	-	-	-	MODEL P-2 BY PRECISION PLUMBING PRODUCTS OR EQUAL	-	-	-
	HB	HOSE BIBB	-	-	-	-	-	MODEL #55600T BY J.R. SMITH OR EQUAL	-	HOT AND COLD IN LOCK BOX WITH V/B	-



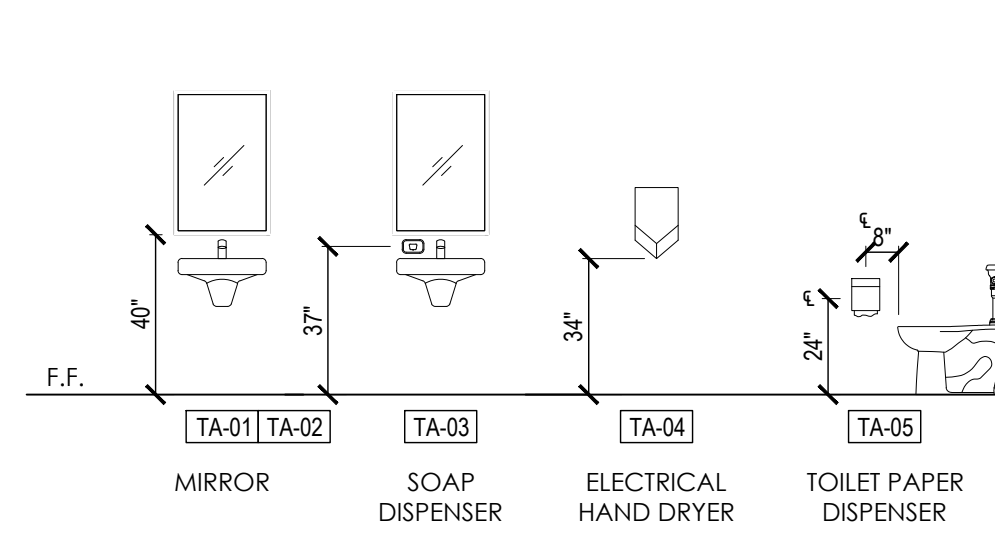
2 ENLARGED CONSTRUCTION PLAN AT OFFICE TOILET
SCALE: 1/4" = 1'-0"



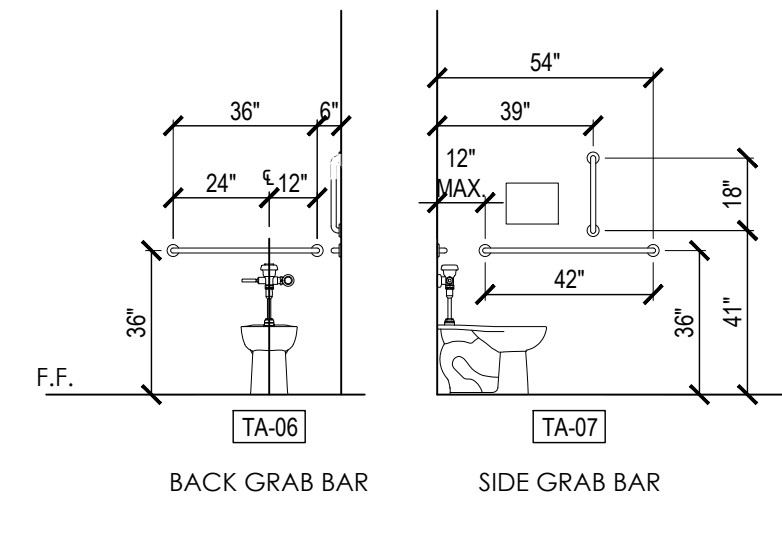
1 ENLARGED CONSTRUCTION PLAN AT TOILETS & BREAKROOM
SCALE: 1/4" = 1'-0"



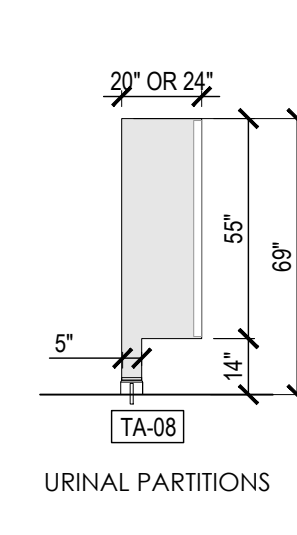
PLUMBING FIXTURE ELEVATIONS



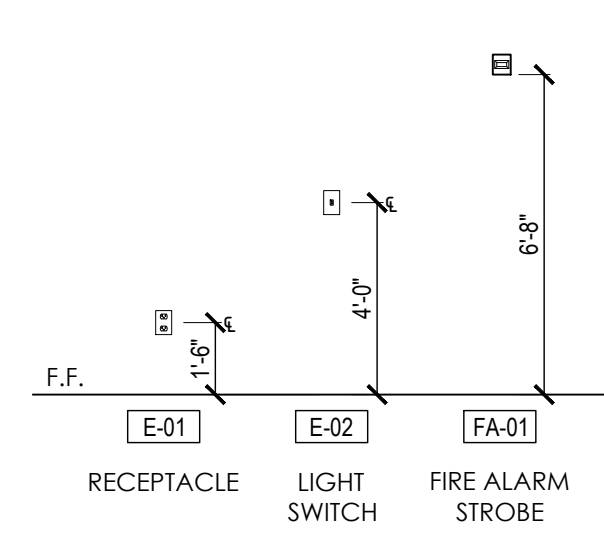
TOILET ACCESSORY ELEVATIONS



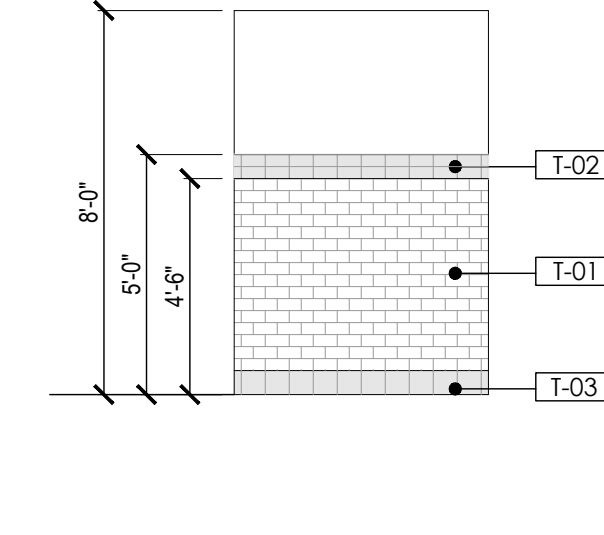
GRAB BAR ELEVATIONS



URINAL PARTITION ELEVATION



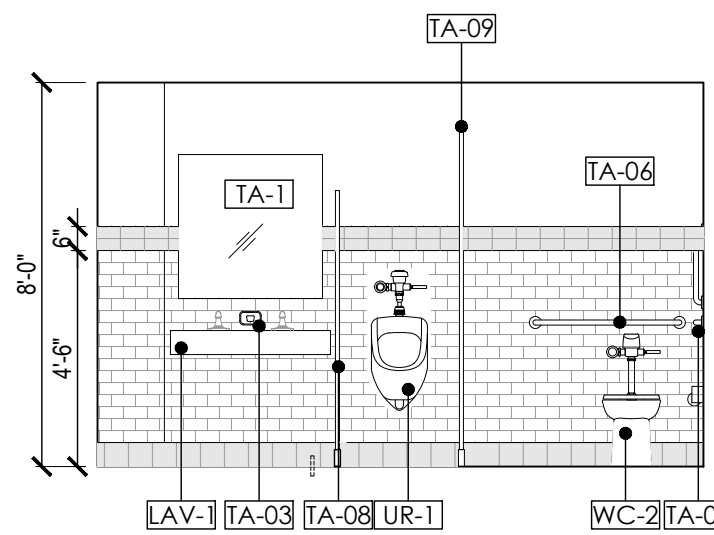
ELECTRICAL DEVICES ELEVATION



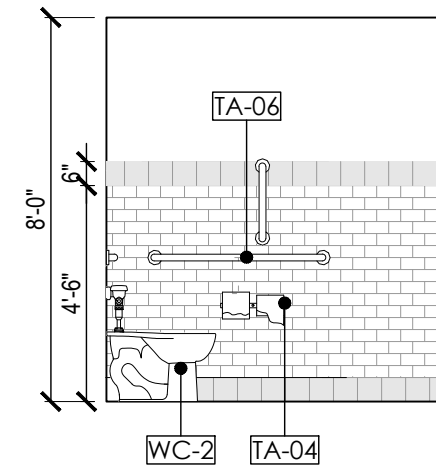
TYP. TILE ELEVATION

TYP. MOUNTING HEIGHT DIAGRAMS

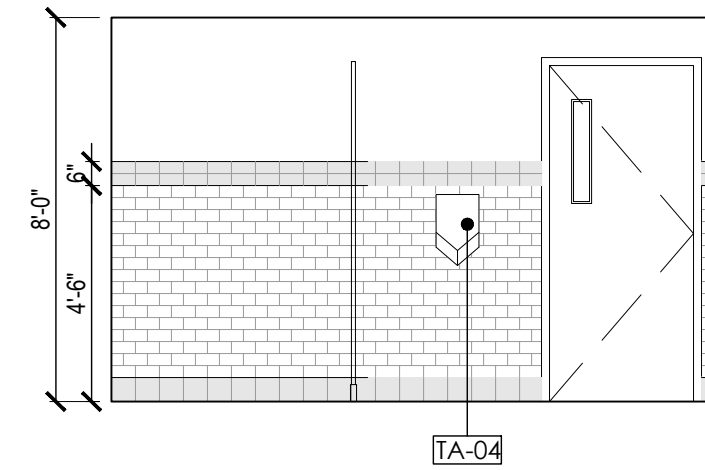
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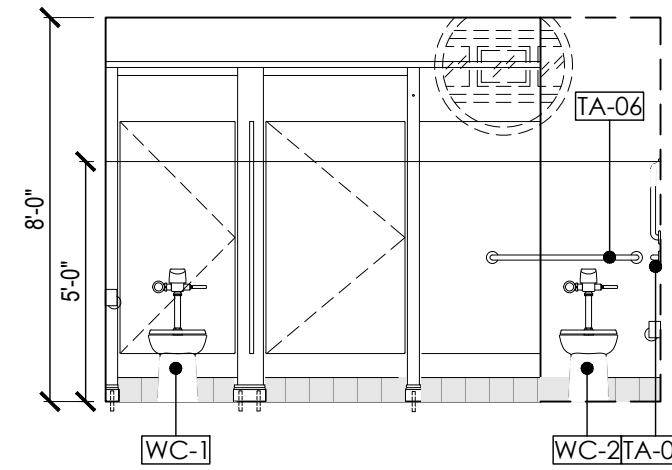
1 MENS TOILET ROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



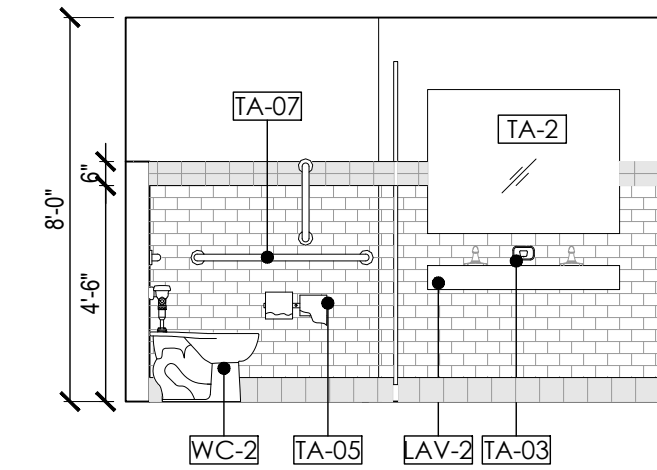
2 MENS TOILET ROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



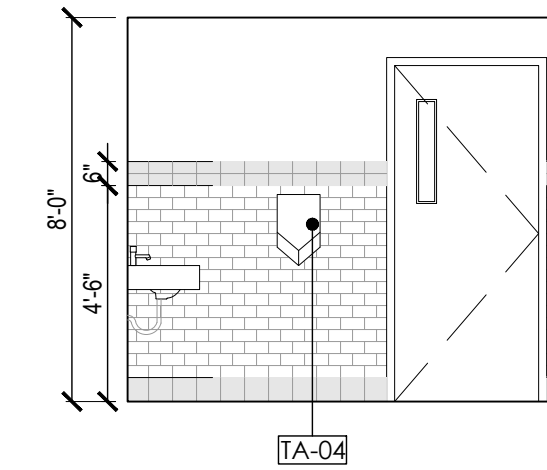
3 MENS TOILET ROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



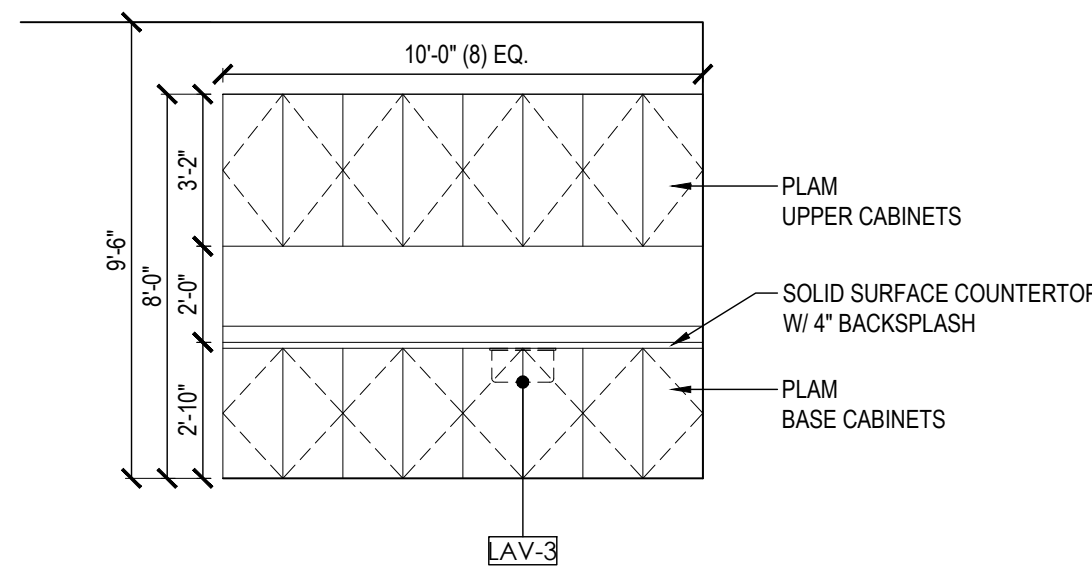
4 WOMENS TOILET ROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



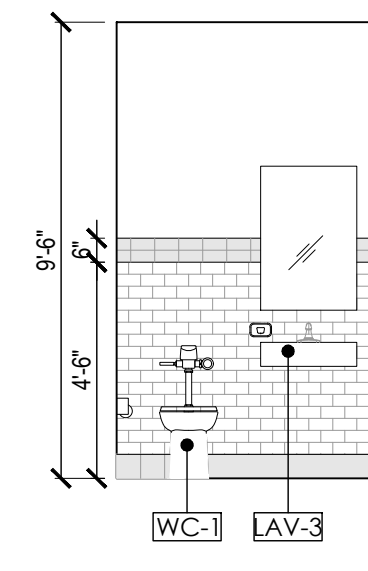
5 WOMENS TOILET ROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 WOMENS TOILET ROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



7 BREAKROOM INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



8 OFFICE TOILET INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

TOILET ROOM FINISH SCHEDULE

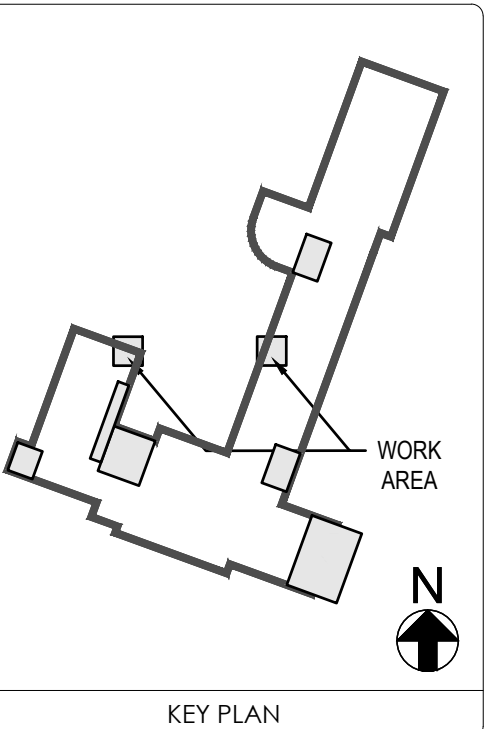
FINISH	LOCATION	MANUFACTURER / MODEL	DESCRIPTION	FINISH COLOR
T-01	WALL	DALTILE CLASSIC SERIES	3x6 SUBWAY WALL TILE IN BRICK PATTERN	-
T-02	WALL	DALTILE COLOR WAVE	3X6 ACCENT GLASS TILE STACKED HORIZONTALLY	-
T-03	BASE	DALTILE CLASSIC SERIES	3x6 SANITARY COVE BASE CORNERS AND FLOOR	-
T-04	FLOOR	DALTILE KEYSTONES	12X12 CERAMIC TILE ON SETTING BED	-

TOILET ACCESSORY SCHEDULE

NO.	TYPE	MANUFACTURER	DESCRIPTION	SIZE
TA-01	FRAMLESS MIRROR			3'-0"W x 3'-0"H
TA-02	FRAMLESS MIRROR			4'-0"W x 3'-0"H
TA-03	SOAP DISPENSER	N/A	FURNISHED BY OWNER, INSTALLED BY GC	N/A
TA-04	ELECT. HAND DRYER	EXCEL DRYER OR APPROVED EQUAL	THINAIR TA-SB BRUSHED STAINLESS STEEL. NOTE: ALL ELECTRIC WIRING AND J BOXES TO BE RECESSED	9 1/2"W X 14"H X 4"D
TA-05	TOILET PAPER DISPENSER	N/A	FURNISHED BY OWNER, INSTALLED BY GC	N/A
TA-06	36" GRAB BAR	AJW OR APPROVED EQUAL	UG3-A	36"
TA-07	42" GRAB BAR	AJW OR APPROVED EQUAL	UG3-A	42"
	18" GRAB BAR (MTD VERTICALLY)	AJW OR APPROVED EQUAL	UG3-A	18"
TA-08	24" PRIVACY SHIELD	SOLID PHENOLIC MANUFACTURED BY SCRANTON. GREY ORANGE PEEL	FLOOR ANCHORED	20"x69"
TA-09	TOILET PARTITIONS	SOLID PHENOLIC BY MANUFACTURED BY SCRANTON. GREY ORANGE PEEL	FLOOR ANCHORED WITH OVERHEAD BRACED PILASTERS	SEE PLAN



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COGNATE LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS. (See Appropriate Sections of NYS Education Law)



KEY PLAN

NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
INTERIOR ELEVATIONS - TOILETS & BREAKROOM

DRAWING NO.
A-401

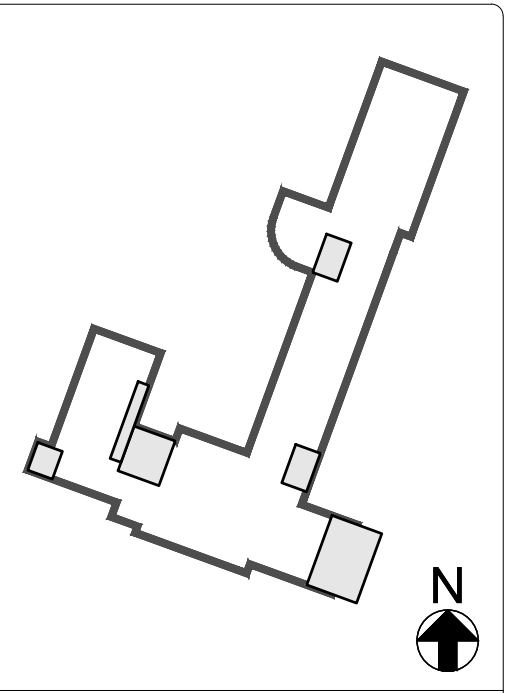
DATE
02/12/2021

PROJECT NO.
VS001-02



SEAL

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COGNATE LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS. (See Appropriate Sections of NYS Education Law)



