



THE IMMOKALEE COMMUNITY REDEVELOPMENT ADVISORY (CRA) BOARD MEETING

November 12, 2025

9:00 A.M.



Immokalee
Florida in the 21st century

IMMOKALEE

CRA Collier County Community Redevelopment Agency

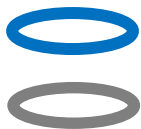


2025

CRA Meetings held
every third
Wednesday of the
month.

MSTU Meetings held
every fourth
Wednesday of the
month.

January	February	March	April
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September	October	November	December
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CRA Meeting

Joint Meeting

MSTU Meeting

Cancelled

Special Meeting

No Meeting

BCC Joint

Workshop

All meetings are held at the CareerSource SWFL Conference Room located at 750 South 5th Street, Immokalee, FL 34142 unless otherwise noted. CRA Meetings are held every third Wednesday of the month.

◆ Hybrid Remote Public Meeting

Some of the Board Members and staff may be appearing virtually, with some Board Members and staff present in person. The public may attend either virtually or in person. Space will be limited.

CRA Board

Commissioner
William McDaniel Jr.
Co-Chair
District 5

Commissioner
Dan Kowal
Co-Chair
District 4

Commissioner
Burt L. Saunders
District 3

Commissioner
Chris Hall
District 2

Commissioner
Rick LoCastro
District 1

CRA Advisory Board

Mike Facundo
Chairman

Bernardo Barnhart
Vice-Chair

Mark Lemke
Anne Goodnight
Yvar Pierre
Paul Thein
Lupita Vazquez Reyes
Jimmy Nieves
Oscar Lugo
Edward "Ski" Olesky
Estil Null

CRA Staff

John Dunnuck
Executive Director
Facilities & CRA

Christie Betancourt
CRA Assistant Director

Yvonne Blair
CRA Project Manager

Yuridia Zaragoza
CRA Operations Support
Specialist I

**Meeting of the Collier County Community Redevelopment Agency
Immokalee Community Redevelopment Advisory Board.**

AGENDA

Hybrid Remote Public Meeting

(*Please see details below)

CareerSource SWFL
750 South 5th Street
Immokalee, FL 34142
239.867.0025 (CRA Office)

November 12, 2025 – 9:00 A.M.

- A. Call to Order.
- B. Pledge of Allegiance and Prayer.
- C. Roll Call and Announcement of a Quorum.
- D. Voting Privileges for Board Members via Zoom. (Action Item)
- E. Approval of Agenda. (Action Item)
- F. Approval of Consent Agenda. (Action Item)
 1. Minutes
 - i. Immokalee CRA Board Meeting for October 29, 2025 (Enclosure 1) (Pages 5-18)
 2. Budget Reports (Enclosure 2) (Pages 19-26)
 3. Staff Reports
 - i. Assistant Director Report (Enclosure 3) (Pages 27-30)
 - ii. Project Manager Report (Enclosure 4) (Pages 31-46)
 - iii. Project Manager Field Observation Report (Enclosure 5) (Pages 47-50)
 - iv. Community Meetings (Enclosure 6) (Pages 51-52)
- G. Public Comments on General Topics not on the Current or Future Agenda.
- H. Announcements.
 1. Public Comment speaker slips
 2. Communications Folder
- I. Other Agencies.
 1. FDOT updates
 2. Other Community Agencies
 - i. Immokalee Water and Sewer District (IWSD)
 - ii. Collier County Code Enforcement
 - iii. Collier County Sheriff's Department
 - iv. Collier County Parks and Recreation
 - v. Immokalee Eastern Chamber of Commerce
- J. Community Presentations.
 1. Immokalee Water & Sewer District (Enclosure 7) (Pages 53-72)
 2. El Gran Taco Loco Project (Enclosure 8) (Pages 73-88)
- K. Old Business.
 1. Contactor Maintenance Reports
 - i. A&M Property Maintenance Report & Schedule (Enclosure 9) (Pages 89-90)
 2. Development Report by Johnson Engineering (Enclosure 10) (Pages 91-111)
 3. 2025/2026 Strategic Plan Update
 - i. Budget Update