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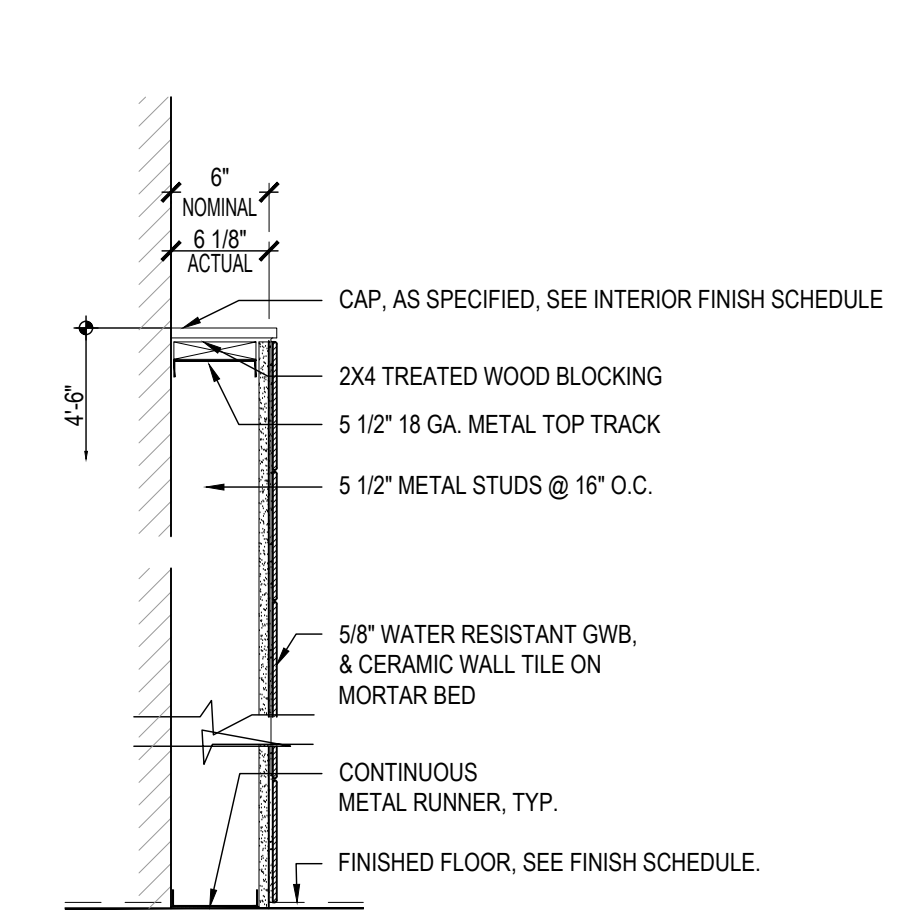
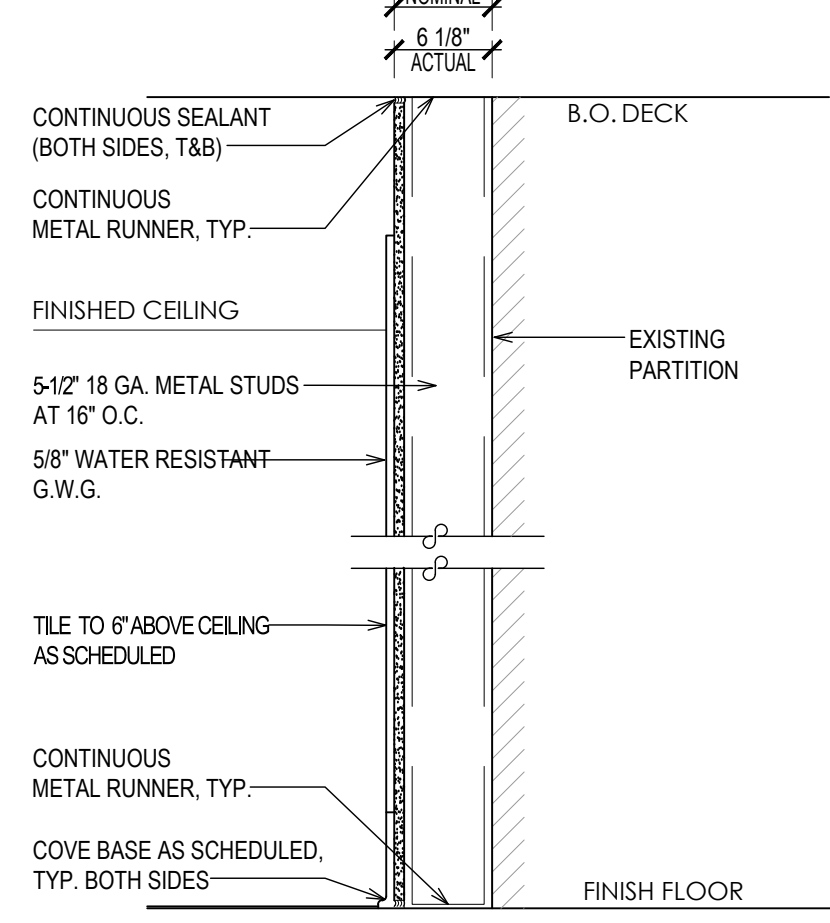
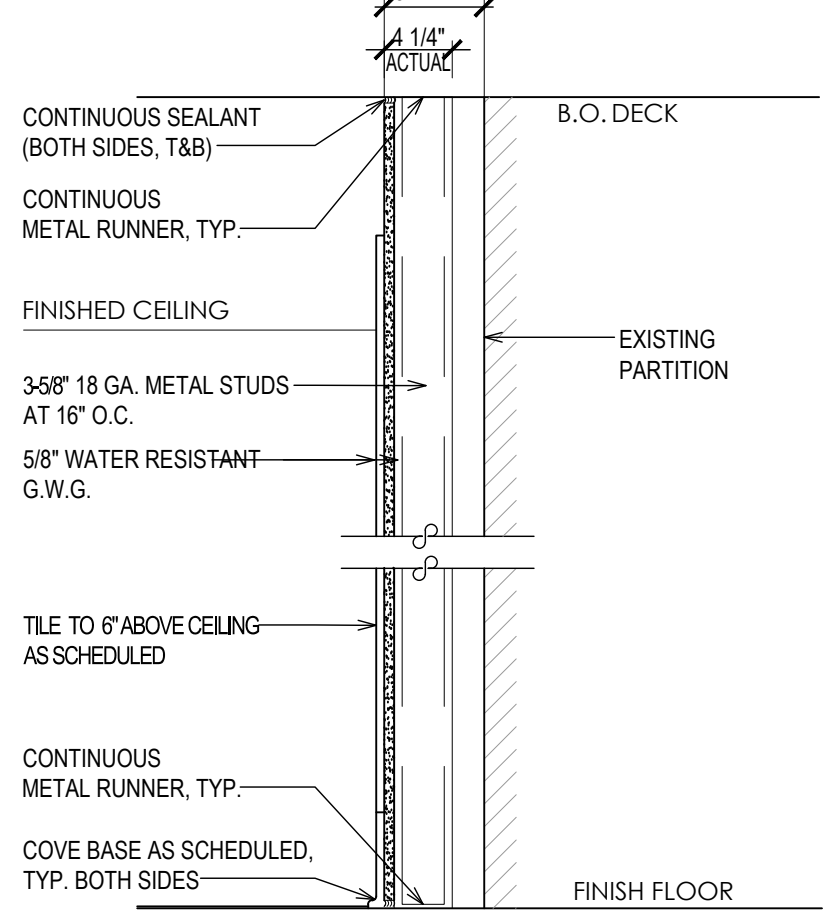
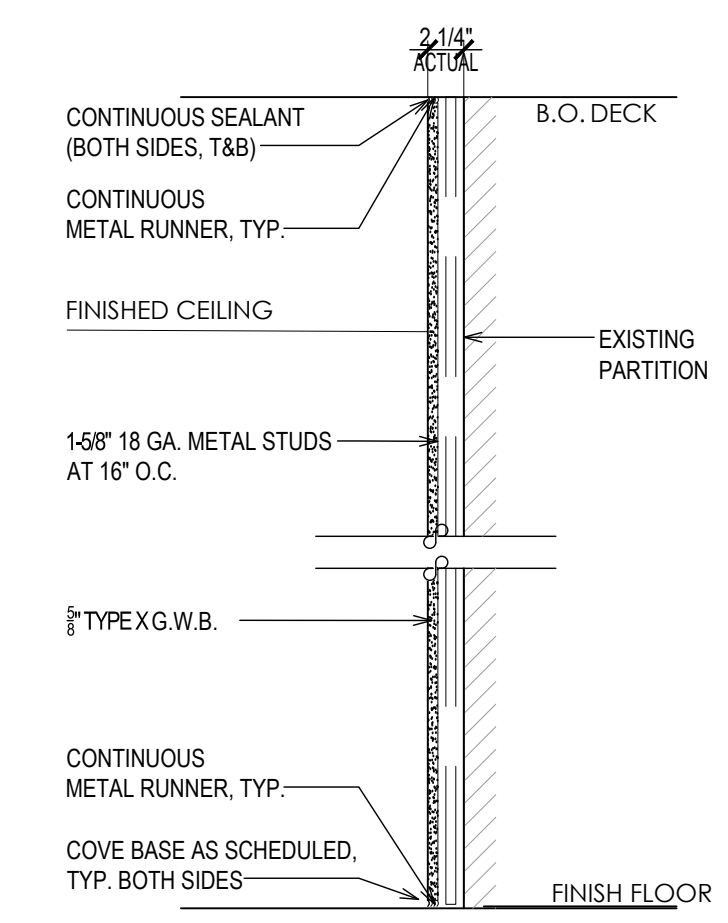
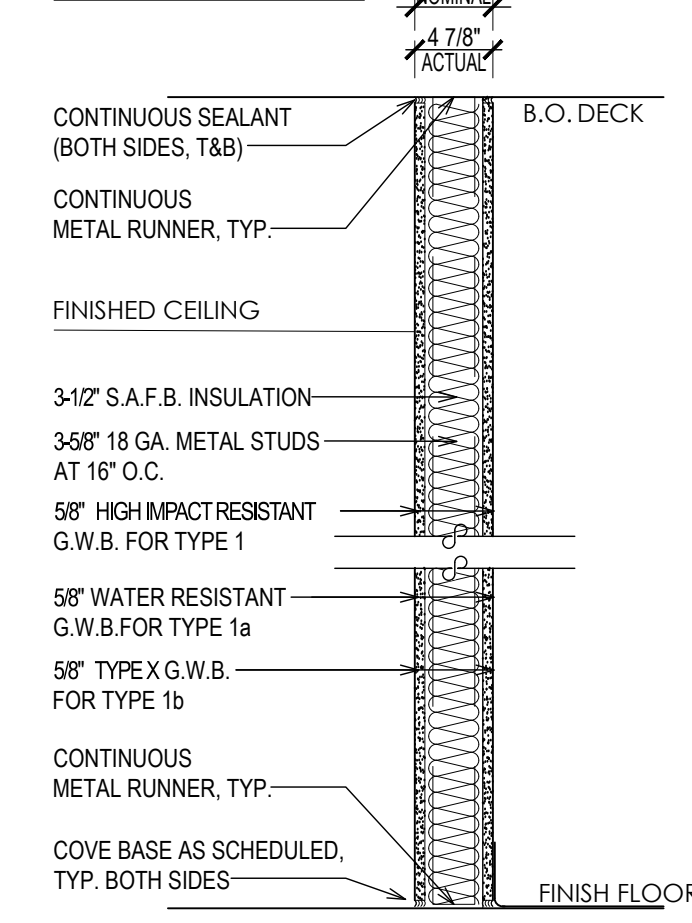
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WALL TYPES & PLAN SECTION DETAILS

DRAWING NO.: **A-800**

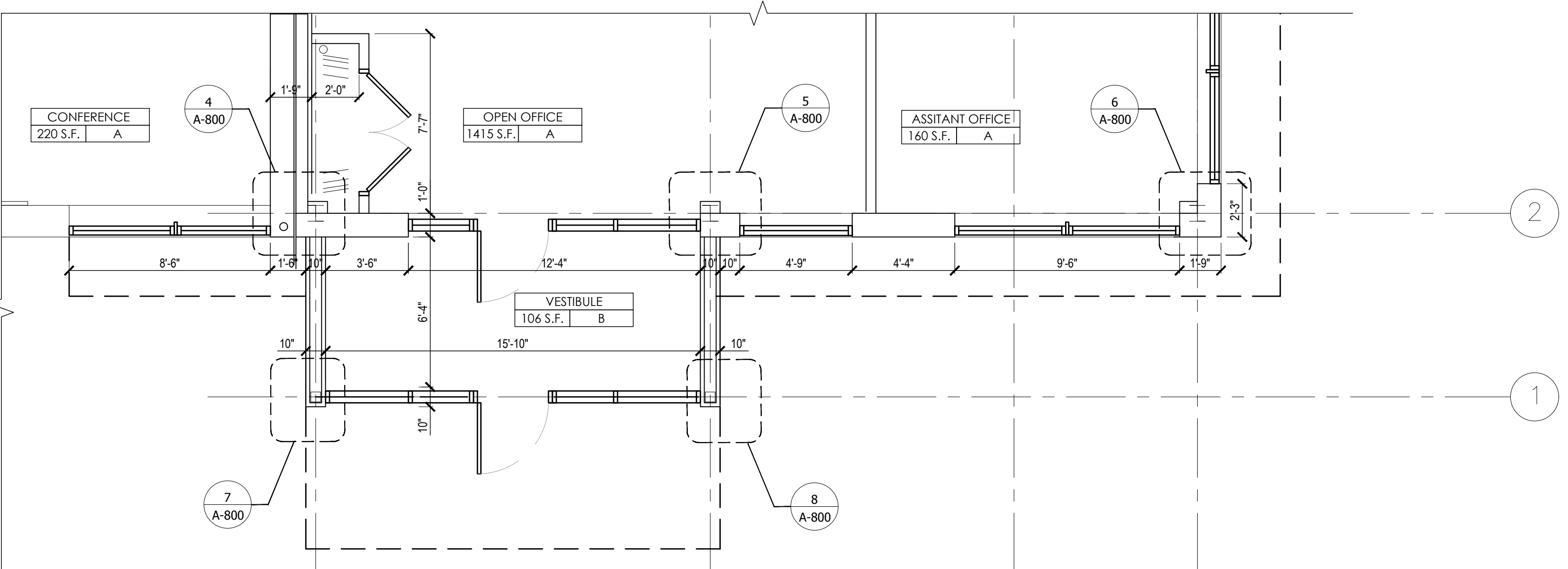
DATE: 02/12/2021
 PROJECT NO.: VS001-02

NOTE: NOTES ARE TYPICAL FOR BOTH SIDES OF CHASE

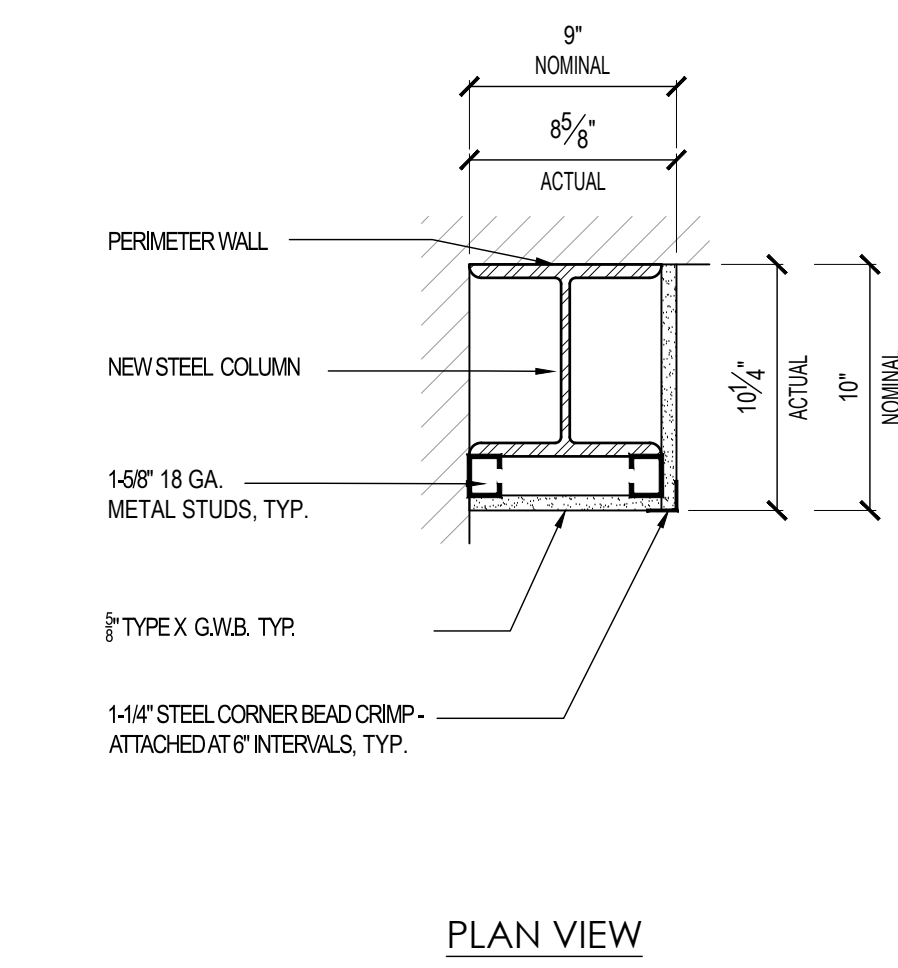


- 1 NON-RATED METAL STUD WALL
- 1a NON-RATED METAL STUD WALL AT WET AREA
- 1b 1-HR FIRE RATED METAL STUD WALL (UL 419)

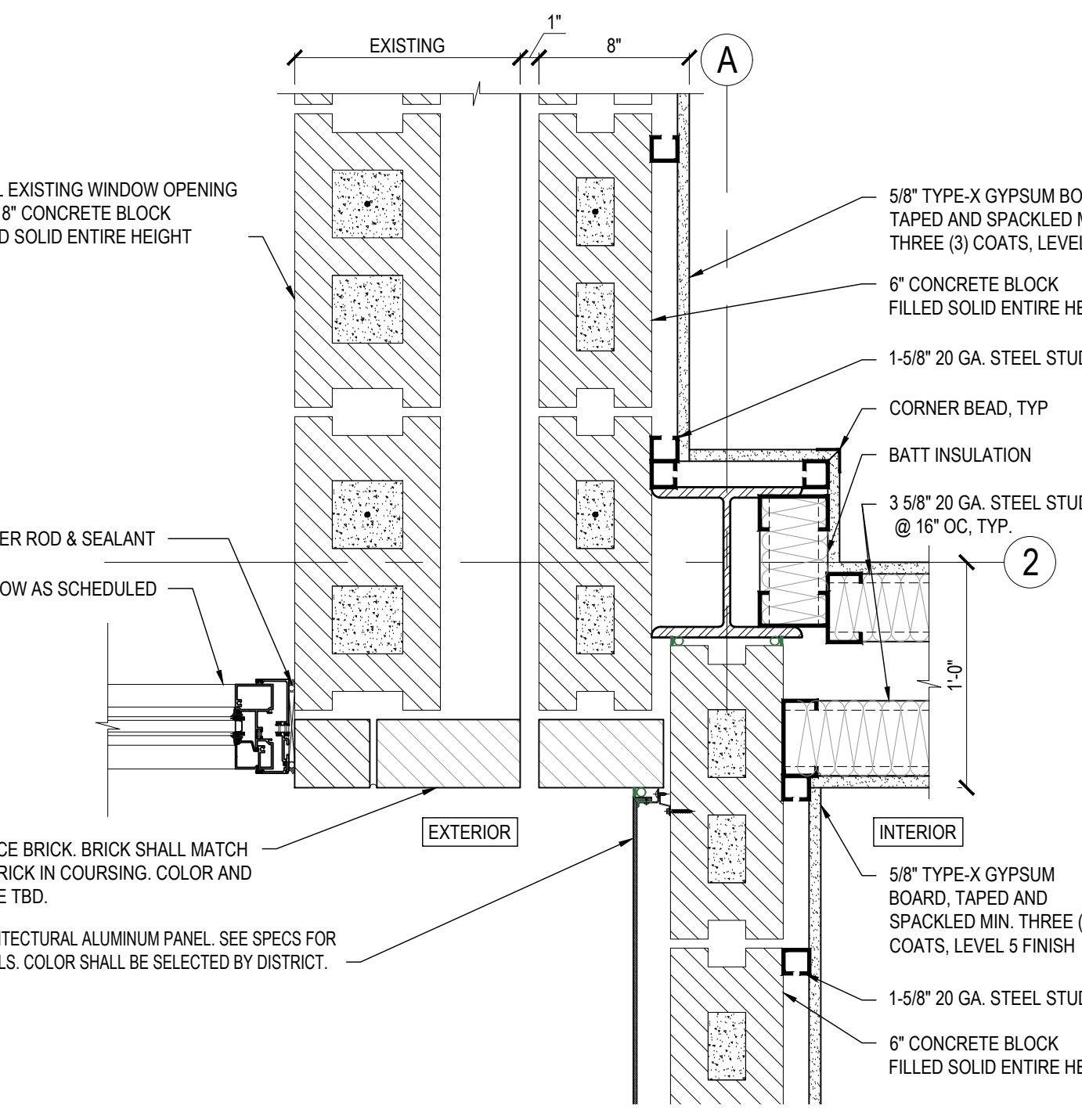
1 TYPICAL PARTITION TYPES
 SCALE: 1" = 1'-0"



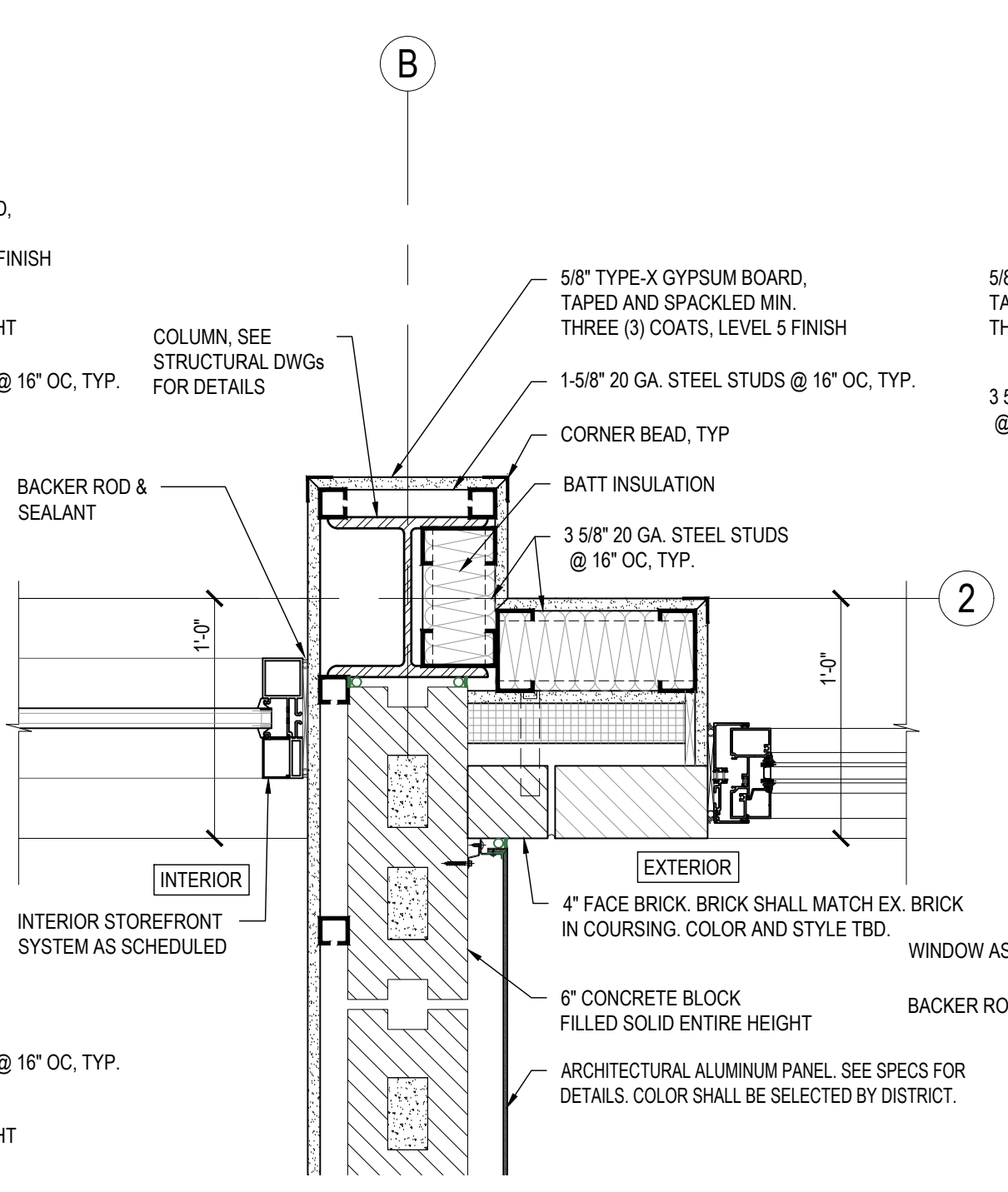
2 ENLARGED PLAN SECTION
 SCALE: 1/4" = 1'-0"