- 4. Immokalee Regional Airport Improvements
 - i. Staff Report for Global Flight Training Solutions (GFTS) Update
- 5. Brief Staff project update
 - i. Immokalee Sidewalk Phase III – Eustis Ave. and W. Delaware Ave.
 - ii. First Street Corridor Safety Project
- L. New Business
- M. Public Comments
- N. Next Meeting Date. The **CRA Board** will meet on ***Wednesday, December 10, 2025***, at 9:00 A.M. at the **Immokalee Community Park**.
- O. Adjournment

*** Hybrid Remote Public Meeting**

Some Advisory Board members and staff may be appearing remotely, with staff present in person. The public may attend either virtually or in person.

If you would like to provide public comment, participate, and/or attend the meeting, please contact Yuridia Zaragoza via email at Yuridia.Zaragoza@collier.gov by November 11, at 4:00 P.M.

You may attend the meeting in person on November 12, 2025, at the CareerSource SWFL conference room, 750 South 5th Street, Immokalee, FL 34142.

The public is reminded that the CDC and Department of Health recommend social distancing and avoiding public gatherings when possible.

All meetings will be publicly noticed in the W. Harmon Turner Building (Building F), posted at the Immokalee Public Library, and provided to the County Public Information Department for distribution. Please contact Yuridia Zaragoza at 239.867.0025 for additional information. In accordance with the American with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact Yuridia Zaragoza at least 48 hours before the meeting. The public should be advised that members of the CRA/MSTU Advisory Committee are also members of other Boards and Committees, including, but not limited to: the Immokalee Fire Commission. In this regard, matters coming before the Advisory Committee/Board may come before one or more of the referenced Board and Committees from time to time.



MINUTES

Meeting of the Collier County Community Redevelopment Agency Immokalee Community Redevelopment Advisory Board on October 29, 2025. The Advisory Board members, staff, and public appeared virtually and in person.

Hybrid Remote Public Meeting

CareerSource
750 South 5th Street
Immokalee, FL 34142

A. Call to Order.

The meeting was called to order by CRA Chair Michael “Mike” Facundo at 9:00 A.M.

B. Pledge of Allegiance and Opening Prayer.

Michael “Mike” Facundo led the Pledge of Allegiance.

Executive Pastor Armando Yzaguirre with the Fellowship Church led the Opening Prayer.

C. Roll Call and Announcement of a Quorum.

Christie Betancourt opened a roll call. A quorum was announced for the CRA Board.

CRA Advisory Board Members Present in Person:

Michael “Mike” Facundo, Bernardo Barnhart, Mark Lemke, Patricia “Anne” Goodnight, Yvar Pierre, Paul Thein, Jimmy Nieves, Oscar Lugo and Estil Null.

CRA Advisory Board Members Present via Zoom:

None.

CRA Advisory Board Members Absent/Excused:

Lupita Vazquez Reyes and Edward “Ski” Olesky.

Others Present in Person:

Marie Striebel, Judith Seva, Samy Penagor, Joseph “Joe” Mucha, Rick Newtown, Armando Yzaguirre, Melissa Silva, Kaitlyn Zindle, Silvia Puente, Sarah Harrington, Said Gomez, and Commissioner William “Bill” L. McDaniel, Jr.

Others Present via Zoom:

Andrea Halman, Hugo Osorio, Jacob Stauffer, Samantha Gutierrez, Stephanie Chavez, Yolanda Flores, Delia Bustamante, Cynthia Salinas, Adesky Smart, and Yvelande Astreide.

Staff Present in Person: John Dunnuck, Christie Betancourt, Yvonne Blair, and Yuridia Zaragoza.

D. Voting Privileges for Board Members via Zoom

No Action Taken.

E. Approval of Agenda.

Staff presented the Agenda to the board for approval. The Agenda was approved as presented.