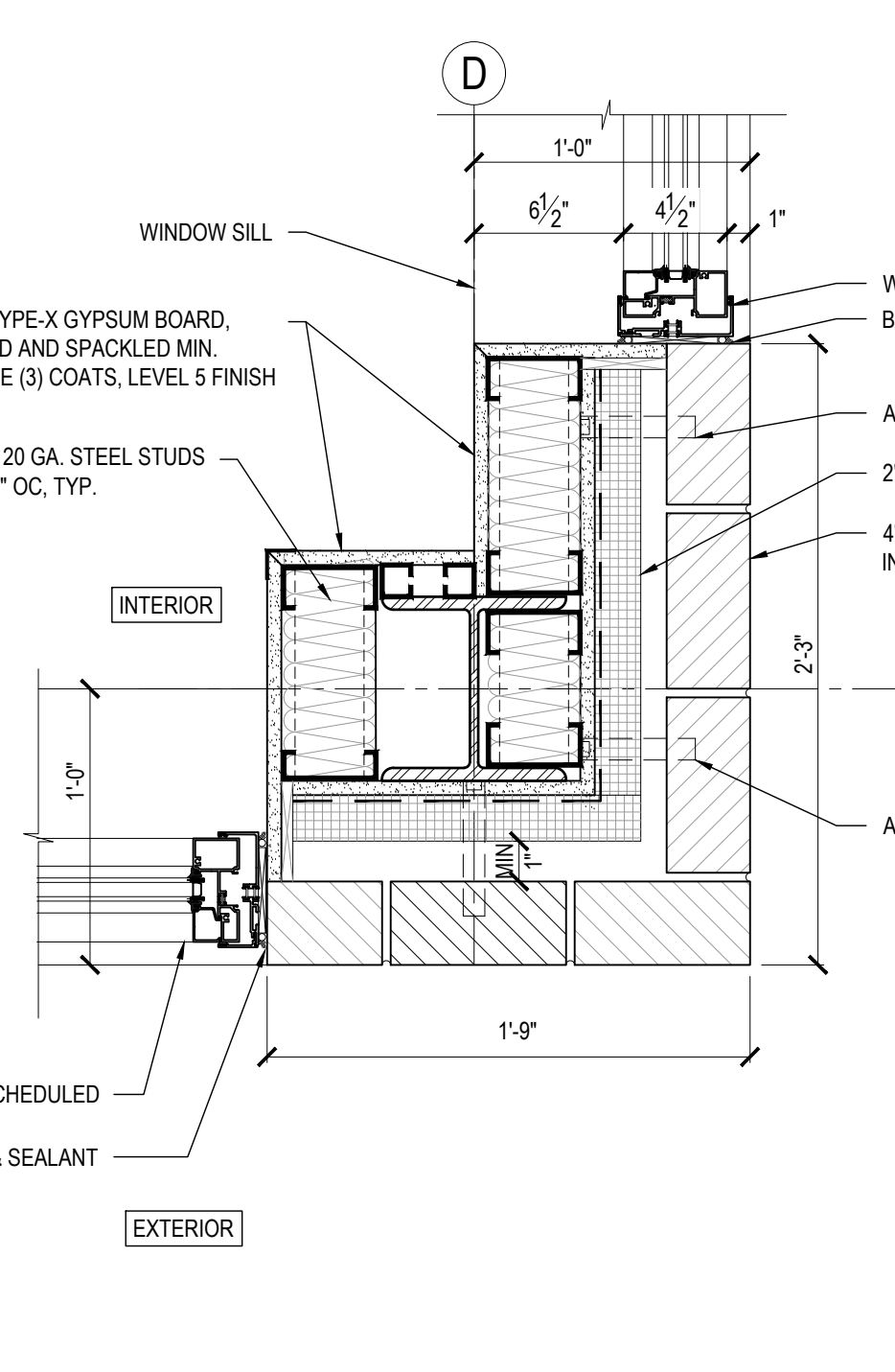
3 TYP. COLUMN ENCLOSURE DETAIL
 SCALE: 1 1/2" = 1'-0"



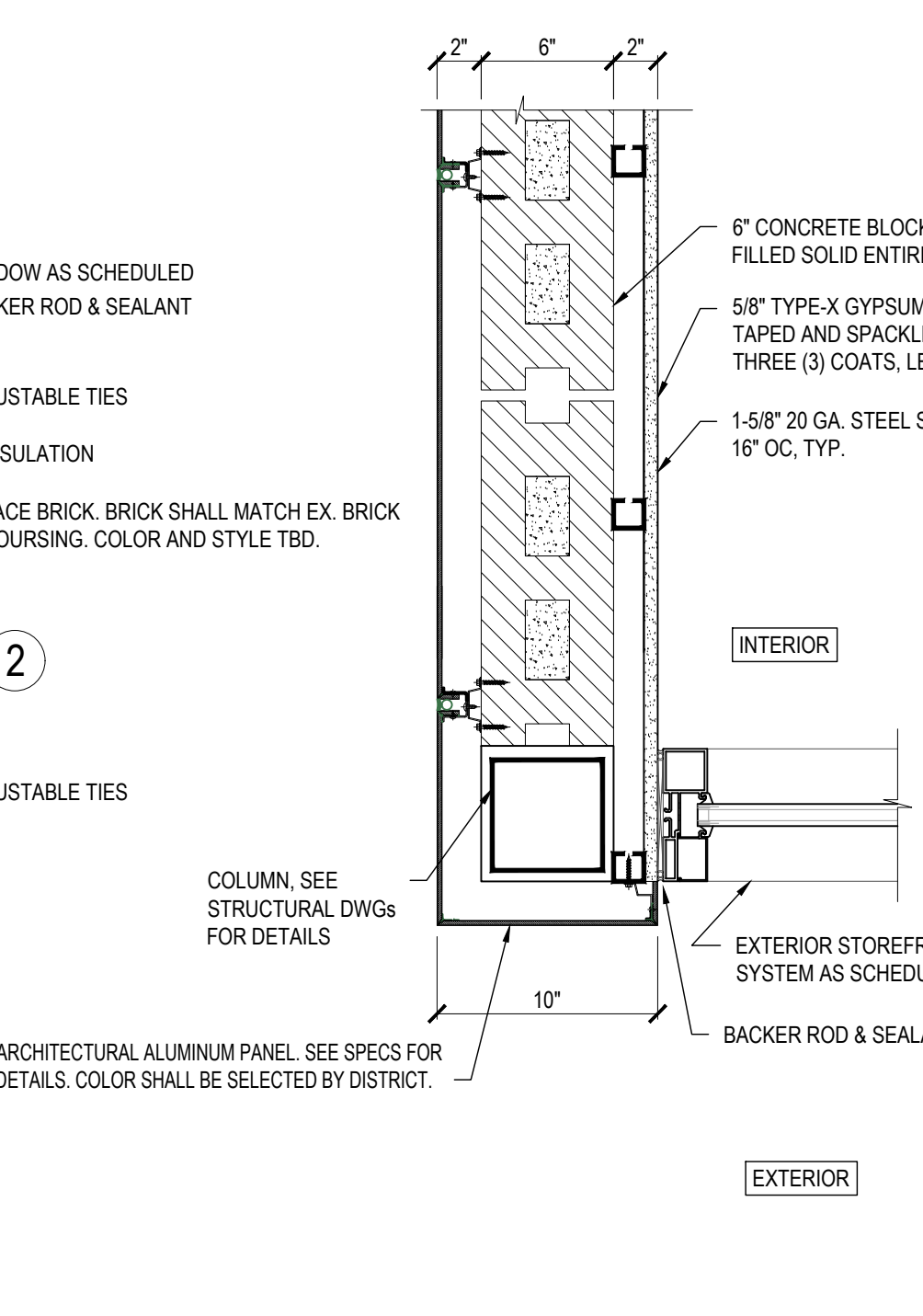
4 PLAN SECTION DETAIL
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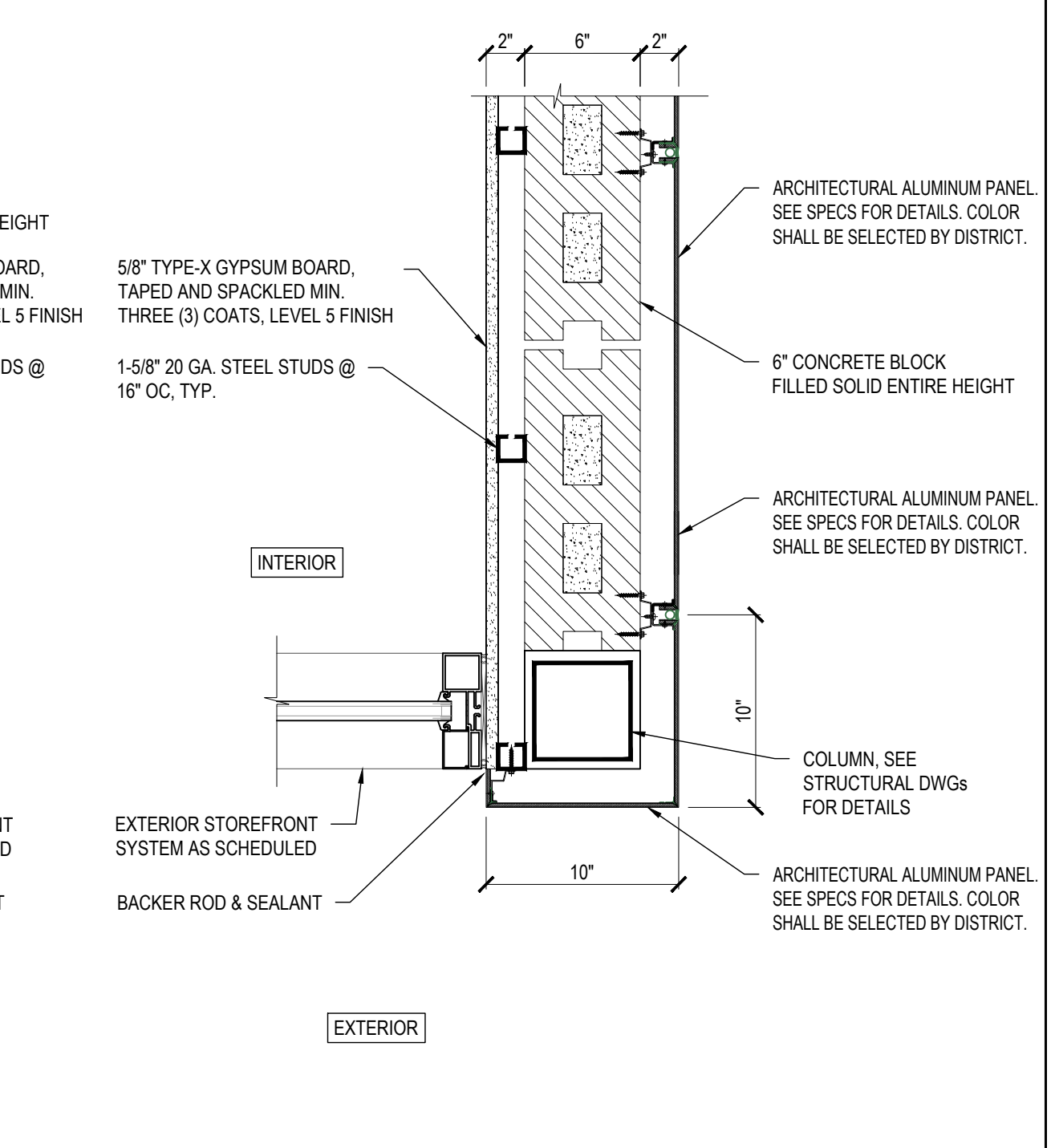
5 PLAN SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



6 PLAN SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



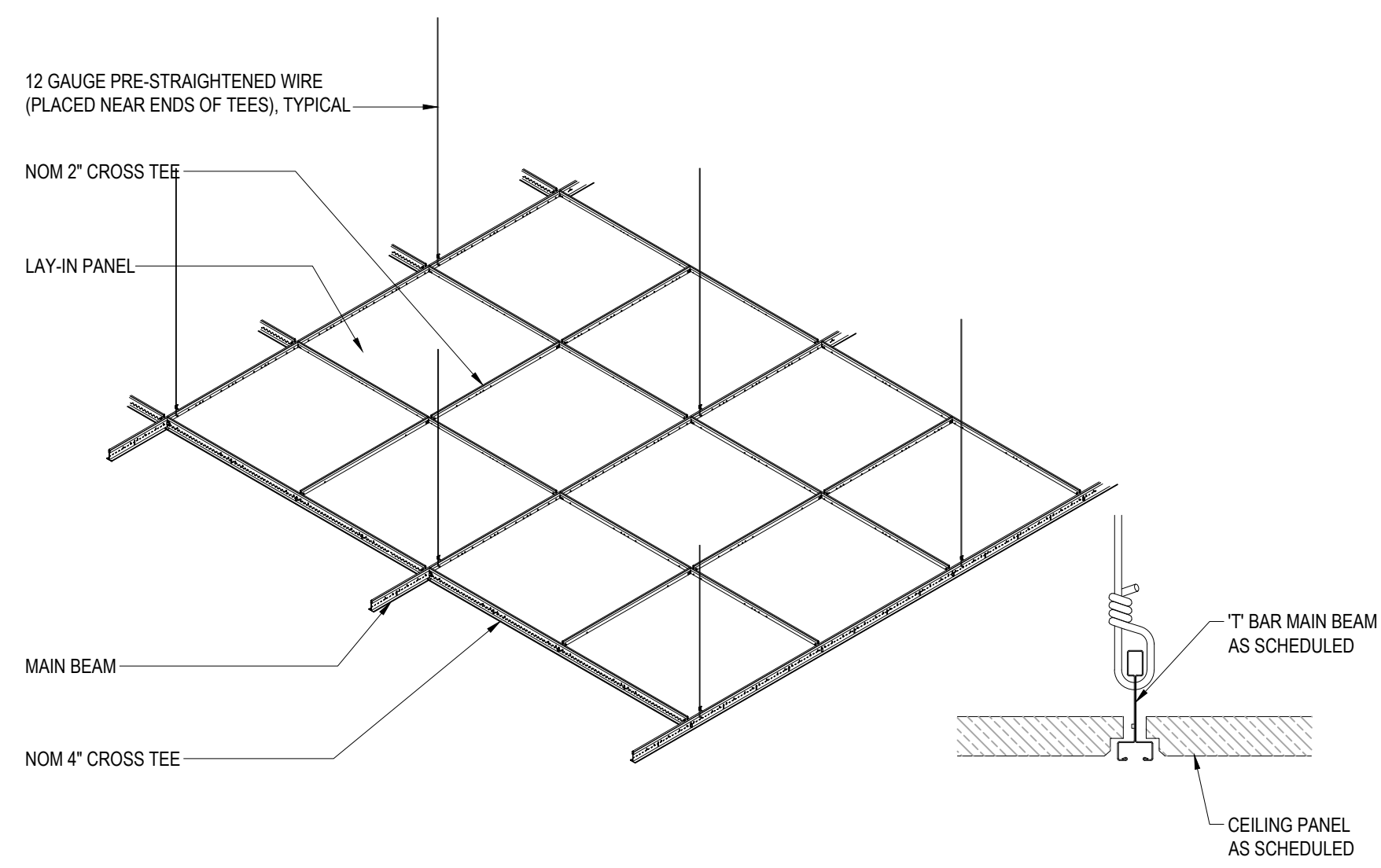
7 PLAN SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



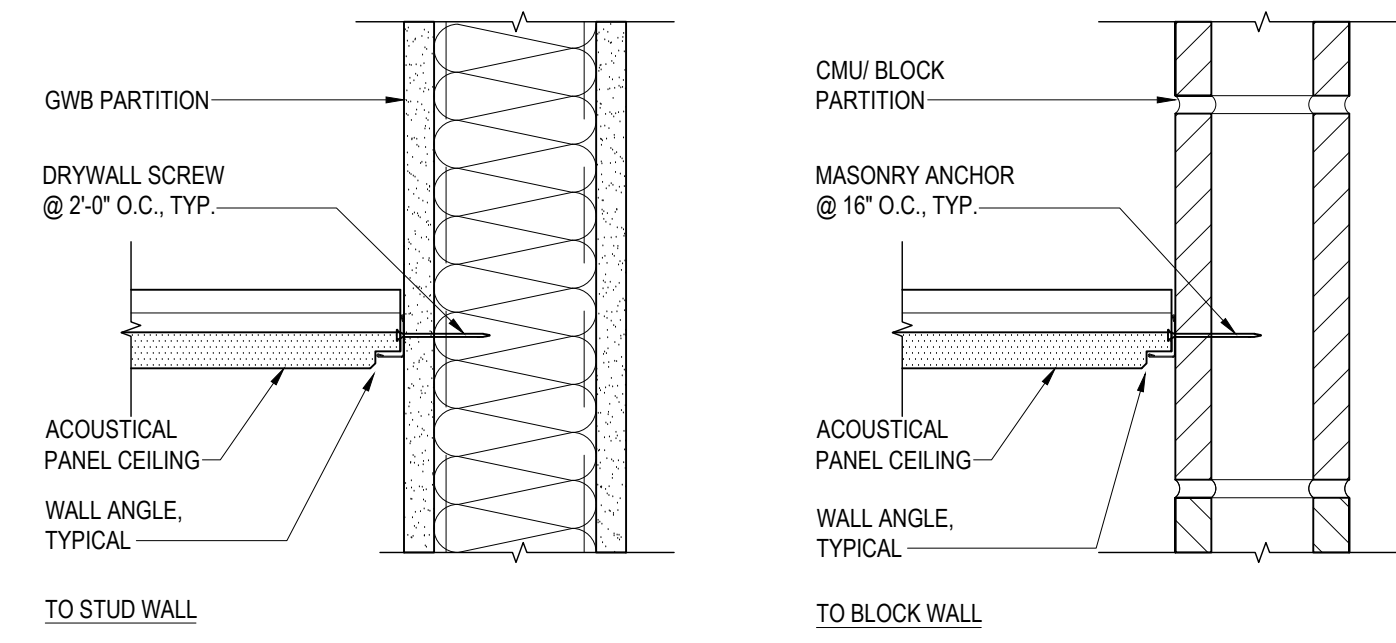
8 PLAN SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"

PARTITION TYPE NOTES

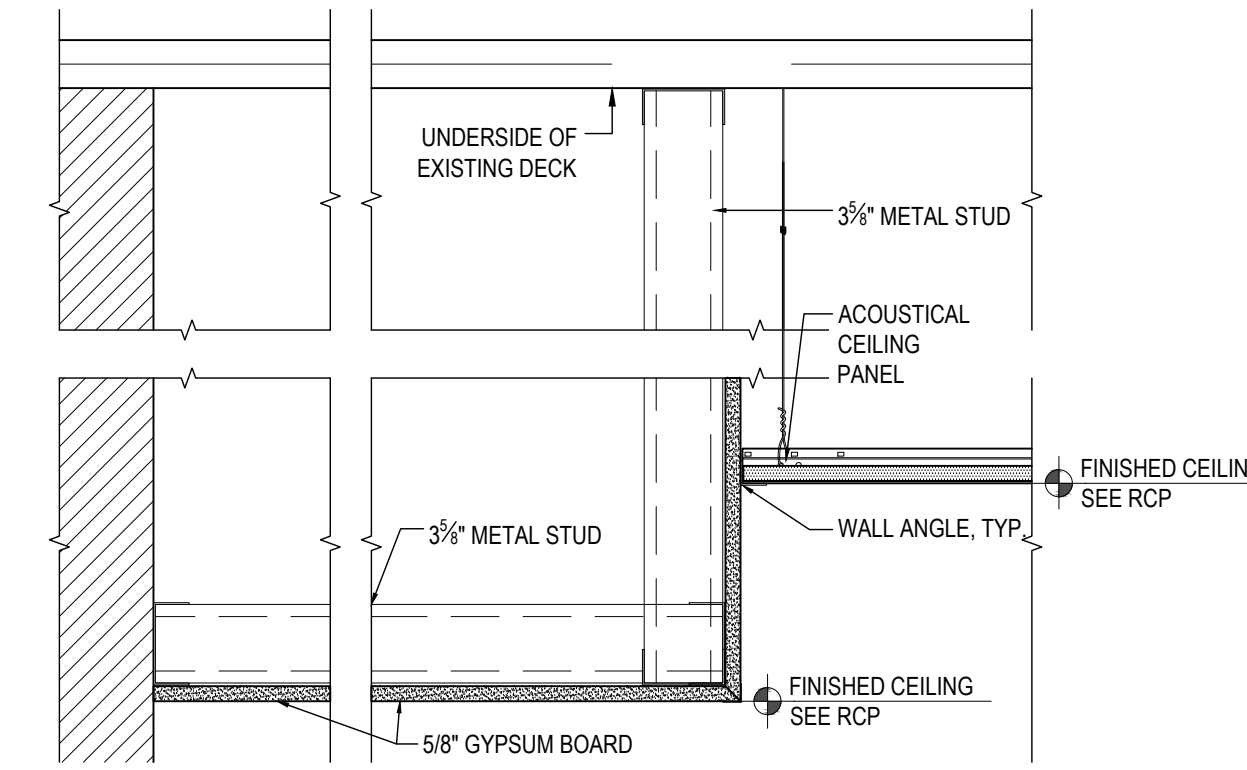
1. ALL WALL PARTITIONS SHALL BE FROM STRUCTURE BELOW TO UNDERSIDE OF STRUCTURAL DECK ABOVE, TYPICAL UNLESS NOTED OTHERWISE.
2. PROVIDE CONTINUOUS SOLID METAL TOP AND BOTTOM TRACKS AT ALL METAL STUD WALLS. PROVIDE CONTINUOUS DEFLECTION TRACK AT ALL WALL PARTITIONS SECURED TO STRUCTURE ABOVE, TYPICAL.
3. PROVIDE FIRE STOPPING, FIRE SAFING AND FIRE RATED SEALANT AT ALL VOIDS AND PENETRATIONS IN FIRE RATED ASSEMBLIES.
4. WHERE FIRE RATED PARTITIONS ARE LOCATED UNDER STEEL BEAMS OR JOISTS, EXTEND FIRE RATED CONSTRUCTION TO UNDERSIDE OF STRUCTURAL DECK ABOVE BY PROVIDING FIRE RATED CONSTRUCTION AROUND BEAM OR JOIST EQUAL TO FIRE RATING OF WALL BELOW.
5. MAINTAIN CONTINUITY OF ALL FIRE RATED PARTITIONS THROUGH NON RATED PARTITIONS, WHERE NON RATED PARTITIONS ABUT OR BEHIND CASEWORK, FIRE EXTINGUISHERS, ETC. TYPICAL.
6. PROVIDE ALL CUT UNITS, ADDITIONAL FRAMING/BLOCKING, SEALANT, FIRE SAFING ETC. AS REQUIRED TO SEAL AROUND OR BETWEEN ALL CONSTRUCTION ELEMENTS AFFECTED BY NEW WALL CONSTRUCTION, TYPICAL UNLESS NOTED OTHERWISE.
7. SEE ROOM FINISH SCHEDULE FOR WALL TILE, VINYL WALL COVERING AND PAINT LOCATIONS, TYPICAL.
8. PROVIDE CONTINUOUS TAPEABLE EDGE BEAD AT ALL GYPSUM WALLBOARD LOCATIONS ABUTTING NEW OR EXISTING DISSIMILAR MATERIALS, TYPICAL UNLESS NOTED OTHERWISE.
9. SEE STRUCTURAL DRAWINGS FOR BOND BEAMS, REINFORCING, GROUTING, BRACING AND LOAD BEARING ASSEMBLIES.
10. G.C. SHALL INSTALL CONTINUOUS 6" WIDE 16 GA. GALVANIZED STEEL STRAP BLOCKING ACROSS FACE OF STUDS AT NEW METAL STUD WALLS TO RECEIVE NEW CASEWORK, SHELVING, TALL CASEWORK, TOILET PARTITIONS, TOILET ACCESSORIES, LOCKERS OR OTHER WALL MOUNTED/SECURED EQUIPMENT. SEE EQUIPMENT DRAWINGS, PARTIAL PLANS AND INTERIOR ELEVATIONS FOR MORE INFORMATION. COORDINATE IN FIELD EXACT LOCATIONS WITH PRIME CONTRACTOR AND SUBCONTRACTOR. PROVIDE TYPICAL STEEL STRAP BLOCKING AT NEW CASEWORK LOCATIONS AS FOLLOWS:
 - A. TOP AND BOTTOM OF BASE CABINETS
 - B. TOP AND BOTTOM OF WALL CABINETS
 - C. TOP, BOTTOM AND MIDPOINT OF TALL CABINETS
 - D. TOP, BOTTOM AND MIDPOINT OF COUNTERTOP SUPPORTS
 - E. TOP, BOTTOM AND MIDPOINT OF SHELF STANDARDS



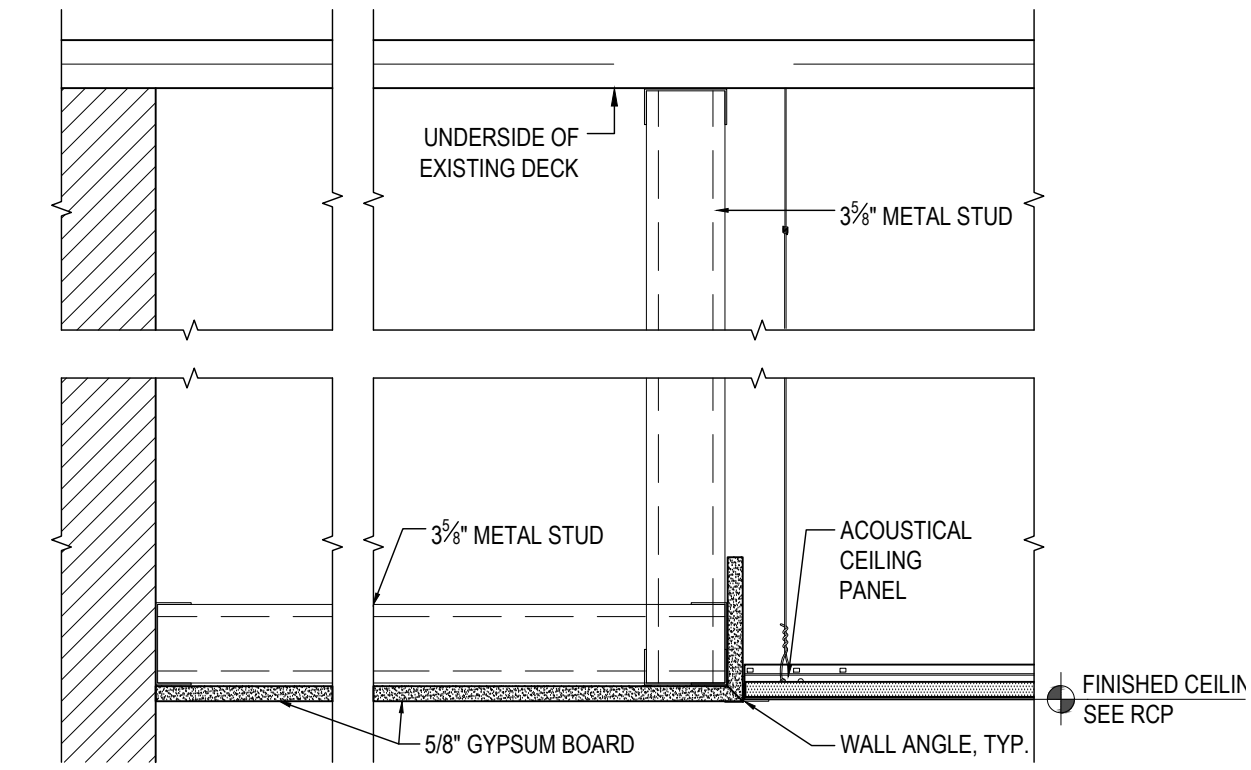
1 TYPICAL DROP CEILING
SCALE: N.T.S.



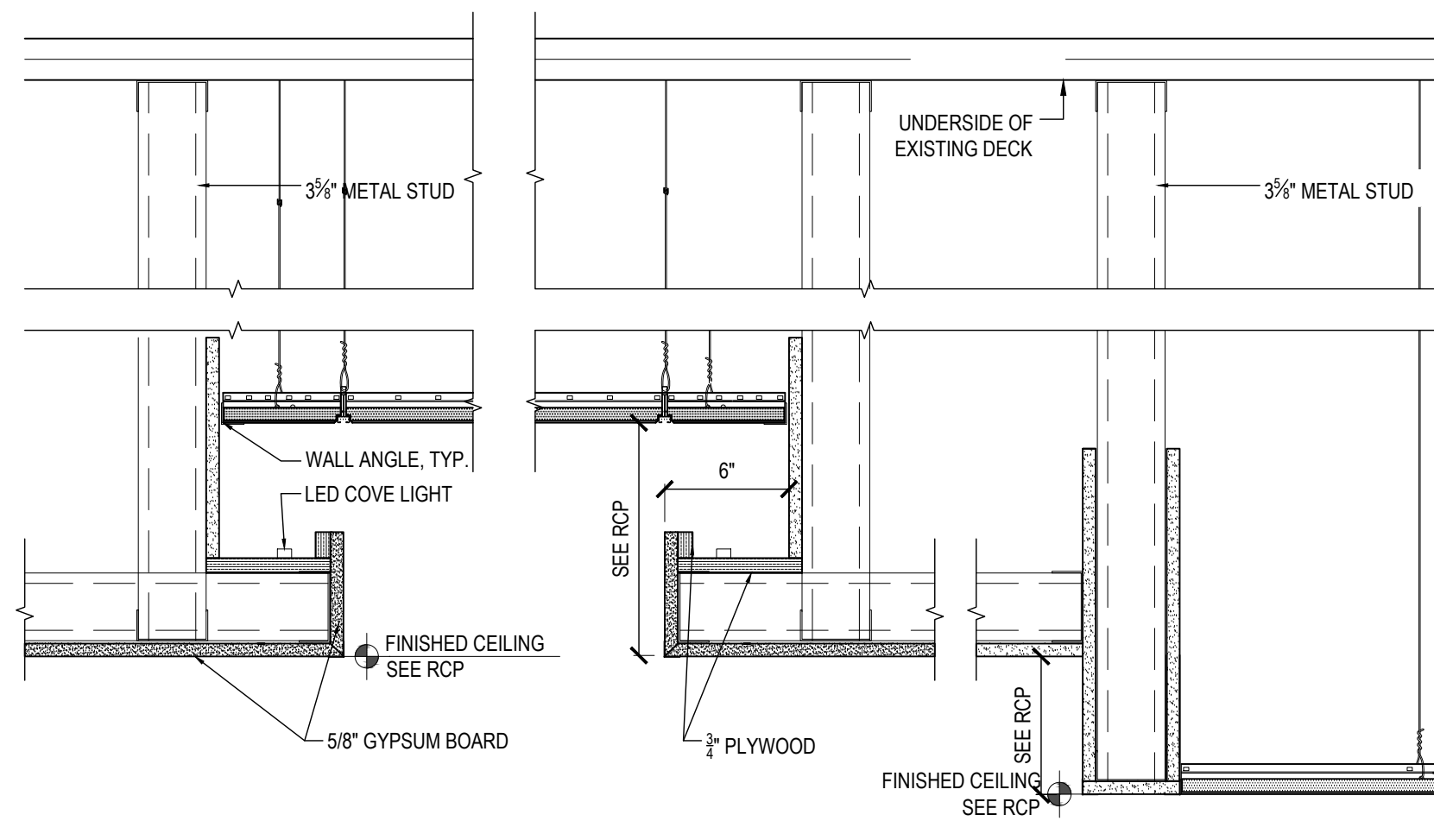
2 TYPICAL ACOUSTICAL CEILING GRID CONNECTION DETAIL
SCALE: 3\"/>



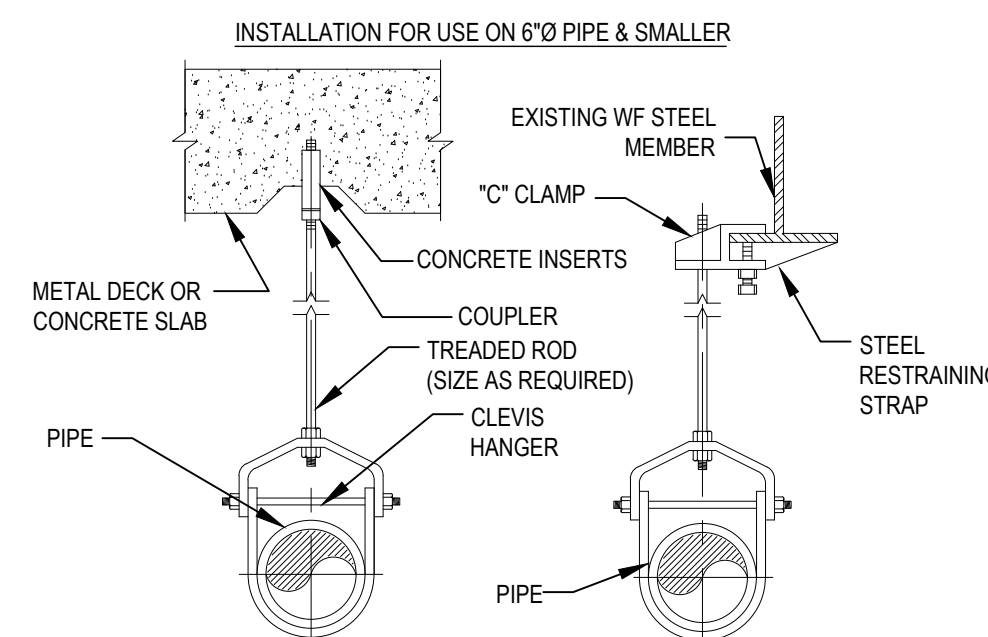
3 DROPPED SOFFIT/Acoustical CEILING DETAIL
SCALE: 1 1/2\"/>



4 DROPPED SOFFIT/Acoustical CEILING DETAIL
SCALE: 1 1/2\"/>

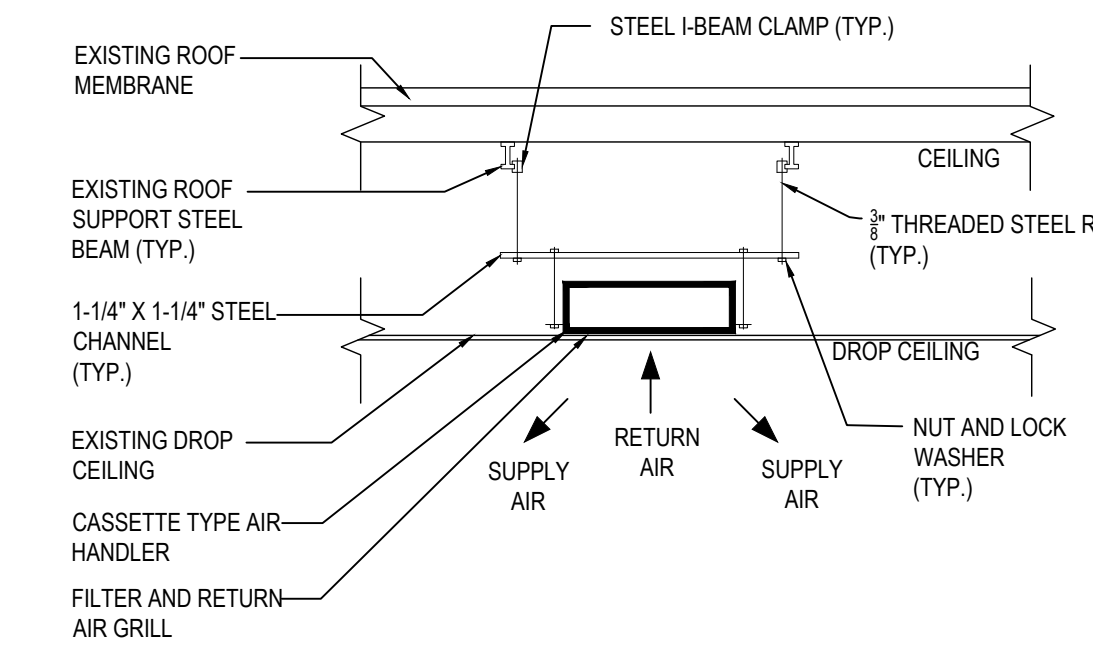


5 DROPPED SOFFIT/Acoustical CEILING DETAIL
SCALE: 1 1/2\"/>

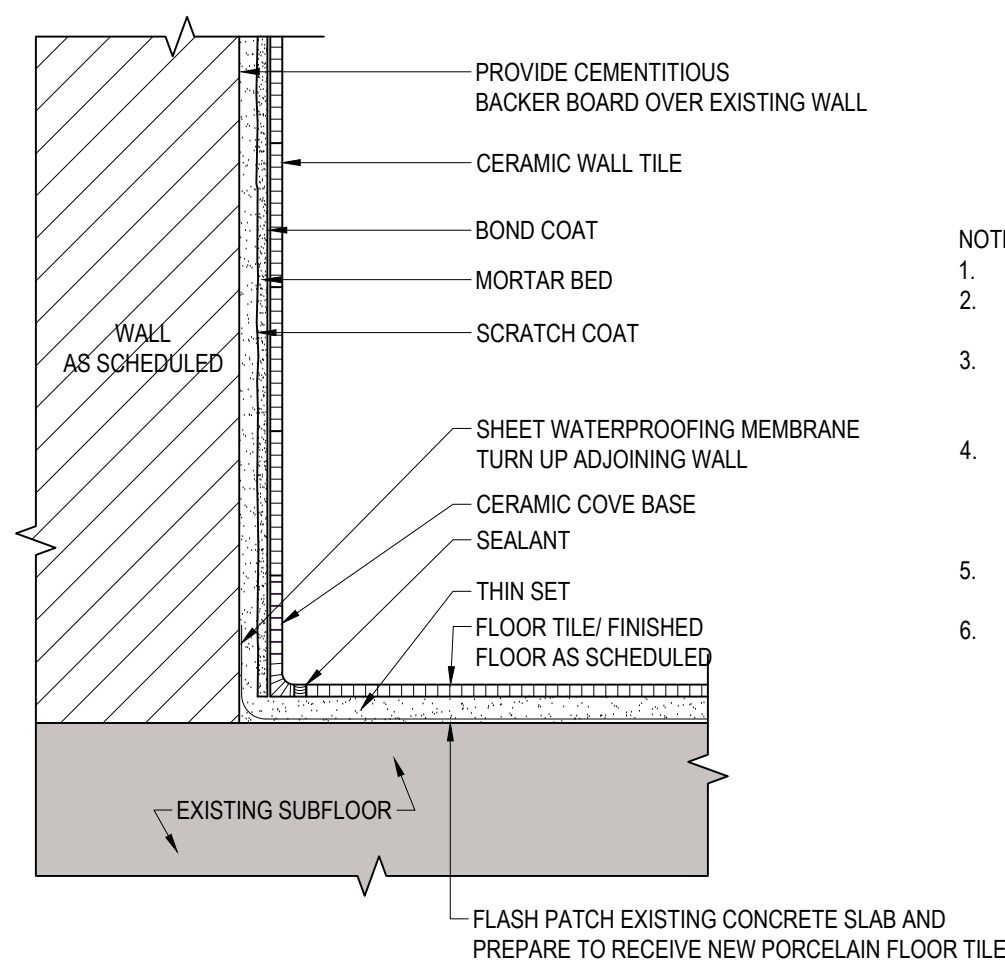


- NOTES:
- HANGER SPACING AND SIZING SHALL BE AS PER SPECIFICATION.
 - SINGLE CONCRETE ANCHOR MAY BE USED ON PIPE 6\"/>

7 PIPE HANGER DETAIL
SCALE: N.T.S.

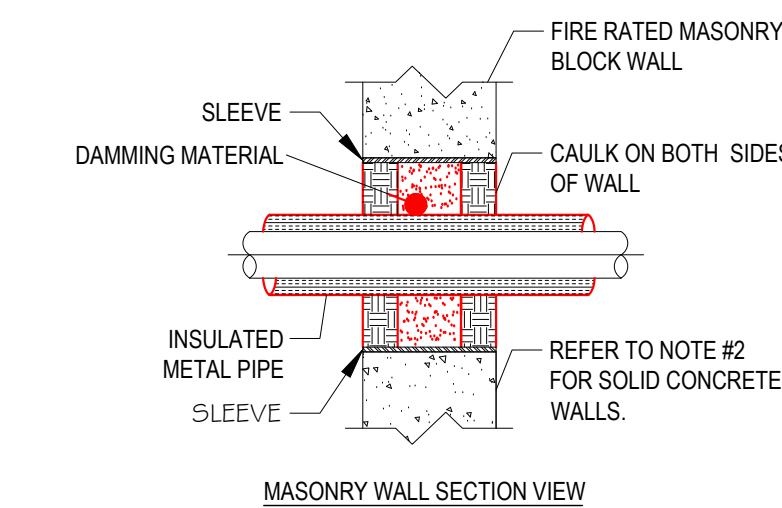
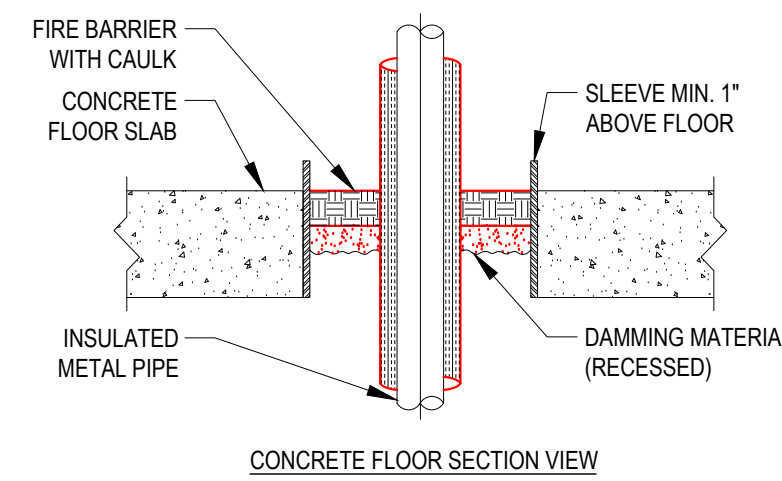


8 TYPICAL CEILING MOUNTED CASSETTE AIR HANDLER UNIT DETAIL
SCALE: N.T.S.



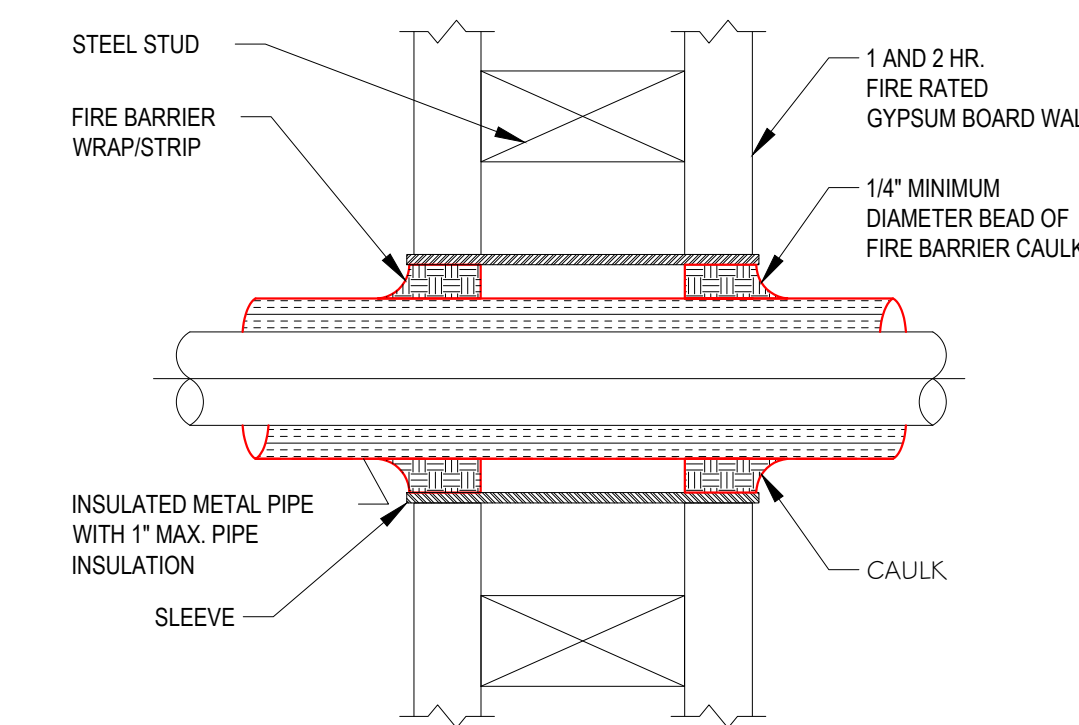
- NOTES:
- REFER TO SPEC SECTION 09300.
 - COMPLY WITH ANSI A108.1, ANSI A108.2 AND THE "HANDBOOK FOR CERAMIC TILE INSTALLATION" OF THE TILE COUNCIL OF AMERICA. ENSURE SUBSTRATE IS SMOOTH, DRY AND FREE OF ALL DIRT, DUST, AND DEBRIS, AND PROPERLY SLOPED TO DRAINS BEFORE APPLYING WATERPROOFING MEMBRANE.
 - PROVIDE SHEET WATERPROOFING MEMBRANE IN ACCORDANCE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. OVERLAP EDGE SEAMS A MIN. OF 3\", AND END SEAMS A MIN. OF 4\"/>

6 TYPICAL DETAIL CERAMIC WALL TILE INSTALLATION
SCALE: N.T.S.



- NOTES:
- THE MAXIMUM ANNULAR SPACE TO BE FILLED IS 2\", THE MINIMUM ANNULAR SPACE IS 3/4\", THE MAXIMUM PIPE SIZE IS A NOMINAL 4\"/>
- | CAULK DEPTH (MIN.) | INSULATION |
|--------------------|------------|
| 1" | 1\"/> |
- INSTALLATION MUST CONFORM WITH PRODUCT MANUFACTURER'S PERFORMANCE RATINGS PER ASTM E-814 (UL 1479) FIRE TEST AND UL RESPECTIVE CLASSIFICATION FOR FIRE STOPPING.