CRA Action: Ms. Patricia “Anne” Goodnight made a motion to approve the Agenda as presented. Mr. Mark Lemke seconded the motion, and it passed by unanimous vote. 8-0.

F. Approval of Consent Agenda

1. Minutes
 - i. Immokalee CRA Board Meeting for September 17, 2025 (Enclosure 1)
2. Budget Reports (Enclosure 2)
3. Code Enforcement Report (Enclosure 3)
4. Staff Reports
 - i. Assistant Director Report (Enclosure 4)
 - ii. Project Manager Report (Enclosure 5)
 - iii. Project Observation Field Report (Enclosure 6)
 - iv. Community Meetings (Enclosure 7)

Staff presented the Consent Agenda to the boards for approval. Enclosures 1 through 7 are under the Consent Agenda. The Consent Agenda was approved as presented.

CRA Action: Ms. Patricia “Anne” Goodnight made a motion to approve the Consent Agenda as presented. Mr. Paul Thein seconded the motion, and it passed by unanimous vote. 8-0.

G. Public Comments.

CRA Staff added public comments at the beginning and end of the meeting. Comments may also be addressed on specific Agenda Items. All public comment speakers have 3 minutes unless the board decides to give more time.

H. Announcements.

1. Public Comments speaker slips
CRA Staff commented on the public 3-minute speaker slip policy for each Topic. The Board will give more time if they feel it’s necessary.
2. Communications Folder
Staff provided a hard copy of all attachments in the communication folder to the board members. Staff reviewed the communication folder with the board and members of the public. Included in the folder were the public notice of the Immokalee Community Redevelopment Advisory Board Meeting, Articles on the TIGER Ribbon Cutting Ceremony, an article on the Aldi’s opening and Winn-Dixie closing, Executive Summary of the Land Development Code presented at the BCC Meeting, and the 12th Annual Christmas Tree Lighting event flyer.
3. 2025 FRA Conference Update (Enclosure 8)
CRA Staff provided a recap of the 2025 Florida Redevelopment Association (FRA) Conference. Ms. Christie Betancourt commented that Commissioner Dan Kowal attended this year’s conference as well.

Mr. Paul Thein provided insight into his experience at the 2025 FRA Conference. He was thoroughly impressed by the number of participants at this conference. In the breakout sessions, he was able to learn more about how one can leverage public and private partnerships and grants.

He learned about the CRA funds and how the funds can advance the tax base and return investment to the community. A couple of projects presented at the conference were able to highlight the improvements made in the community. Mr. Thein said there could be a couple of projects that could probably be done in Immokalee.

Mr. Michael “Mike” Facundo asked Mr. Paul Thein what could be applied within the Immokalee Community.

Mr. Paul Thein commented that an opportunity could exist with the culinary accelerator, but more about food production to benefit jobs. He further discussed how collaborations/partnerships could work with other organizations in the community to help provide this opportunity and create a job production plan. A couple of organizations mentioned were St. Matthew’s House and CareerSource.

Mr. Thein also provided insight into a transportation concept and said that although CAT offers a great program, there is a company that offers rides and is reimbursed through Medicaid. The only thing that would need to be done is for the individual to schedule the trip. Mr. Thein highlighted the public and private partnerships and said that if leveraged correctly, many opportunities could be present in the community. He thanked the staff for allowing him to attend, and he hopes to attend next year.

I. Other Agencies

1. FDOT Updates
No Updates.

2. Other Community Agencies

- i. Immokalee Water and Sewer District (IWSD)
No update.

- ii. Collier County Code Enforcement

Mr. Joseph “Joe” Mucha provided information on Code Enforcement job opportunities. They are hiring another Manager; Ms. Cristina Perez is currently the Interim Manager. Once someone is hired, they could end up hiring a supervisor. Code Enforcement is also in the process of hiring 6 code officers. There is a possibility that a code officer may work in Immokalee to fill the shoes of Ms. Maria Rodriguez. Ms. Maria Rodriguez has about 2 months before she retires.

As for the animal control side, staff are in the process of hiring a senior officer. They have been unable to fill the position since December of last year, but they continue to move forward. They are also in the process of hiring two animal patrol officers and two additional officers.

- iii. Collier County Parks and Recreation

Mr. Said Gomez provided updates on the Immokalee parks. Park staff are currently running the after-school program at Immokalee South Park.

They have 21 kids and 7 kids under the VPK program. At the Immokalee Community Park, they have over 45 kids in their after-school program.

Park staff recently held their Halloween Trunk or Treat event. It was well attended. Park staff saw about 400 to 500 people. There was a lot of participation from the community, and many are looking forward to next year. The community members would like to see something different next year, so park staff will look into making a Haunted House.

As for the Immokalee Sports Complex, at the PARAB meeting, it was asked that park staff provide and post regular updates. Park staff have posted the updates at the Immokalee Parks and will also post updates on their website. He also mentioned that the Ave Maria University is utilizing the pool at the Immokalee Sports Complex.

Park staff are also running their basketball program and fitness classes. Park staff are also working on the Christmas Around the World gala event and how it will run this year and also discussing plans for next year. The Christmas Around the World Parade and Gala event will be on December 6, 2025.

Mr. Paul Thein asked if any Pilates classes are held.

Mr. Said Gomez confirmed that Pilates classes are being held at the gymnasium. They have up to 35 participants already registered. Also, park staff recently held their first 3k run/walk; they had over 50 participants. It was well attended by the community. Mr. Gomez thanked Lipman and Suncoast for sponsoring the event. They anticipate holding another event just like this since it was well attended.

Mr. Paul Thein said he would like to connect park staff with Recycle the Cycle, who are looking to start a cycling club.

iv. Immokalee Eastern Chamber of Commerce

No update.

v. Bondage2Freedom Foundation

Ms. Marie Striebel introduced herself. She is the founder of the Bondage2Freedom Foundation. She is dedicated to ending the demand for childhood sexual abuse of any kind through prevention and education. By advocating for laws that protect children, such as Erin's Law, which has been passed in 39 states, Florida is not one of them. Erin's Law teaches body safety, boundaries, safe touch, unsafe touch, safe secrets, and unsafe secrets throughout the school system.

Ms. Striebel is also a STAND fellow survivor leader of the systemic change with the World without Exploitation Organization located in Washington D.C.

She commented on her experience as a survivor and said she would like to organize an event for the people of Immokalee to bring awareness, prevention and resources.

Ms. Marie Striebel said she attended the Epstein-Maxwell rally in D.C. in September 2025 to stand in support of the survivor sisters. Due to the closeness of Epstein's residence and the amount of human/sex trafficking that is being done, Ms. Striebel would like to help protect the children in the community.

A discussion was held on the statistics of trafficking in Florida. Ms. Striebel also commented on the high-risk communities.

Mr. John Dunnuck asked Ms. Marie Striebel if she had any discussions with the Sheriff's Office. Ms. Striebel said she has not. Mr. Dunnuck commented that he used to work for Boward College on the East Coast, and he recalled seeing a stat with Florida being number 2 in the nation in regard to sex trafficking. Staff will see what they can do to get Ms. Striebel in touch with the Sheriff's Office.

Ms. Marie Striebel hopes to have an event to get Christmas Dinners and Christmas Trees for the families in Immokalee and raise awareness of human/sex trafficking.

vi. Collier County Library – Immokalee Library

Ms. Silvia Puente introduced herself. She is the branch manager of the Immokalee Library. They have had a lot of exciting events at the library. The Immokalee Library had a meet up with Pete the Cat and they hosted a slime event. Over 200 people attended both events. The library staff continues to have family story times, toddler story times, preschool story times, and craft/STEM programs twice a month. The Immokalee Library has new furniture and carpeting. Ms. Puente invited everyone to see the new improvements.

J. Community Presentations

1. El Gran Taco Loco Project (Enclosure 9)

Due to unforeseen circumstances, the owner and presenter were unable to present the El Gran Taco Project. The board tabled this item.