9 PENETRATION FIRESTOP FOR INSULATED METAL PIPE THROUGH A CONCRETE FLOOR OR WALL
SCALE: N.T.S.

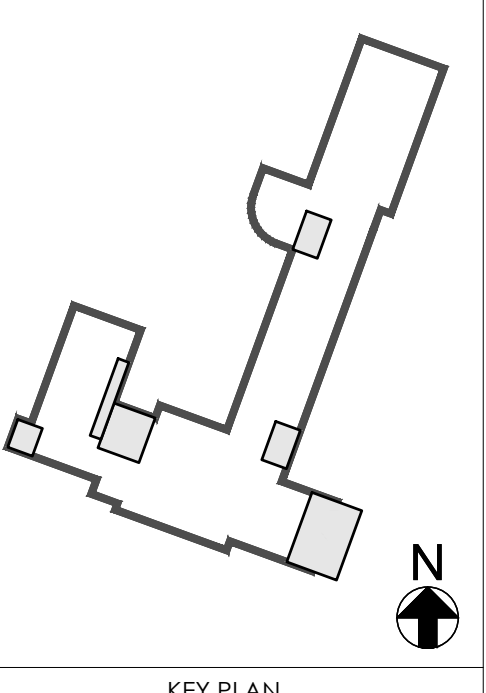


- NOTES:
- THE SPACE BETWEEN THE PENETRATING ITEM AND WALL BOARD MUST ACCOMMODATE AT LEAST ONE WRAP OF 1/4\"/>

10 PENETRATION FIRESTOP FOR INSULATED METAL PIPE THROUGH A GYPSUM BOARD WALL
SCALE: N.T.S.



IF IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COGNATE LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS. (See Appropriate Sections of NYS Education Law)



NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE
BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

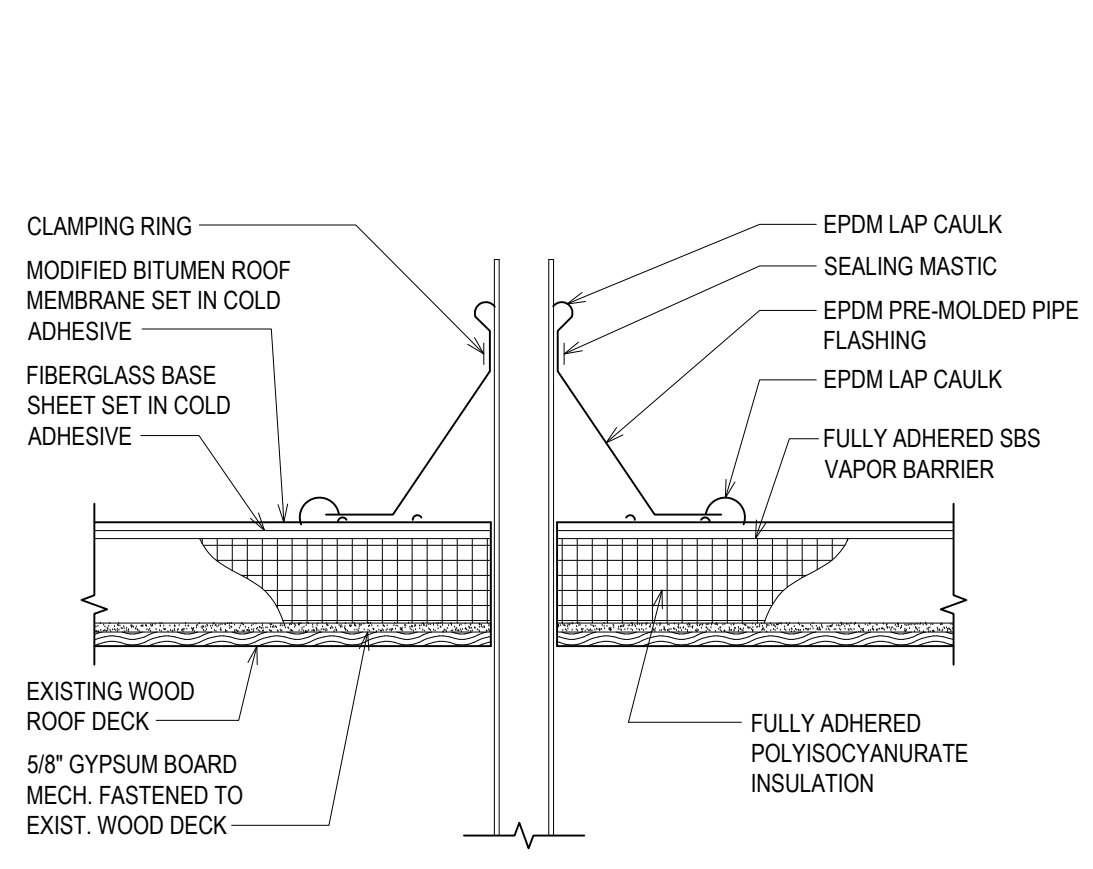
HYSD CONTROL NO.
28-02-13-02-0-001-040

DRAWING TITLE
CEILING AND FLOOR/WALL PENETRATION DETAILS

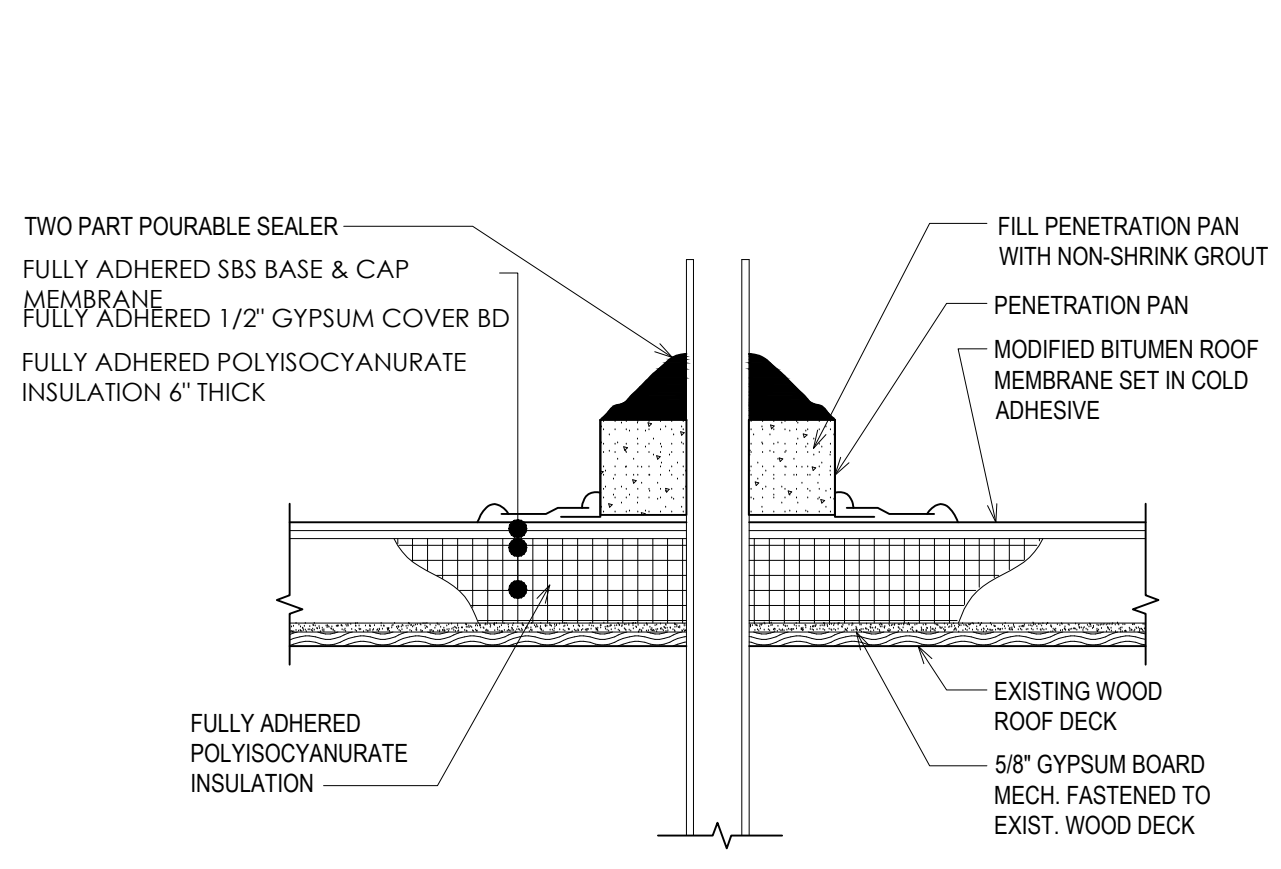
DRAWING NO.
A-801

DATE
02/12/2021

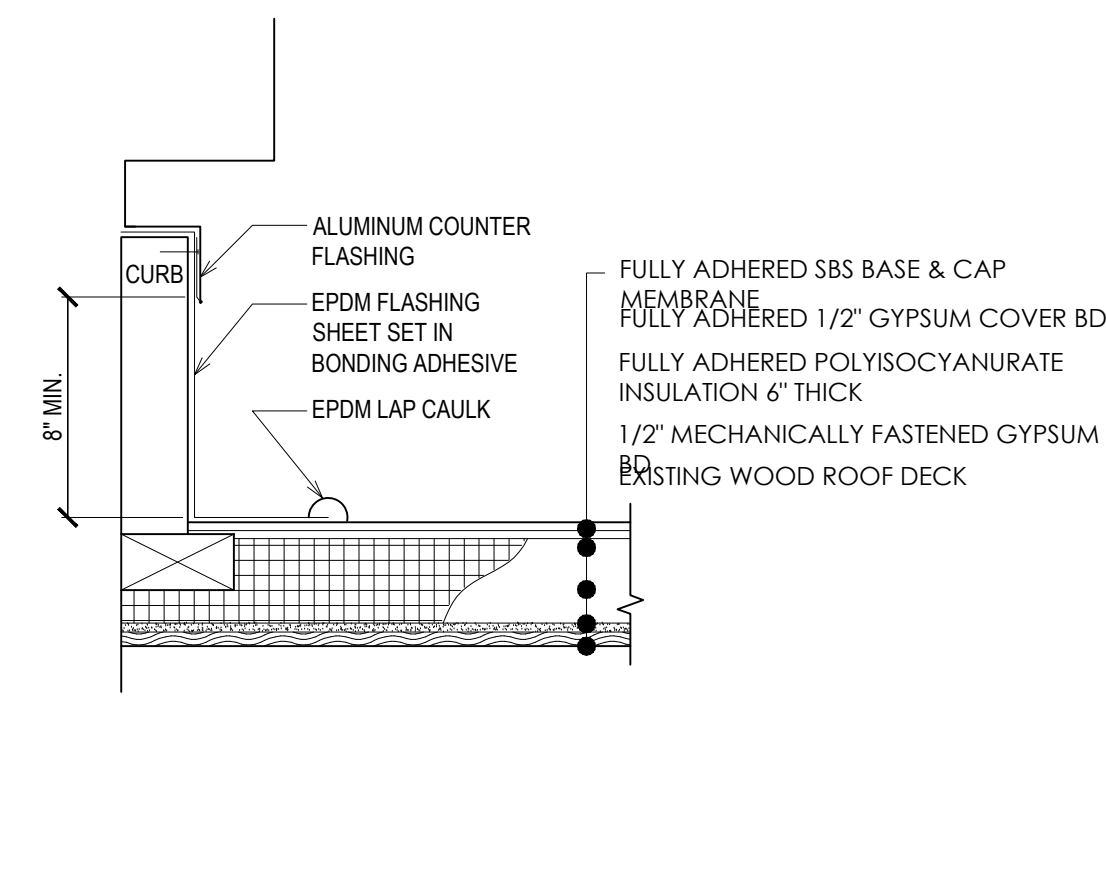
PROJECT NO.
VS001-02



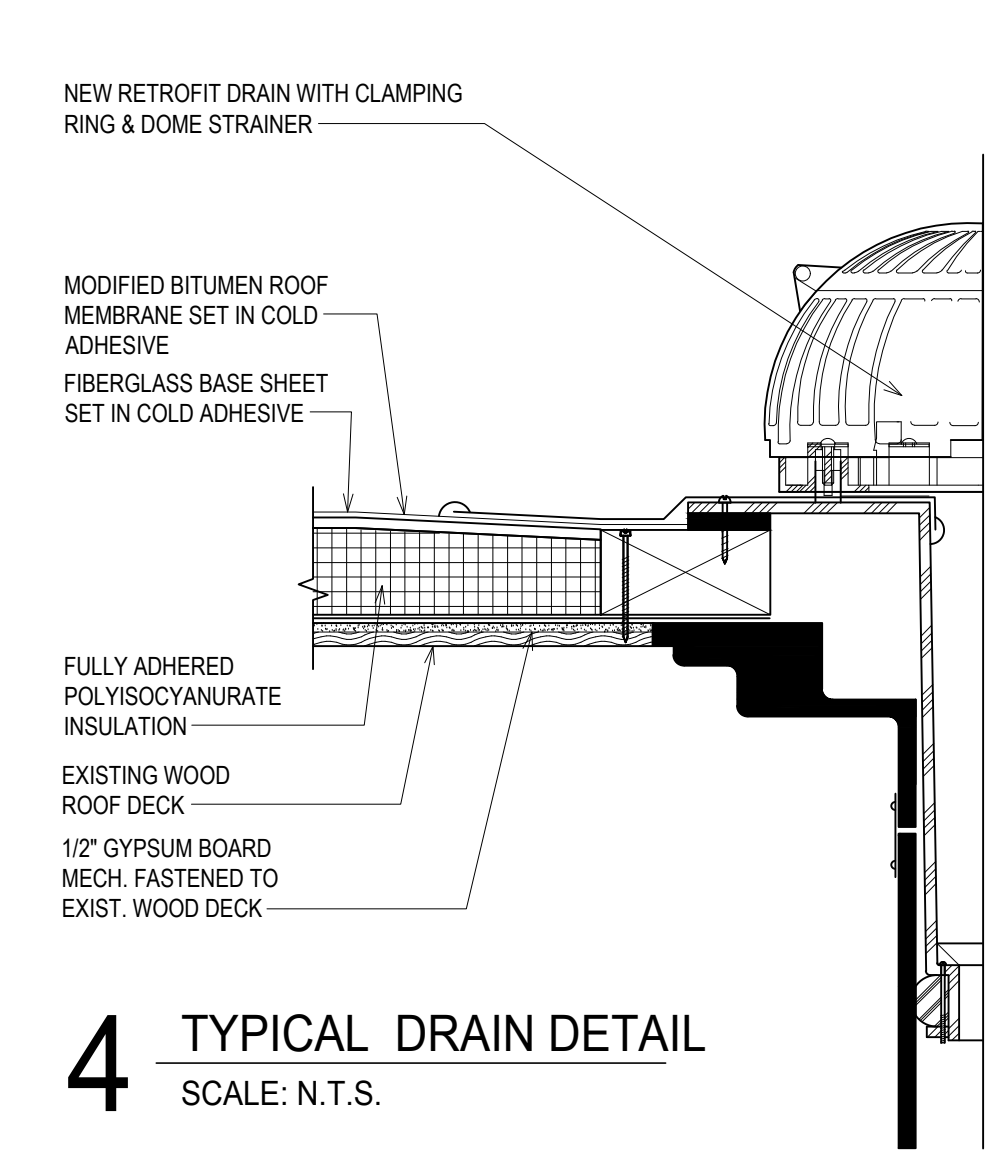
1 TYPICAL VENT PIPE DETAIL
SCALE: N.T.S.



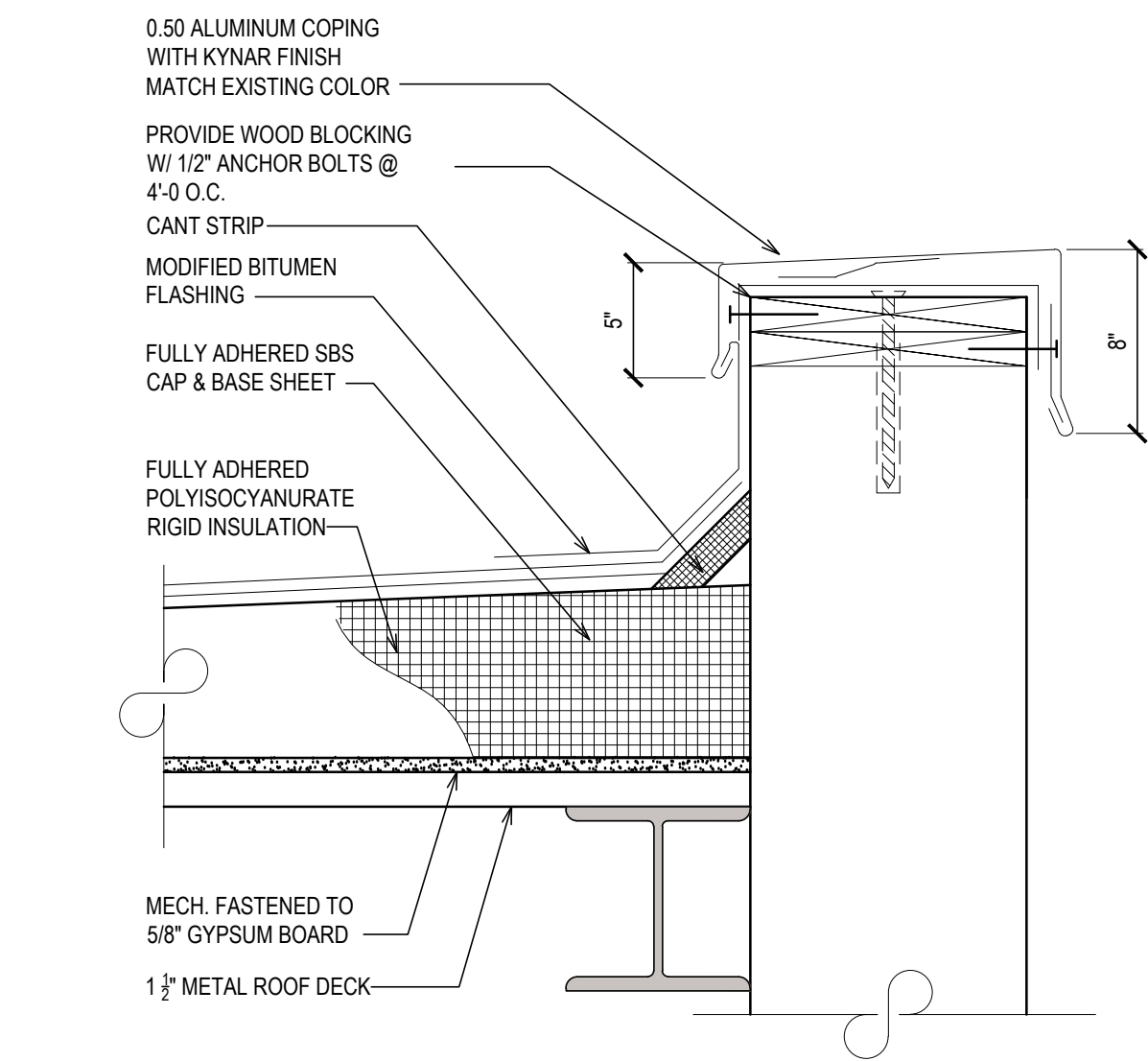
2 TYPICAL PITCH POCKET DETAIL
SCALE: N.T.S.



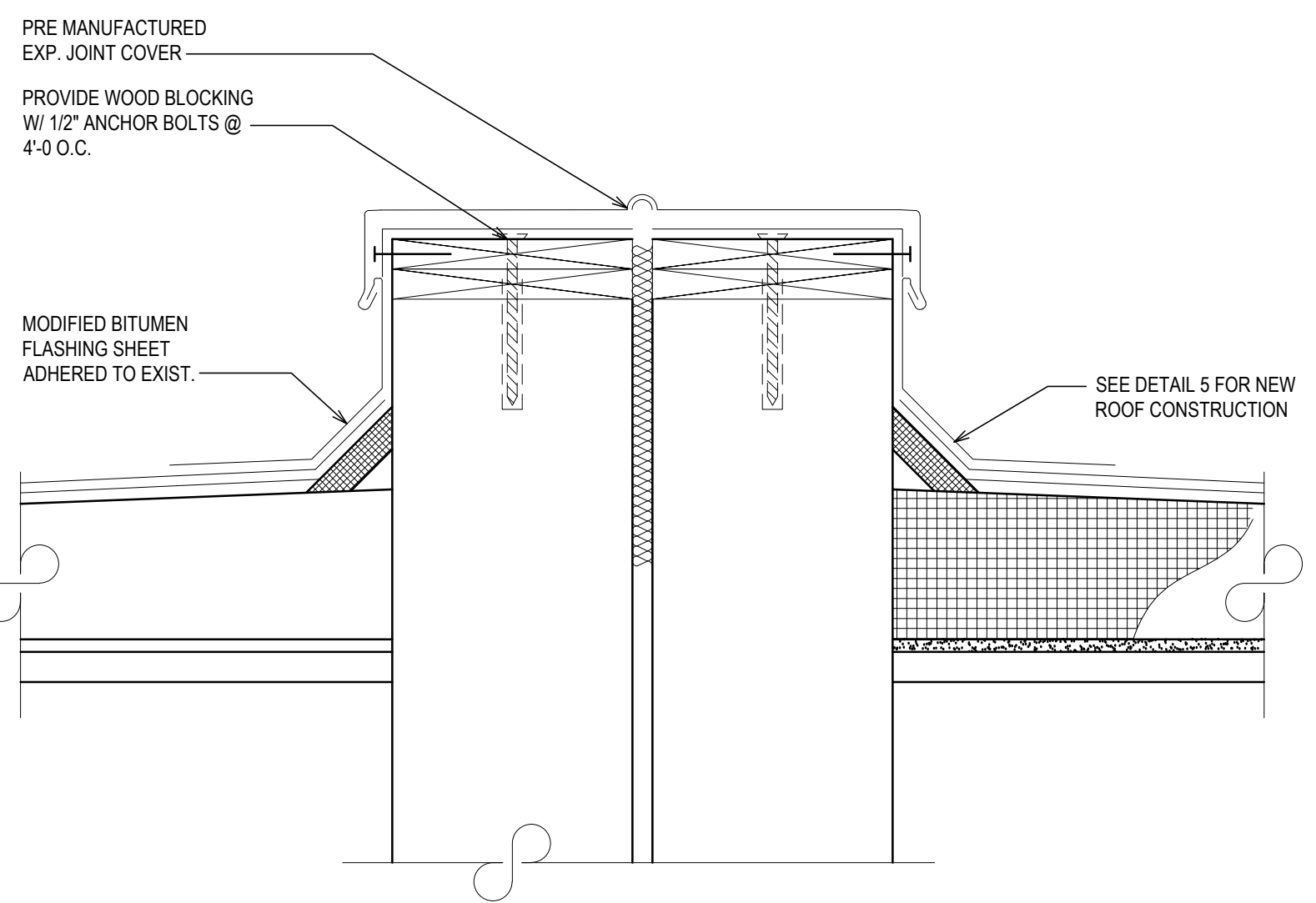
3 TYPICAL ROOF CURB DETAIL
SCALE: N.T.S.



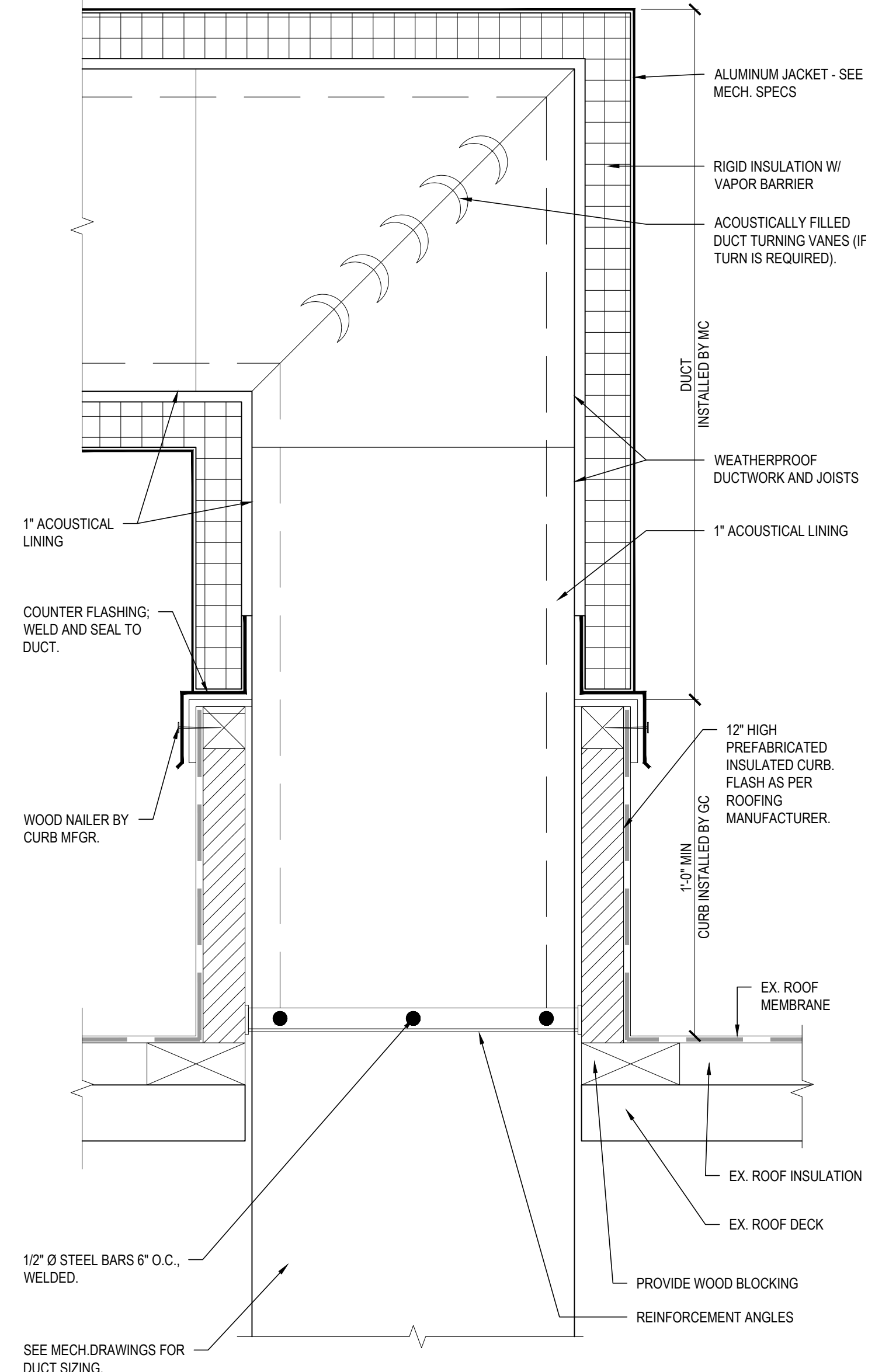
4 TYPICAL DRAIN DETAIL
SCALE: N.T.S.