K. Old Business

1. Contractor Maintenance Reports

i. A&M Property Maintenance Report & Schedule (Enclosure 10)

Staff presented the November look-ahead schedule for all the maintenance work on Main Street, 1st Street and the Triangle area, and the October work that was completed. Staff also attached the estimates for the Zocalo, which is all related to Christmas. The estimates include work regarding the shelling, incidental work to inspect and replace defective lightbulbs of the Christmas decorations, and the trimming of all canopy trees, sabal, and cabbage palms. Staff have approved the work, but they wanted to make the board aware of all that was approved.

Mr. Armando Yzaguirre said all maintenance is going as planned. The trash on Main Street is starting to pick up, but A&M staff continue to move forward and pick up the trash. Mr. Yzaguirre asked the staff when they would like the Holiday decorations to go up. Staff and board members agreed that A&M staff should start putting up the decorations the day after Thanksgiving.

Ms. Christie Betancourt said CRA staff will ask A&M staff to decorate the Zocalo earlier this year. It will most likely have to be done earlier than Thanksgiving.

Mr. Yzaguirre said discussions have been held with CRA staff about getting the outlets checked out. There will be an additional fee if A&M staff check the outlet sooner, unless they check during their installation of the Christmas decorations.

Mr. John Dunnuck commented that Facilities Management will test the outages before A&M installs the Holiday Decorations.

2. Development Report by Johnson Engineering (Enclosure 11)

Ms. Kaitlyn Zindle highlighted a couple of new developments. Listed under Zoning Petitions is 3206 Lake Trafford Rd, where the Immokalee Fire District seeks a comparable use determination to allow a public safety facility. Also listed is the RCMA Immokalee MPUD, where a request is being made for three lake excavations.

Under Development Review Petitions are ALDI - 0751 Renovation; they have put in their application but are missing architectural plans to complete the submittal. El Gran Taco Loco is also listed; the county staff issued their first comment letter. The Mendoza Housing development recently had its pre-app meeting. Ms. Zindle also provided information on the Immokalee Recycle Drop-off Center, Scale House, and Control Center, and the Silver Strand Mine. The Silver Strand Mine has 2 other companion items, which include the Silver Strand Mine Variance and Silver Strand Mine III for conditional use.

Ms. Zindle also presented information on the previous projects with recent activity. This included the Sainvilus Subdivision, Pepper Ranch Preserve, A&H Invest Multi-Tenant Commercial Building, Immokalee Sports Complex, Onda Rose Multi-Family, and Florida Army National Guard Readiness Center.

The Final Actions/Letters were issued to 418 Jefferson Ave W, Little Ceasars Immokalee, Boys and Girls Club of Immokalee Gym, Pathway Early Learning Center Immokalee, Immokalee Airport GFTS Parcel A South Aircraft Hangar, 502 New Market Rd E.

CRA staff commented that the Doggie Day Care, which is looking to be located on 502 New Market Rd E, has reached out to staff. They would like to get a letter of support from the Immokalee CRA Board. Staff will follow up and see if they will come present at a future meeting.

Ms. Patricia “Anne” Goodnight commented that the Development Report is very informative and hopes that staff can continue to provide this report. Ms. Christie Betancourt also commented on how informative this report is and how it helps staff with others who are looking to start something within the community.

3. 2025/2026 Strategic Plan Update (Enclosure 12)

Ms. Christie Betancourt provided the Budget Update before presenting the 2025/2026 Strategic Plan Update. The Strategic Plan included the changes made to the Strategic Plan lifecycle.

Ms. Betancourt highlighted the importance of staff being aware of staying on track with projects, updating the budget priorities, and making sure the budget amount is accurate. If any other item needs to be added, Ms. Betancourt asked that staff be made aware so that it could be added to the Strategic Plan. Staff will continue to keep the Immokalee Strategic Plan updated to be in line with the Collier County Strategic Plan.