5 ROOF PARAPET DETAIL
SCALE: 1 1/2"=1'-0"



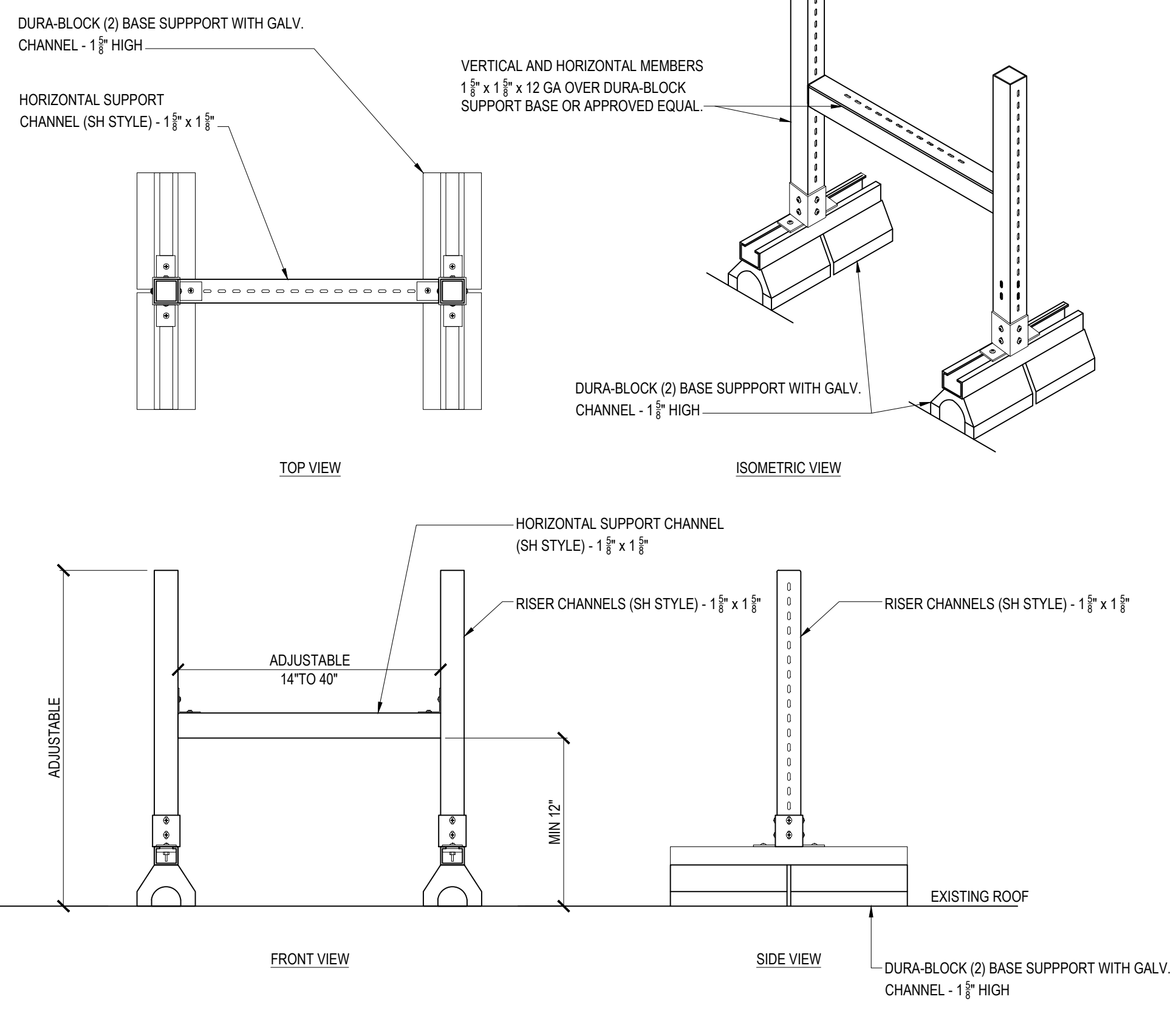
6 ROOF EXPANSION JOINT DETAIL
SCALE: 1 1/2"=1'-0"



7 ROOF PENETRATION DETAIL
SCALE: 3"=1'-0"

NOTES:

- NON-PENETRATING ROOFTOP UNIT SUPPORT DETAILS PROVIDED FOR REFERENCE ONLY.
- SEE MECHANICAL DRAWINGS FOR LOCATIONS, SIZING, AND SUBMITTAL REQUIREMENTS. SEE MECHANICAL DRAWINGS FOR DUCTS TO BE SUPPORTED. SEE SPECIFICATION SECTION 000 FOR ADDITIONAL INFORMATION. MECHANICAL CONTRACTOR SHALL SUBMIT COMPLETE, ENGINEERED SHOP DRAWINGS STAMPED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK PRIOR TO THE ORDERING AND INSTALLATION OF ANY SUCH EQUIPMENT AND SUPPORTS.
- ALL ROOFING WORK MUST BE PERFORMED BY A CONTRACTOR CERTIFIED BY THE ROOF MANUFACTURER TO PROTECT THE EXISTING WARRANTY. PROVIDE COPY OF CERTIFICATION FOR APPROVAL.
- COORDINATE WITH EQUIPMENT MANUFACTURER AND PROVIDE FASTENING DETAILS TO CONNECT DUCTS TO SUPPORT SYSTEM.



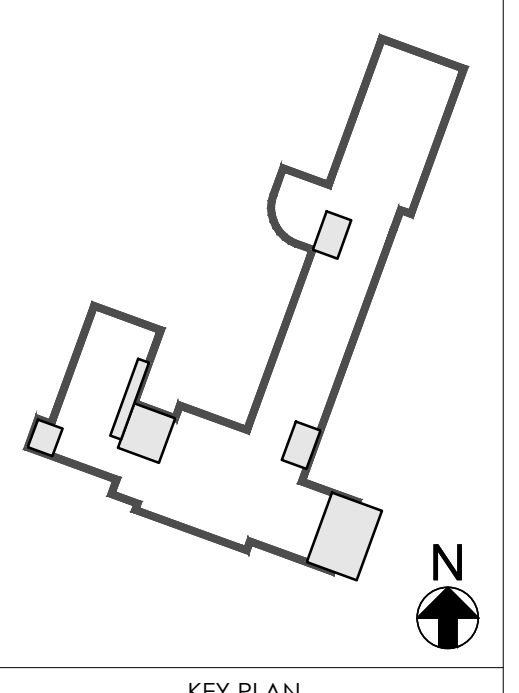
8 NON-PENETRATING ROOFTOP DUCT SUPPORT SYSTEM - DIAGRAMATIC PLAN VIEW
SCALE: N.T.S.

GENERAL ROOFING NOTES:

- REMOVE ALL EXISTING ROOF DRAIN CLAMPING RING AND STRAINER, AND REPLACE WITH NEW RETROFIT DRAIN.
- EXISTING LIGHT FIXTURE POLES AND PIPES PENETRATING ROOF TO BE PROVIDED WITH PITCH POCKETS.
- REMOVE ALL EXISTING ROOF MATERIAL AND INSULATION TO ROOF STRUCTURE AND REPLACE WITH NEW MODIFIED BITUMEN ROOFING. REPLACE ALL ROTTED WOOD BLOCKING AND REPLACE WITH NEW TREATED WOOD BLOCKING AS REQUIRED. SEE NOTES FOR DECK REPLACEMENT.
- CONTRACTOR TO FILL IN PATCH ROOF OPENINGS CREATED BY PERMANENT REMOVAL OF ROOF STRUCTURE AND ROOF ELEMENTS, MECHANICAL EQUIPMENT, ETC. WITH MATERIALS AND SYSTEM TO MATCH ADJACENT TO REMAIN.
- ALL WORK SHALL BE PERFORMED WITHOUT INTERRUPTING NORMAL OPERATION OF THE BUILDING AND ITS PERSONNEL. ALL BUILDING SERVICES SHALL BE MAINTAINED OPERATIONAL FOR THE ENTIRE DURATION OF THE WORK. SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
- ALL ROOFING DETAILS TO CONFORM WITH MANUFACTURER'S APPROVED STANDARD DETAILS FOR ALL NEW AND EXISTING CONDITIONS INDICATED.
- CONTRACTOR TO EXAMINE EXISTING CONDITION OF DRAINS, LEADERS & DOWNSPOUT. CONTRACTOR TO INFORM ARCHITECT AND BUILDING CUSTODIAN OF ALL LOCATIONS OF CLOGGED ROOF DRAINS & SHALL MAKE ALL EFFORTS TO CLEAN UP SAID DRAINS, LEADERS & DOWN SPOUTS TO ENSURE UNOBSTRUCTED FLOW OFF THE ROOF.
- CONTRACTOR TO SUBMIT ROOF SHOP DRAWINGS SHOWING PROPER PITCHING LOCATION OF CRICKETS, TAPERED INSULATION DESIGN AND OTHER DETAILS FOR APPROVAL PRIOR TO THE COMMENCEMENT OF HIS WORK.
- RAISE CURBS WHERE REQUIRED - PRIOR TO THE INSTALLATION OF THE NEW ROOFING/INSULATION SYSTEM, REMOVE THE EXISTING CURB FROM THE ROOF DECK. FURNISH AND INSTALL NEW 2X4 PRESSURE TREATED WOOD NAILERS. FASTEN THE LOWER NAILER TO THE DECK WITH THE FASTENERS USED TO SECURE THE INSULATION BOARDS TO THE DECK AT 16 INCHES ON CENTER. FASTEN THE UPPER NAILER TO THE LOWER NAILER WITH 16 PENNY, HOT DIP GALVANIZED STEEL COMMON NAILS AT 16 INCHES ON CENTER. REPEAT AS REQUIRED FOR ADDITIONAL NAILERS. FASTEN THE DECK FLANGE GALVANIZED STEEL WOOD SCREWS AT 16 INCHES ON CENTER.
- WOOD NAILERS - WHEN INSTALLING NEW WOOD NAILERS OVER EXISTING WOOD NAILERS, REPLACE DETERIORATED EXISTING NAILERS WITH NEW PRESSURE-TREATED WOOD NAILERS TO MATCH THE EXISTING NAILERS. FASTEN EXISTING LOOSE NAILERS WHICH ARE TO REMAIN PRIOR TO INSTALLING NEW NAILERS ATOP OR ADJACENT TO THE EXISTING NAILERS.
- CANTS - FURNISH AND INSTALL 4X4 FIBERBOARD CANTS AROUND BASES OF MECHANICAL CURBS, SKYLIGHTS AND ACCESS HATCHES. FURNISH AND INSTALL PRESSURE TREATED WOOD CANTS AND NAILERS ALONG WALLS AND AS DIRECTED BY THE ARCHITECT.
- TRAFFIC PADS - FURNISH AND INSTALL NEW TRAFFIC PADS FROM ROOF ACCESS POINT(S) TO ACCESS POINTS OF ALL ROOF TOP EQUIPMENT AND APPURTENANCES. NEW TRAFFIC PADS SHALL BE FULLY ADHERED TO THE ROOFING SYSTEM. INSTALL PORTIONS OF PADS UNDER ALL ITEMS PLACED ATOP ROOFING SURFACE INCLUDING, BUT NOT LIMITED TO, DUCT SUPPORTS, BLOCKING, CABLE AND CONDUIT SUPPORTS, SPLASHBLOCKS, ETC.
- PLUMBING VENT PIPES - REMOVE EXISTING SHEET SLEEVES AND DECK FLANGES. REMOVE EXISTING CAPS. FURNISH AND INSTALL NEW VANDAL PROOF CAPS AND NEW SHEET COPPER SLEEVES WITH DECK FLANGES. FURNISH AND INSTALL PIPE EXTENSIONS ON PIPES THAT DO NOT EXTEND AT LEAST 12 INCHES ABOVE THE SURFACE OF THE NEW ROOFING MEMBRANE.
- INSULATION - INSTALL MINIMUM R 30 ISO BOARD AT ALL FLAT ROOFS. FULLY ADHERED AS PER DETAILS.
- RAISE EXISTING CURBS WHERE REQUIRED. CONTRACTOR SHALL DISCONNECT ELECTRICAL WIRING AND RAISE EXISTING CURB AS REQUIRED TO MAINTAIN A MINIMUM HEIGHT OF EIGHT (8) INCHES ABOVE THE FINISHED ROOF MEMBRANE. ELECTRICAL WIRING SHALL BE RECONNECTED. FASTEN THE NEW NAILERS TO THE EXISTING NAILERS (AND EACH OTHER) WITH 16 PENNY, HOT DIP GALVANIZED STEEL COMMON NAILS AT 16 INCHES ON CENTER. FURNISH AND INSTALL A CONTINUOUS 1/2-INCH THICK, CLOSED-CELL FOAM NEOPRENE GASKET, SET IN SEALANT, ATOP THE NAILERS. REINSTALL AND REFASTEN EACH UNIT AS REQUIRED ATOP THE RAISED CURB WITH 3/8-INCH DIAMETER X 2-INCH HOT DIP GALVANIZED STEEL LAG BOLTS AND WASHERS.
- EXISTING ROOF DRAINS AND LEADERS - PRIOR TO INSTALLING THE ROOFING/INSULATION SYSTEM, CLEAN OUT EACH EXISTING ROOF DRAIN. ROTO-CLEAN, WATER JET BLAST, OR DISASSEMBLE EACH LEADER TO ENSURE FREE DRAINAGE FLOW. DO NOT INSTALL THE ROOFING/INSULATION SYSTEM IN THE AREA OF A PLUGGED ROOF DRAIN. AFTER THE ROOFING/INSULATION SYSTEM HAS BEEN INSTALLED, WATER TEST EACH ROOF DRAIN AND LEADER (EXISTING AND NEW) AND CLEAN OUT PLUGGED DRAINS AND LEADERS TO ENSURE FREE DRAINAGE FLOW. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING EACH EXISTING LEADER TO A POINT 5-FEET OUTSIDE THE FOUNDATION WALL. FURNISH AND INSTALL NEW VANDAL-PROOF, CAST-IRON ROOF DRAIN DOMES AND INTERNAL SCREENS TO FIT THE EXISTING ROOF DRAINS.
- RETRO-FIT ROOF DRAINS - REMOVE THE EXISTING ROOF DRAIN DOMES, STRAINERS AND CLAMPING RINGS. FURNISH AND INSTALL RETRO-FIT ROOF DRAINS WITH CAST ALUMINUM VANDAL-PROOF DOMES IN EACH OF THE EXISTING ROOF DRAINS WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL INCLUDE IN THEIR PROPOSAL THE COST TO REPLACE 15% OF THE EXISTING ROOF DECK FOR EACH ROOF AREA.
- ROOF FLASHINGS AND PENETRATIONS - ALL FLASHING REQUIRED AT VALLEYS, CURBS, CRICKETS, WALLS, EDGE METALS AND ROOF PENETRATIONS SHALL BE 0.040" KYNAR ALUMINUM, COLOR TO BE SELECTED BY OWNER. ALL ROOF PENETRATIONS OUTFITTED WITH APPROPRIATE FLASHINGS OR BOOTS IN ACCORDANCE WITH MANUFACTURER GUIDELINES AND RECOMMENDATIONS INCLUDING, BUT NOT LIMITED TO, PLUMBING VENT PIPES AND DUCT PENETRATIONS.
- NO NEW ASBESTOS CONTAINING MATERIALS (ACBM) OR LEAD MATERIALS (LM) SHALL BE USED IN CONSTRUCTION OF THIS PROJECT. ANY ACBM OR LM ENCOUNTERED IN THE WORK SHALL BE BROUGHT TO THE ATTENTION OF THE TOWN FOR DIRECTION. WORK INVOLVING SUSPECTED ACBM SHALL BE DONE IN ACCORDANCE WITH INDUSTRIAL CODE RULE #56.
- ROOFING CONTRACTOR SHALL EXTEND ALL WIRING AND PIPING AS REQUIRED BY RAISING EXISTING ROOF CURBS AND EQUIPMENT TO MAINTAIN THE MINIMUM REQUIRED HEIGHT ABOVE THE ROOF MEMBRANE OF 8".



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(See Appropriate Sections of NYS Education Law)



KEY PLAN

NO.	DESCRIPTION	DATE
REVISION		

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

ROOF DETAILS & NOTES

DRAWING NO.
A-802

DATE
02/12/2021
PROJECT NO.
VS001-02

DOOR and DOOR FRAME SCHEDULE

DOOR NUMBER	ROOM NAME		DOOR CONSTRUCTION	GLAZING MATERIAL	DOOR FACING and FINISH	DOOR TYPE	WIDTH (QUANTITY)	HEIGHT	THICKNESS	FRAME					DOOR and FRAME FIRE RATING	HARDWARE SET	SIGNAGE	REMARKS	
	FROM	TO								FRAME CONSTRUCTION	FRAME FINISH	FRAME TYPE	HEAD/JAMB DETAIL	SILL DETAIL					
FIRST FLOOR																			
1-01	CORRIDOR 1B	BOARDROOM	SC	-	WS	D 2	3'-0"	7'-0"	1-3/4"	HM	MP	F 2	1/A-900	3/A-900	45 MIN	1	S1, S2	6'-0" W FRAME	
1-02	BOARDROOM	STOR	SC	-	WS	D 1	3'-0"	7'-0"	1-3/4"	EXIST.	MP	EXIST.	EXIST.	3/A-900	-	2	-	-	
1-03	COMMONS #02	STOR	SC	-	WS	D 1	3'-0"	7'-0"	1-3/4"	EXIST.	MP	EXIST.	EXIST.	3/A-900	-	2	-	-	
1-04	CORRIDOR 1B	ORCHESTRARM	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	EXIST.	MP	EXIST.	EXIST.	3/A-900	45 MIN	1	S1, S2	-	
1-04b	ORCHESTRARM	EXIT HALL	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	EXIST.	MP	EXIST.	EXIST.	3/A-900	-	1	-	-	
1-05	CORRIDOR 1B	MUSIC	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	EXIST.	MP	EXIST.	EXIST.	3/A-900	45 MIN	1	S1, S2	-	
1-06	CORRIDOR 1B	ADMIN CORRIDOR	SC	-	WS	D 4	(2)3'-0"	7'-0"	1-3/4"	HM	MP	F 2	1/A-900	3/A-900	45 MIN	3	S1, S2	10'-0" W FRAME	
1-07	CORRIDOR 1B	CL.	SC	-	WS	D 1	2'-2"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	4	-	-	
1-08	ADMIN CORRIDOR	BREAKROOM	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	1	-	-	
1-09	BREAKROOM	CL.#1	SC	-	WS	D 1	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	4	-	-	
1-10	ADMIN CORRIDOR	MEN	SC	-	WS	D 1	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	5	S1, S3	-	
1-11	ADMIN CORRIDOR	WOMEN	SC	-	WS	D 1	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	5	S1, S4	-	
1-12	ADMIN CORRIDOR	OFFICE	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	1	-	-	
1-13	ADMIN CORRIDOR	OFFICE	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	1	-	-	
1-14	ADMIN CORRIDOR	OPEN OFFICE	SC	-	WS	D 4	(2)3'-0"	7'-0"	1-3/4"	HM	MP	F 3	2/A-900	3/A-900	90 MIN	3	-	6'-4" W FRAME	
1-15	OPEN OFFICE	SUPT OFFICE	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	1	-	-	
1-16	SUPT OFFICE	CL.	SC	-	WS	D 1	2'-6"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	4	-	-	
1-17	SUPT OFFICE	TOILET	SC	-	WS	D 1	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	5	-	-	
1-18	OPEN OFFICE	OFFICE	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	1	-	-	
1-19	OPEN OFFICE	OFFICE	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	1	-	-	
1-20	OPEN OFFICE	CONF.	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	2/A-900	3/A-900	90 MIN	1	S1, S2	-	
1-21	OPEN OFFICE	CL.#2	SC	LAM	WS	D 5	(2)2'-6"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	6	-	5'-4" W FRAME	
1-22	OPEN OFFICE	VESTIBULE	SC	LAM	WS	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	3/A-900	-	7	-	SEE WINDOW SCHEDULE	
1-23	VESTIBULE	EXTERIOR	FRP	LAM	-	D 3	3'-0"	7'-0"	1-3/4"	HM	MP	F 1	1/A-900	4/A-900	ALUM	-	8	-	SEE WINDOW SCHEDULE

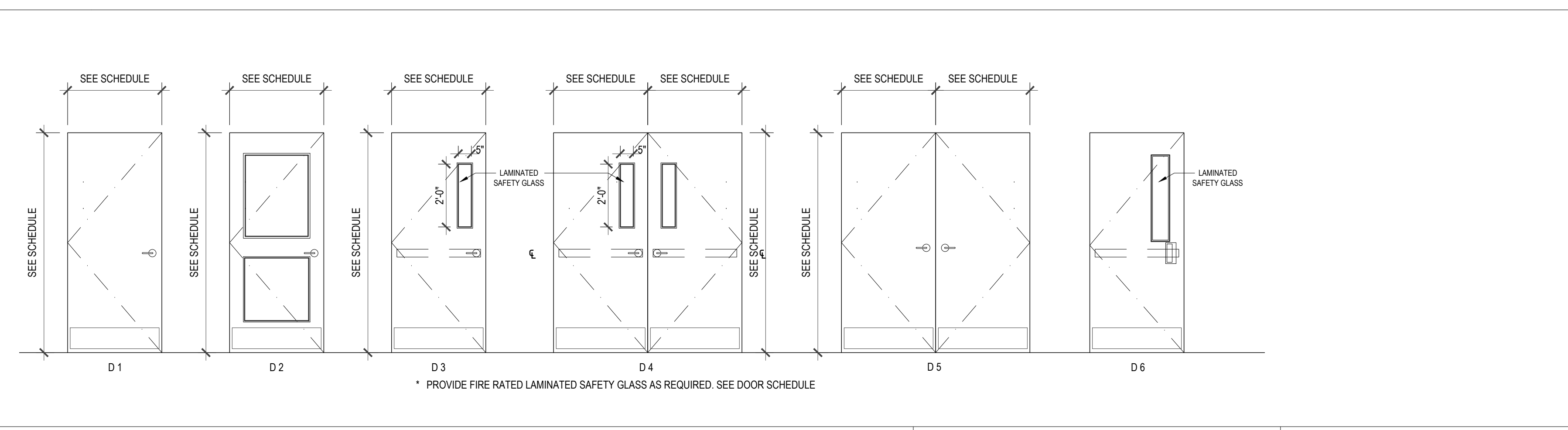
NOTES and ABBREVIATIONS

- ABBREVIATIONS:
AL = ALUMINUM
HM = HOLLOW METAL
FF = PRE APPLIED FACTORY FINISH
FRP = FIBERGLASS REINFORCED POLYESTER WITH PRE APPLIED FACTORY FINISH
LAM = LAMINATED SAFETY GLASS
MP = METAL PAINT
SC = SOLID CORE WOOD
WG = WIRE SAFETY GLAZING
WS = WOOD STAINED AND POLYURETHANE. PRE APPLIED FACTORY FINISH. COLOR SELECTED BY ARCHITECT.
- DOOR TYPE: DESIGNATION INDICATES DOOR TYPE NUMBER.
- FRAME TYPE: DESIGNATION INDICATES DOOR FRAME TYPE NUMBER.
- FRAME DETAILS: DESIGNATION INDICATES DETAIL NUMBER.
- FIRE RATING: 20, 45, 90, 180 INDICATES REQUIRED MINUTES OF FIRE RATING.
- SIGNAGE: SEE SPECIFICATION FOR ADDITIONAL INFORMATION.
- ANSI REQUIREMENTS ON DRAWING T-002.
- ALL DIMENSIONS VERIFY IN FIELD.
- COLOR SELECTED BY SCHOOL DISTRICT.
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE SPECIFIED HARDWARE OR APPROVED EQUAL.
- CONTRACTOR TO ENSURE PROPER CLOSER IS USED AND INSTALLED TO ACHIEVE 90 DEGREE OPENING, TYPICAL.
- TIE SENTRONIC CLOSER/HOLDER TO EXISTING F.A. SYSTEM