CRA Action: Ms. Patricia “Anne” Goodnight made a motion to approve the updated 2025/2026 Strategic Plan as presented. Mr. Mark Lemke seconded the motion, and it passed by unanimous vote. 7-0.

4. Budget Update (Enclosure 13)

Ms. Christie Betancourt provided information on the updated Budget Priorities 2025/2026 list. The changes made were highlighted. Ms. Betancourt commented on the importance of having items in the plan and budget. Due to the Budget update, staff are also planning for the next fiscal year.

The First Street Corridor Safety Improvement Project #33831 (Grant) 50250 (CRA) was previously estimated to be around 1.5 million. However, the funding has changed. The Immokalee CRA has to pay for the acquisitions, it’s estimated to be about \$200,000. Since staff need to get easements, a change has occurred in the project timeline, which has caused the Grants Department to be flagged.

Due to this, the grant is being reduced by the amount of the construction of Phase I. The amount reduced is about \$176,000. Even with the reduced amount, it has been assured by the Grants Department that the funds will be given back after staff get the easement acquisitions and complete the design for the construction of Phase II.

Within this process, CRA Staff will have to pay for the complete design of Phase II. Staff estimate this to be about \$76,696.50. Ms. Christie Betancourt said that an increase of \$200,000 was made under the CRA Fund for this project and noted that staff also shifted the funding source. A million dollars from the CDBG Grant is no longer coming in for this Fiscal Year; however, an amount of \$600,000 will be coming in for Fiscal Year 2027. Staff commented that the current overall cost estimate of the project is an estimate. Overall, staff wanted to make the board aware that funds were reallocated. Staff clarified that no reimbursement will be given for the cost of the design for Phase II of the First Street Pedestrian Safety Improvement Project.

Mr. Michael “Mike” Facundo asked if the owners within the easements are willing to sell. Staff commented that they are not there yet, but they will use the authority of the Transportation Division to address this matter. Staff clarified the cost of the design of the First Street Corridor Safety Improvement Project.

Mr. John Dunnuck commented on the discussion he had with Ms. Trinity Scott, who is the Department Head of the Transportation Division, regarding the First Street Corridor Safety Improvement Project and the importance of moving the project forward.

Mr. Paul Thein commented on the need to have a plan and budget set aside to follow the plan for the community. He further provided information on an open session called, Tearing Down the Silos, that will be held on November 4, 2025, at the CareerSource building. A consultant has been hired to come in and talk about what could be done within the strategic plans, initiatives, and grants to help better the community.

Ms. Christie Betancourt provided information on the minor changes for the Immokalee Sidewalk Phase III Project – Eustis Avenue & West Delaware Avenue Project #33873 (Grant) #50244 (CRA). The CRA and MSTU funds are for this project. Staff are presenting an accurate number since a contract has been awarded. The CRA and MSTU are each paying \$99,589.75 for the construction of this project. The grant fund for this project is \$987,000.

Ms. Christie Betancourt also highlighted the addition of \$50,000 under Economic Development. The Board has previously approved this amount.

Mr. Michael “Mike” Facundo commented on the estimated construction cost of the First Street Corridor Safety Improvement Project and recommended that staff keep in mind the cost of construction and be cautious of inflationary costs, especially with the way things are currently going regarding the federal government. Ms. Christie Betancourt provided information on what is done and said that it’s a requirement to think about having a higher estimated cost in case of a scenario just like this. She said an updated Opinion of Probable Cost “OPC” will be conducted when we get closer to construction of the this project.

A discussion was held on how the current government shutdown is impacting EBT, SNAP, and childcare. Mr. Mark Lemke commented that from the Health Department’s standpoint, they haven’t had any stop payments on WIC. The Health Department has continued to receive funding so far. Mr. Mark Lemke commented on how the funding works and said the federal government gives funding to the State. The State disburses it. From Mr. Lemke’s understanding, the state has a reserve, so they may be able to carry the WIC program for a while.