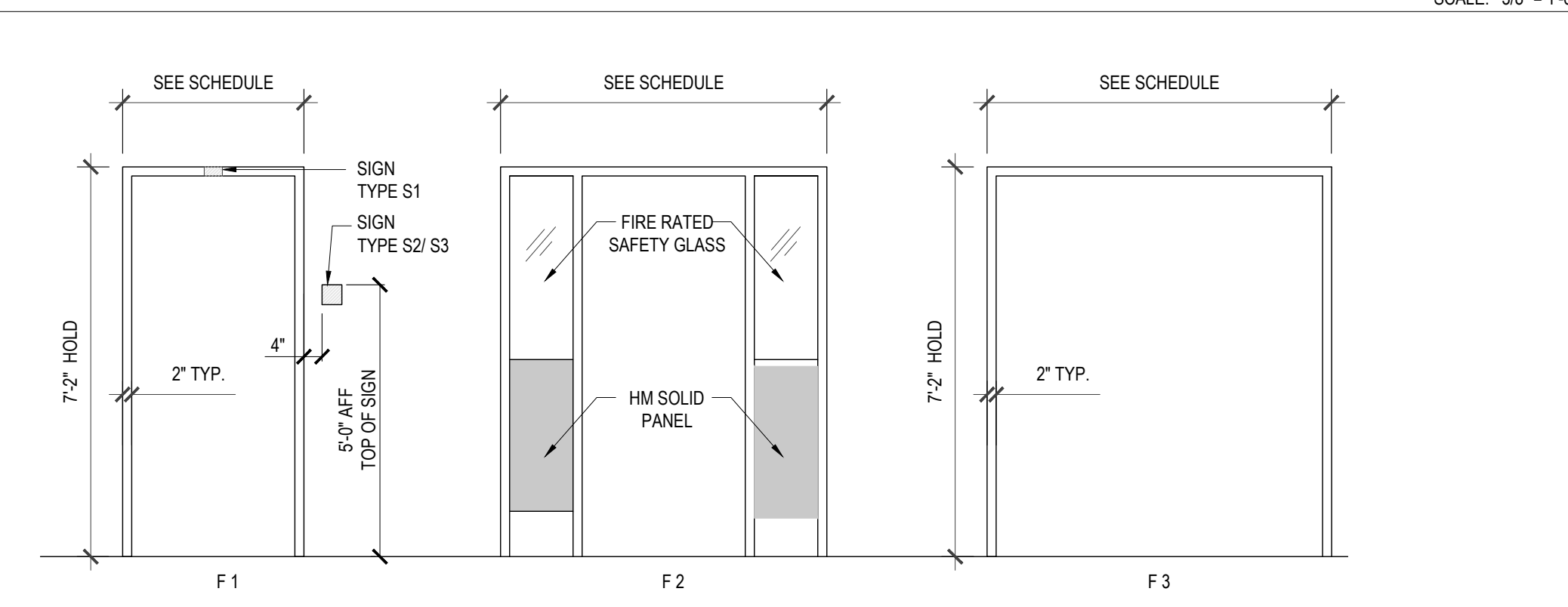
HARDWARE

DESCRIPTION	MANUFACTURE (OR APPROVED EQUAL)	MODEL NUMBER	HARDWARE SET #5 TOILET	HARDWARE SET #6 DOUBLE CLOSET	HARDWARE SET #7 - EGRESS SINGLE DOOR	HARDWARE SET #8 - EXTERIOR FRP EGRESS SINGLE DOOR
HARDWARE SET #1 OFFICE/CONF.			(1) LOCKSET-CLASSROOM FUNCTION BEST (1) CYLINDER BEST (1) CONTINUOUS HINGE IVES (1) CLOSER LCN (2) KICK PLATE IVES (1) O.H. STOP GLYNN-JOHNSON	9K-3-7-R-14D-3-STK-626-LM TO MATCH EXISTING SFIC-PROVIDE KEYING. 112HD 4040XP-3077-72MC 8400 SERIES 450S STOP	BEST IVES LCN IVES IVES IVES	9K-3-7-L-14D-3-STK-626-LM TO MATCH EXISTING 112HD 4040XP-3077-72MC 8400 SERIES R64
HARDWARE SET #2 STORAGE			(1) LOCKSET-STOREROOM FUNCTION BEST (1) CYLINDER BEST (1) CONTINUOUS HINGE IVES (2) KICK PLATE IVES SILENCERS IVES	9K-3-7-D-14D-3-STK-626-LM TO MATCH EXISTING SFIC-PROVIDE KEYING. 112HD 8400 SERIES R64	VON DUPRIN 9927 VON DUPRIN 9927-L BEST IVES IVES IVES IVES IVES IVES IVES IVES IVES	VON DUPRIN 9927 VON DUPRIN 9927-L BEST IVES IVES IVES IVES IVES IVES IVES IVES IVES IVES
HARDWARE SET #3 - CORRIDOR DOUBLE DOOR			(2) SURFACE MTD VERTICAL ROD VON-DUP (2) LEVER VON-DUP (2) CYLINDER BEST (2) CONTINUOUS HINGE IVES (2) SENTRONIC CLOSER/HOLDER LCN (4) KICK PLATE IVES (2) FIRE & SMOKE SEAL IVES SILENCERS IVES REMOVABLE CENTER MULLION VON DUPRIN	9927-F 9927L-F SFIC-PROVIDE KEYING. 112HD 4040SE-3077-72MC 8400 SERIES 5950C SILICONE SMOKE SEAL SR64 9954-KR	VON DUPRIN 9927 VON DUPRIN 9927-L BEST IVES IVES IVES IVES IVES IVES IVES IVES IVES	VON DUPRIN 9927 VON DUPRIN 9927-L BEST IVES IVES IVES IVES IVES IVES IVES IVES IVES
HARDWARE SET #4 CLOSET			(1) LOCKSET-KEYLESS IVES (1) CONTINUOUS HINGE IVES (1) KICK PLATE IVES (2) WALL BUMPERS IVES SILENCERS IVES	9K-3-0-14D-3-STK-626-LM TO MATCH EXISTING 112HD 8400 SERIES WS407CCV-US32D R64	VON DUPRIN 9927 VON DUPRIN 9927-L BEST IVES IVES IVES IVES IVES IVES IVES IVES IVES	VON DUPRIN 9927 VON DUPRIN 9927-L BEST IVES IVES IVES IVES IVES IVES IVES IVES IVES

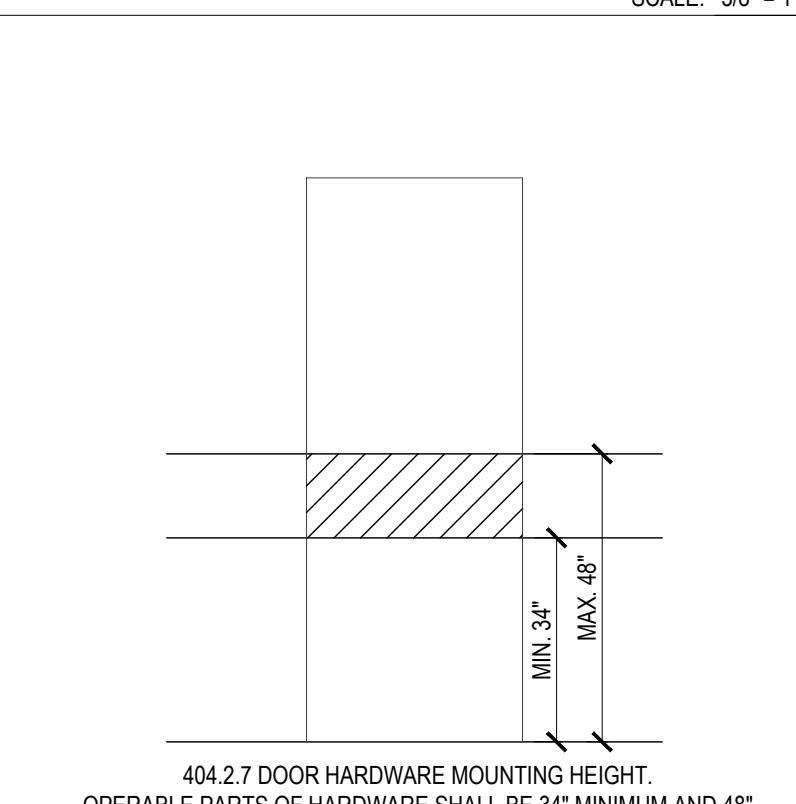
DOOR TYPE



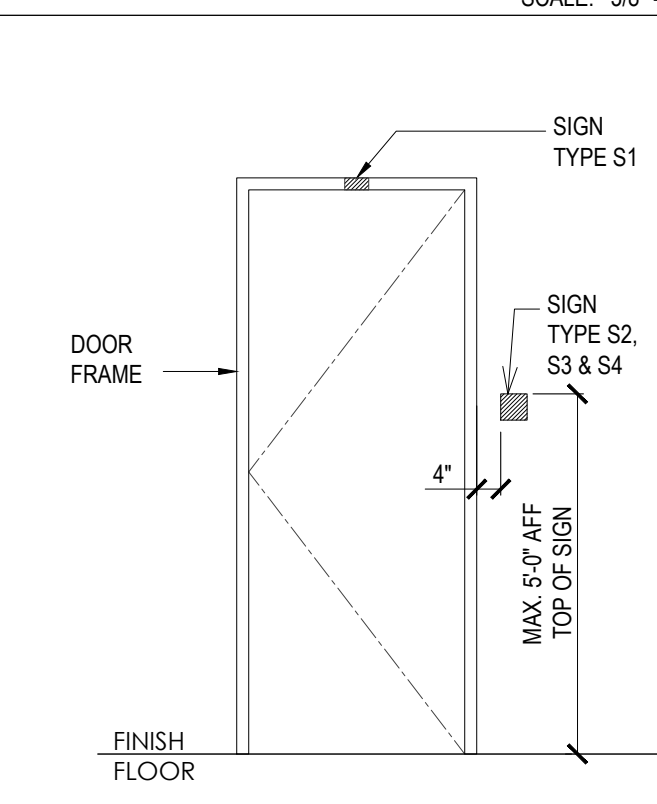
FRAME TYPE



ADA CODE COMPLIANCE



SIGNAGE LOCATION



MDS MARK DESIGN STUDIOS

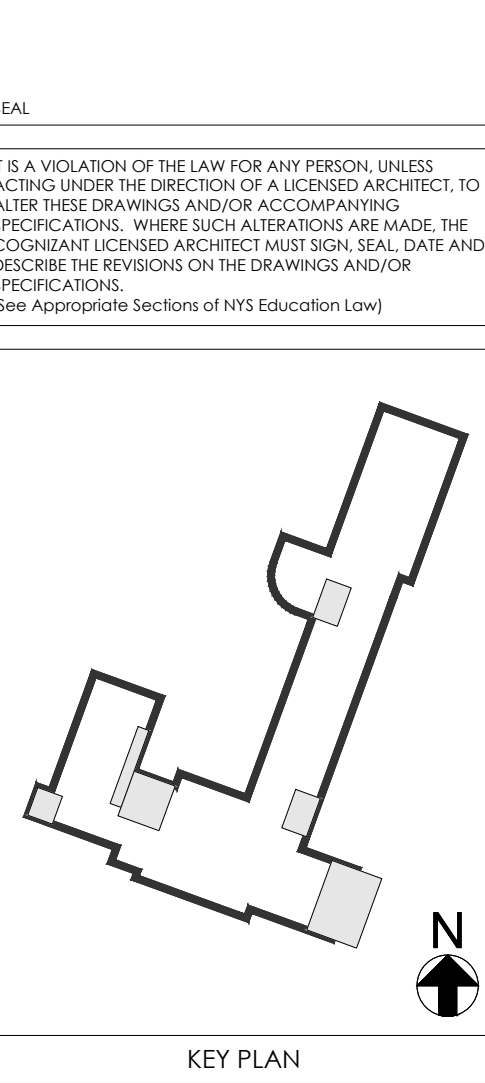
MARK DESIGN STUDIOS ARCHITECTURE, P.C.

270 NORTH BROADWAY, HICKSVILLE, NY 11801

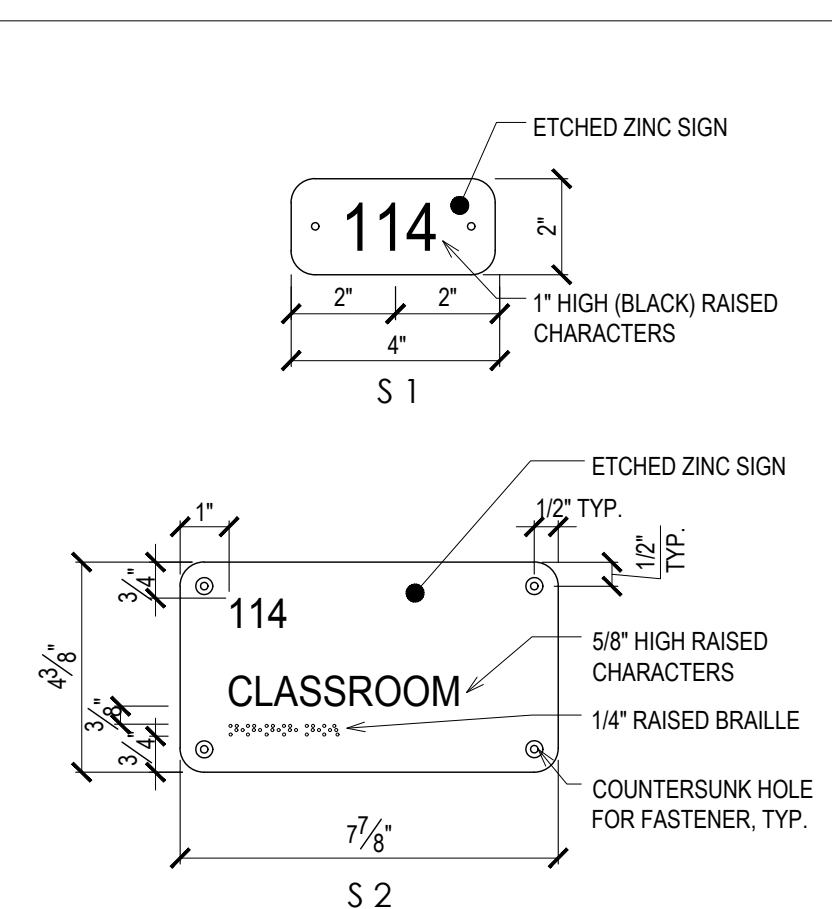
PH: 516-827-0240 FAX: 516-827-0224

DRAWN: E.L. CHECKED: M.M.

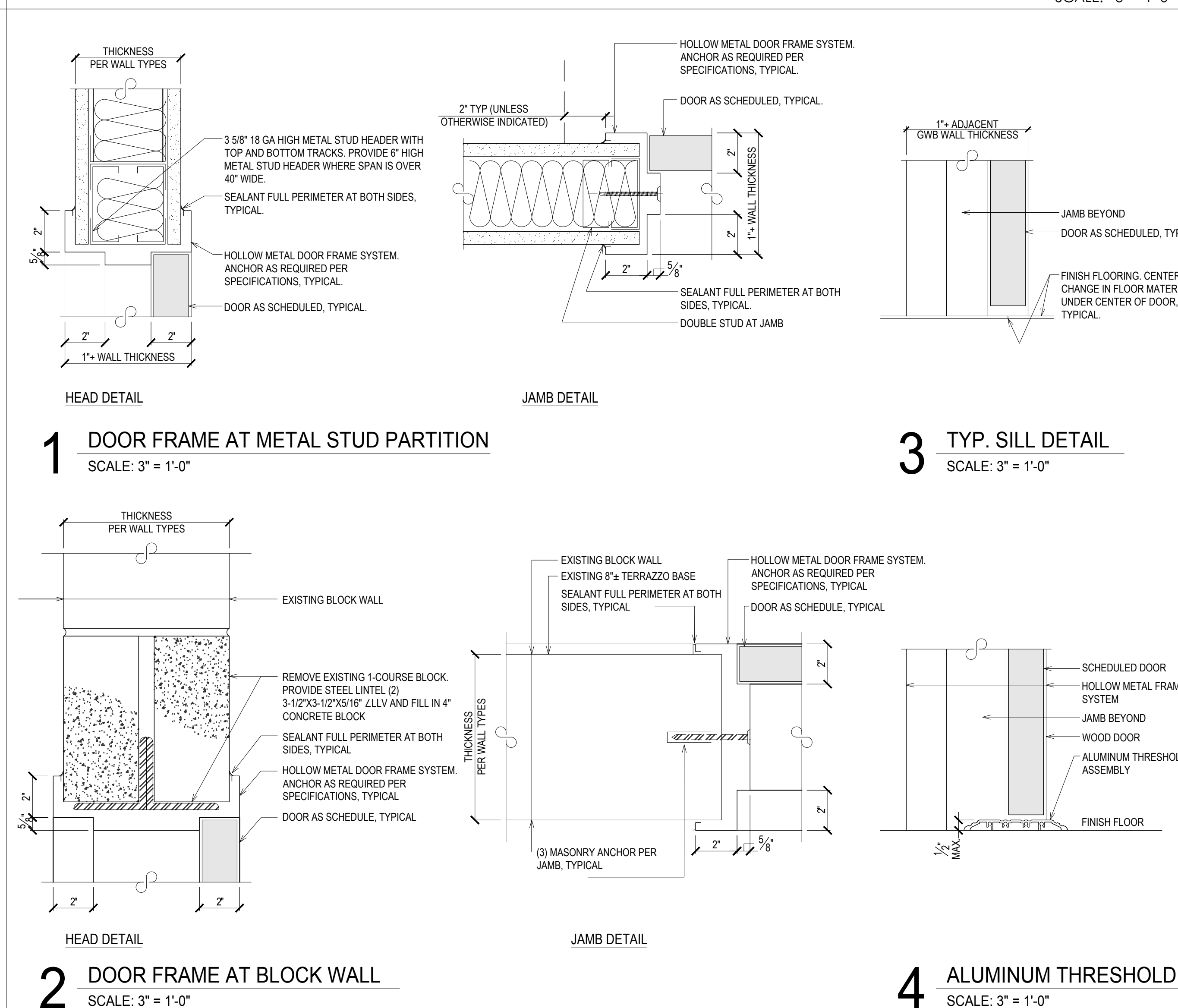
REGISTERED ARCHITECT MICHAEL MARK STATE OF NEW YORK 039516



SIGNAGE



DOOR DETAILS



NO.	DESCRIPTION	DATE
REVISION		

PROJECT TITLE

BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME

JAMES A. DEVER ELEMENTARY SCHOOL

585 NORTH CORONA AVENUE, VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.

28-02-13-02-0-001-040

DRAWING TITLE

DOOR & HARDWARE SCHEDULES AND DETAILS

DRAWING NO.

A-900

DATE

02/12/2021

PROJECT NO.

VS001-02

WINDOW ELEVATIONS

SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE

WINDOW NUMBER	INTERIOR / EXTERIOR	FRAME CONSTRUCTION	FRAME FINISH	GLAZING MATERIAL	M.O. / R.O. WIDTH	M.O. / R.O. HEIGHT	WINDOW SASH OPERATION	HEAD DETAIL	JAMB DETAIL	MULLION DETAIL	SILL DETAIL	FIRE RATING	REMARKS
FIRST FLOOR													
W1	EXT.	AL	AN	INSG	8'-6"	7'-11"	FX	-	-	-	-	NONE	
W2	EXT.	AL	AN	INSG	4'-9"	7'-11"	FX	-	-	-	-	NONE	
W3	EXT.	AL	AN	INSG	9'-6"	7'-11"	FX	-	-	-	-	NONE	
W4	EXT.	AL	AN	INSG	14'-4"	7'-11"	FX	-	-	-	-	NONE	
W5	INT.	AL	AN	INSG	15'-10"	7'-2"	FX	-	-	-	-	NONE	
W6	EXT.	AL	AN	INSG	15'-10"	7'-2"	FX	-	-	-	-	NONE	



MARK DESIGN STUDIOS
ARCHITECTURE, P.C.
270 NORTH BROADWAY, HICKSVILLE, NY 11801
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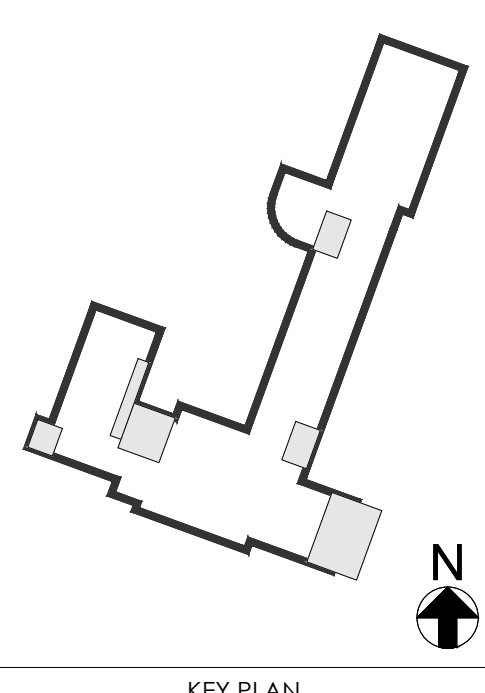
IF IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, WHERE SUCH ALTERATIONS ARE MADE, THE COORDINATING LICENSED ARCHITECT MUST SIGN, SEAL, DATE AND DESCRIBE THE REVISIONS ON THE DRAWINGS AND/OR SPECIFICATIONS.
(See Appropriate Sections of NYS Education Law)

WINDOW SCHEDULE NOTES

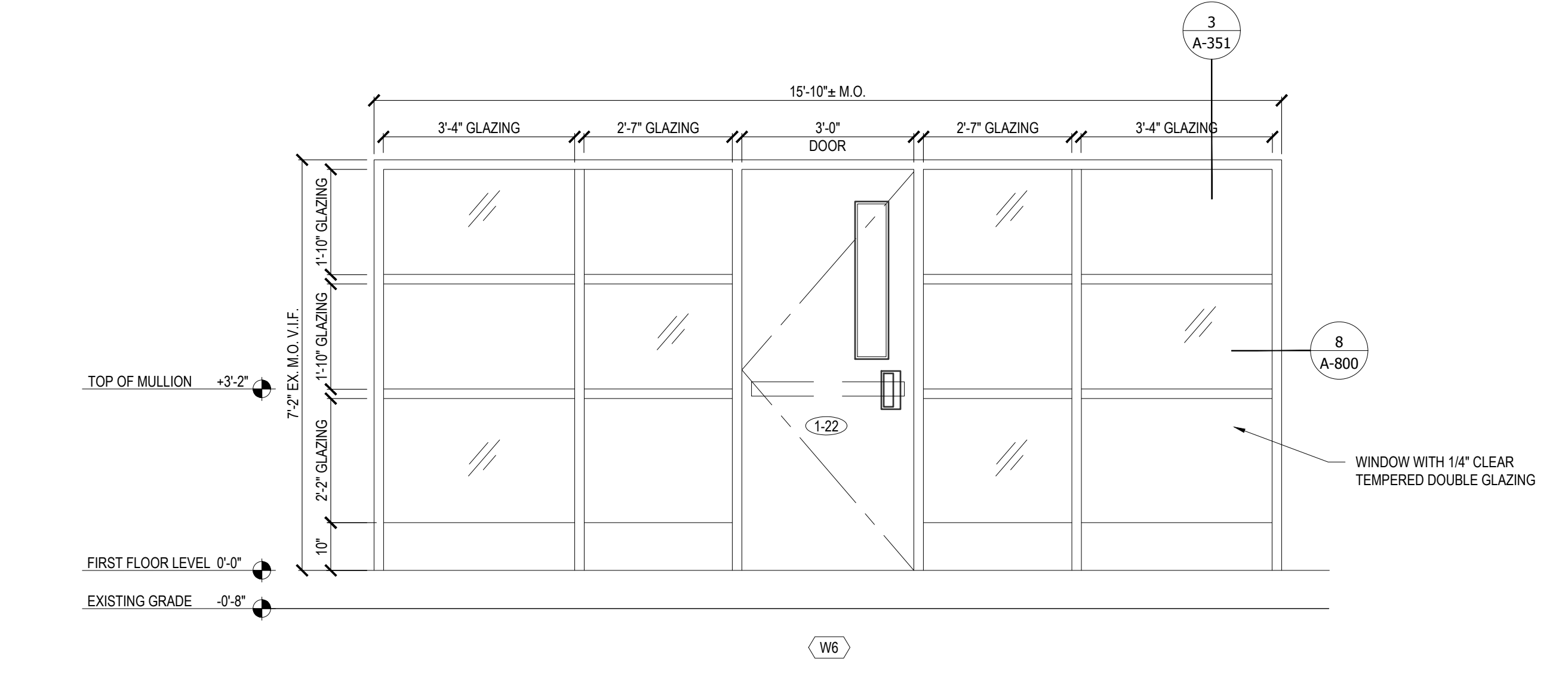
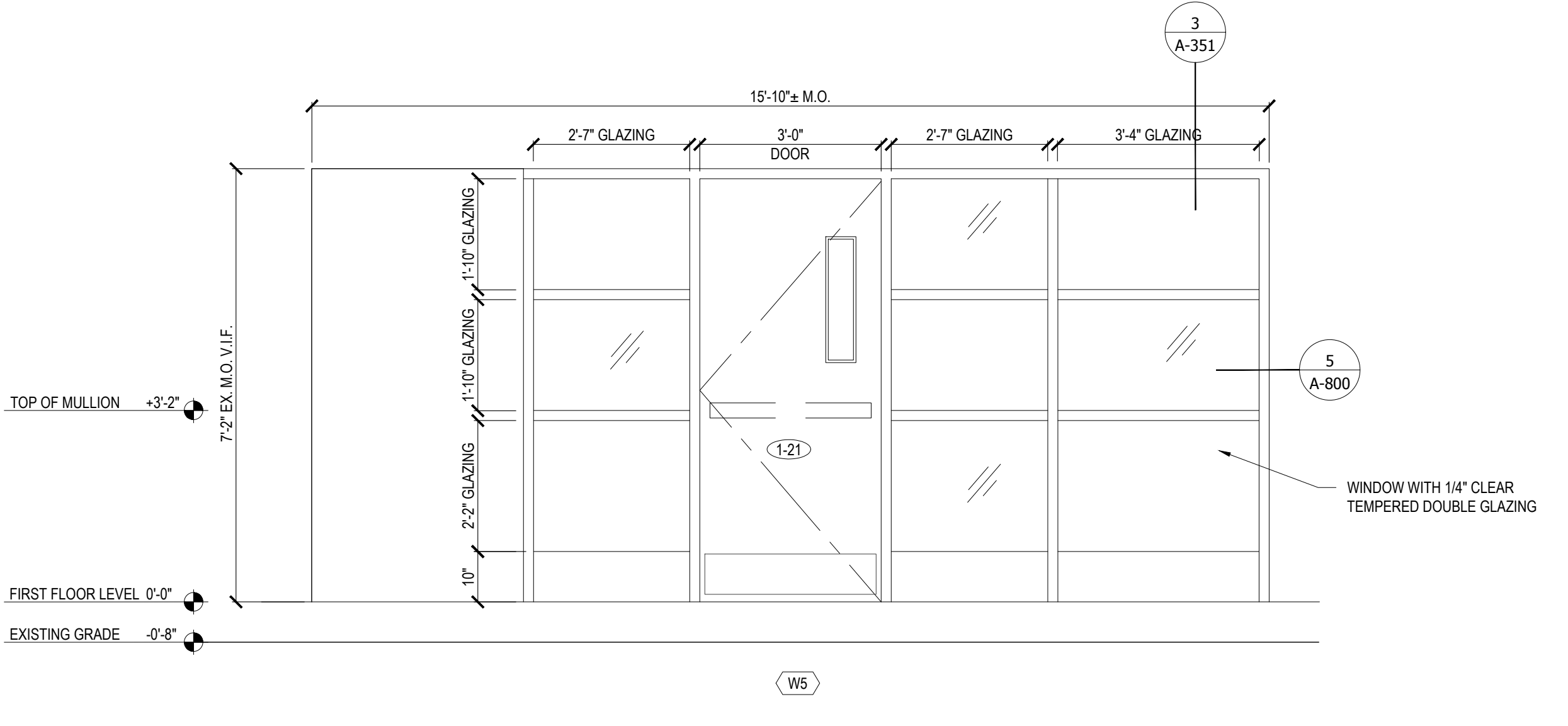
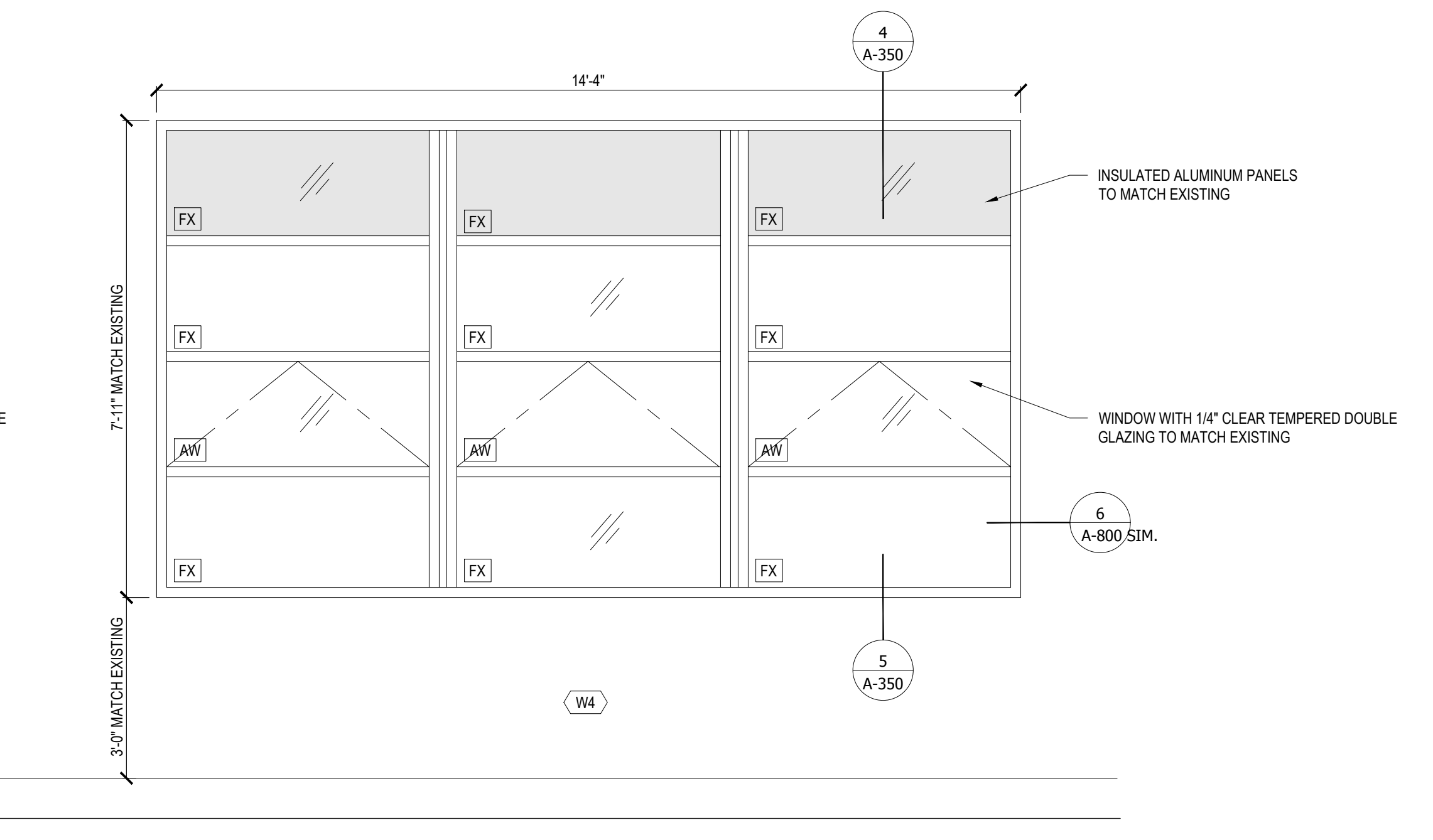
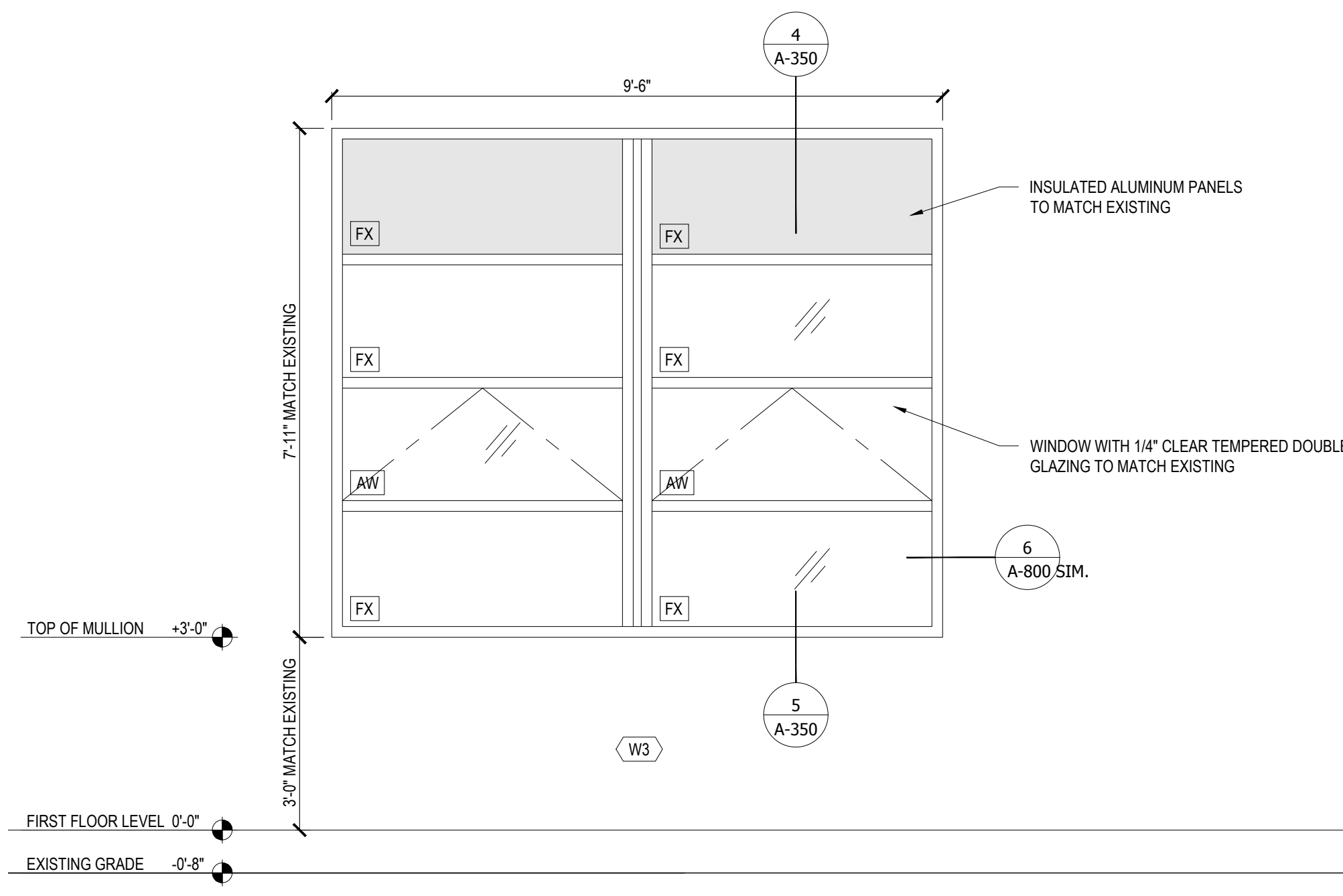
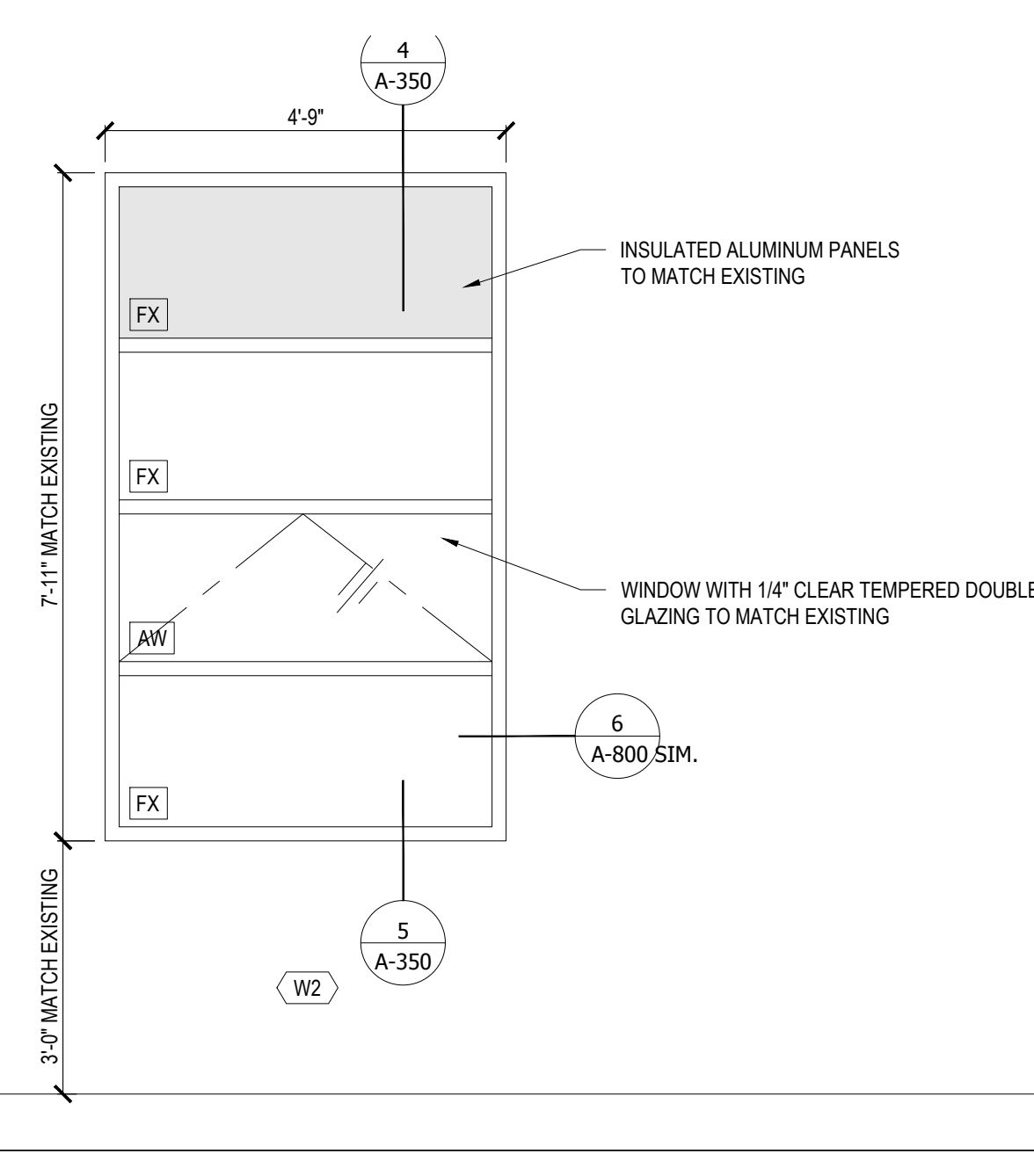
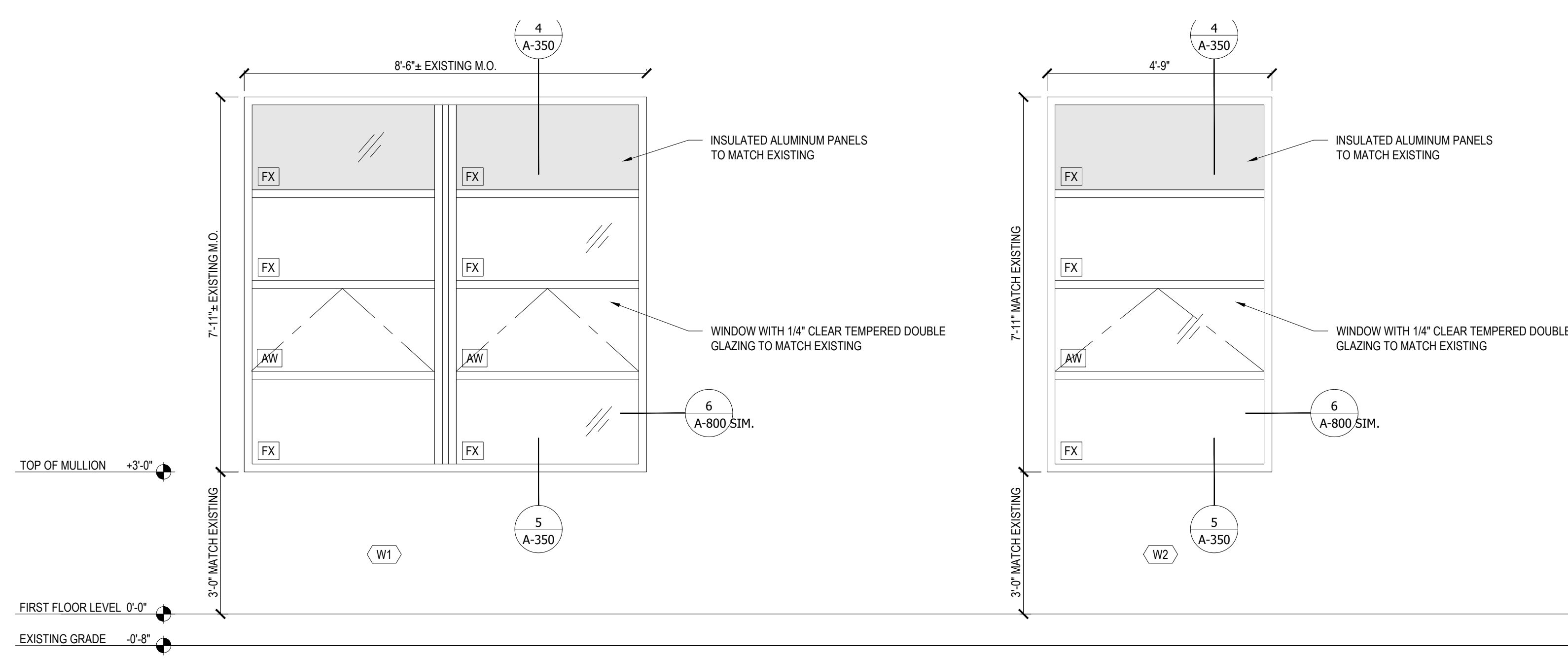
- ABBREVIATIONS:
 - AL = ALUMINUM
 - AN = ALUMINUM, ANODIZED
 - EX = EXISTING
 - EXMP = EXISTING METAL PAINTED
 - EXR = EXISTING TO REMAIN
 - FRSG = FIRE RATED SAFETY GLAZING
 - HM = HOLLOW METAL
 - INP = INSULATED PANEL
 - INSG = INSULATED SAFETY GLAZING
 - IRSG = IMPACT RATED SAFETY GLAZING
 - M = METAL
 - MP = METAL PAINTED
 - NONE = NONE
 - WD = WOOD, PAINTED
 - WP = WOOD, STAINED AND POLYURETHANE PER APPLIED FACTORY
 - WS = FINISH COLOR SELECTED BY ARCHITECT
- WINDOW SASH OPERATION:
 - AW = AWNING
 - CS = CASEMENT
 - DH = DOUBLE HUNG
 - FX = FIXED
 - SL = SLIDER
 - SH = SINGLE HUNG
- FRAME DETAILS: DESIGNATION INDICATES DETAIL NUMBER.
- FIRE RATING: 20, 45, 60, 90, 180 INDICATES REQUIRED MINUTES OF FIRE RATING.
- WINDOW TYPE: DESIGNATION INDICATES WINDOW TYPE NUMBER SEE WINDOW TYPES, WINDOW SCHEDULE, EXTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION.

WINDOW NOTES

- ALL DIMENSIONS ARE NOMINAL UNLESS NOTED.
- PLUS OR MINUS VERIFY IN FIELD (± VIF) NOTATIONS ARE USED IN DIMENSION STRING TO ACCOUNT FOR VARIATIONS IN EXISTING CONDITIONS. THE (SUB)CONTRACTOR SHALL VERIFY ALL ± VIF DIMENSIONS PRIOR TO BIDS, TYPICAL.
- SEE ADJACENT SCHEDULE FOR ANY FIRE RATING, TYPICAL.
- SEE FRAME DETAILS FOR REQUIRED DEPTH OF WINDOW FRAMES, TYPICAL.
- SHIM ALL WINDOW FRAMES REQUIRED, TYPICAL.
- PROVIDE CONTINUOUS SEALANT FULL PERIMETER OF WINDOW FRAMES AT EACH SIDE, TYPICAL.
- PROVIDE VERTICAL AND HORIZONTAL CHANNEL REINFORCING AS REQUIRED, TYPICAL.
- PROVIDE FRAME ANCHORS TO NEW CONSTRUCTION AS REQUIRED, TYPICAL. SEE SPECIFICATIONS.
- FILL ALL WINDOW FRAME VOIDS WITH BATT INSULATION AT ALL EXTERIOR LOCATIONS, TYPICAL.
- PROVIDE THERMAL AND EXPANSION BREAKS AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS AND WARRANTY.
- INDICATES DIRECTION OF WINDOW SASH ACTION, TYPICAL.
- ALL GLAZING SHALL BE FIXED UNLESS INDICATED BY



NO.	DESCRIPTION	DATE
REVISION		



BOARD ROOM RENOVATION & ADMIN ADDITION

SCHOOL NAME
JAMES A. DEVER ELEMENTARY SCHOOL
585 NORTH CORONA AVENUE,
VALLEY STREAM, NEW YORK 11580

HYSD CONTROL NO.
28-02-13-02-0-001-040

WINDOW SCHEDULE & DETAILS

DRAWING NO.
A-901

DATE
02/12/2021
PROJECT NO.
VS001-02