Mr. Michael “Mike” Facundo commented on the current effect that is happening within childcare and said 600 RCMA employees in Florida are being laid off. There was a grant that was not given due to the shutdown, and it has affected the Migrant Program for RCMA. He said a full impact will not be seen until time goes on.

CRA Action: *Mr. Paul Thein made a motion to approve the Updated Budget Priorities 2025/2026 list as presented. Mr. Patricia “Anne” Goodnight seconded the motion, and it passed by unanimous vote. 7-0.*

5. New Market Road Commercial Project (Parcel along Pinellas Street)

i. Staff Report for Vacating the Alley update (Enclosure 14)

Staff provided a report for vacating the alley for a parcel along Pinellas Street. Staff were directed by the board to obtain an in-house valuation of the 20-foot alley. The estimated value was \$25,800. Staff reached out to the Transportation Department, and CRA staff were informed that they met with the property owner and came to a consensus on October 17, 2025. The County identified a public benefit component tied to drainage improvements that will be incorporated into the petitioner’s property. The design, permitting, and long-term maintenance of these improvements will be handled by the petitioner under the direction and review of the Transportation Department. Since the public benefit has been clearly defined, the CRA input is no longer required as part of the formal vacation process. The CRA’s role in establishing the valuation and facilitating coordination with county staff is complete.

Mr. Paul Thein asked about the \$25,000 valuation and what the improvement could be with this amount. CRA staff commented that it would mostly be drainage improvements to the surrounding area. Overall, no action is needed for this item.

6. Immokalee Regional Airport Improvements

i. Staff Report for Global Flight Training Solutions (GFTS) (Enclosure 15)

Mr. John Dunnuck provided background information on his predecessor, who committed to incentivizing a company that was coming into the airport to provide landscape improvements.

The company decided to move forward with the landscape improvements as part of their project that they started at the Immokalee Regional Airport. The predecessor left before this project was finalized; however, due to the commitment made, CRA staff strongly feel that they need to follow through with incentivizing. Staff have added funds to follow through with this item. Mr. Dunnuck commented on the options and said this could be a two-year payout or a one-time lump sum. He said the idea of this commitment was for the company to beautify its area to make sure it's welcoming. The company has brought in a great program that brings in students to train and learn about being a pilot.

Ms. Christie Betancourt commented that this company expanded its project and built two more hangars. Due to their expansion, the cost of the landscaping was discussed between staff, Mr. Greg Oravec, the previous CRA Director, and the Immokalee Regional Airport Director. All agreed to move forward with the improvements.

Mr. Paul Thein commented on his personal experience of the Immokalee Regional Airport and commented on the much-needed landscape in the area. Mr. John Dunnuck clarified that in the end, the County is the owner of the Immokalee Regional Airport.

Mr. Mark Lemke asked if the total amount being asked for funding is the total amount of the landscaping improvements or just a portion. Ms. Christe Betancourt confirmed that it's a portion that was previously agreed on. Other expenses were incurred on landscaping, but a portion was agreed upon for the improvement made on the outskirts of the company's building.

Commissioner McDaniel provided insight and said these improvements were discussed and approved before the Land Development Code revisions were made.

Mr. Michael "Mike" Facundo commented that this matter is a nice concept of private and public sector collaboration.

After much discussion, the CRA Board made a recommendation to approve the payment for the landscaping improvements of Global Flight Training Solutions.

CRA Action: Mr. Paul Thein made a motion to approve the payment of up to \$36,764 to Global Flight Training Solutions for landscaping improvements at the Immokalee Regional Airport. Mr. Mark Lemke seconded the motion, and it passed by unanimous vote. 7-0.

7. Brief Staff Project update

i. Immokalee Sidewalk Phase III – Eustis Ave. and W Delaware Ave.

Staff provided an overview of the project and information on the progress of the Immokalee Sidewalk Phase III project. Staff have a contractor who will be issued a Notice to Proceed next month once the drain structures are manufactured. Once the structures are manufactured and delivered, staff will use a Notice to Proceed, and the project will start. The project should take about 8 months to complete.

ii. First Street Corridor Safety Project

Staff received a bid for Phase I of the First Street Corridor Safety Project. The lowest bidder was \$205,310. Staff are in the process of rewarding the lowest bidder. The next bidder was \$100,000 more than the lowest bidder. The design engineer is in the process of delivering a Design Entity Letter of Recommended Award (DELORA), and they have received 3 of the 5 required references for prior jobs; FDOT, Seminole Tribe, and others have given their recommendations. As of right now, Procurement would like to have 5 recommendations, so staff are trying to receive 2 more recommendations.

As soon as staff complete the DELORA, they will be able to submit the contract to the Board of Collier County Commissioners. This item will most likely be on the December 10, 2025, Agenda. Staff will then be able to proceed with a Notice to Proceed on Phase 1. Phase One consists of 11 streetlights from Eustis Ave down to School Drive.

L. New Business.

No New Business.

M. Citizen Comments.

Ms. Patricia “Anne” Goodnight commented on a discussion previously held about the improvements at the Health Department. Mr. Mark Lemke previously commented on the need for the road to be repaved and to have speed bumps in the parking lot. Ms. Goodnight said she witnessed 3 vehicles pull out of traffic and cut through the parking lot to get onto Immokalee Drive. She feels that this needs to be addressed.

Mr. Mark Lemke commented that there’s a PO from the County to have two speed bumps installed. The Health Department staff will look into this and see if they need extra speed bumps installed. If not, the Health Department will install one or two bumps. Mr. John Dunnuck followed up and said county staff let the paving project be completed, staff then decided to cut the PO and are now getting ready to install the speed bumps.

Ms. Patricia “Anne” Goodnight also provided information on the Immokalee Fire Department. The Immokalee Fire Department will have ALS (Advanced Lighting) that will be on each truck. This will be done once the department gets the permit from the State. She commented that this would be a lifesaver for the Immokalee community. Ms. Goodnight will notify Ms. Christie Betancourt of the opening ceremony to celebrate this achievement so that she may share it with the community members.

Ms. Sarah Harrington provided updates on the Collier County for Housing Policy and Economic Development division. They have been working on the developer status update and are looking across the County to see what developments are in process and reaching out to other developers. The developers in Immokalee have been very responsive. The Immokalee Fair Housing Alliance (IFHA) has one building completely occupied. The IFHA anticipates doing a fundraising event to have enough funds to progress with the next building. Ms. Harrington commented that she was able to participate in a panel discussion for affordable housing at Florida Gulf Coast University, and they were able to highlight the Immokalee Fair Housing Alliance for their recent actions.

Ms. Sarah Harrington also said that staff are working on compiling a list of surplus land. There are a few in Collier County, specifically in Immokalee. All land labeled as surplus land has been taken to the Board of Collier County Commissioners; the list was approved many years ago. Ms. Harrington followed up and said surplus land is a small parcel of land that could be used for affordable housing or other benefits, if there’s an opportunity. Once the county staff provides an updated list to the board, it will be posted online.

Commissioner McDaniel commented on the closure of the Winn-Dixie, which was the only large grocery chain in the community. Commissioner McDaniel asked for consent from the other Collier County Commissioners to extend an additional bus route from the parking lot at the Winn-Dixie over to one of the three Publix in Ave Maria, Randall Blvd, or the new one coming in at Orange Blossom. This Bus Route will occur 3 days a week; Friday, Saturday, and Sunday, and it will occur twice a day during these days. The ride will be free. This has been set up for a 12-month run with a quarterly update. It’s \$111,000 for the extra bus route, and 50% of the expenses is being offset by the Collier Community Foundation.

Aldi's is expected to open up; however, there is no timeline yet on when the opening will occur. Subsequently, Aldi does not accept WIC (Women, Infants, and Children's) program, so other arrangements will have to be made for individuals who rely on this.

Commissioner McDaniel also clarified that Immokalee Road is still Immokalee Road. The Board of Collier County Commissioners voted to do a memorial designated for Charlie Kirk. There will be 4 signs up.

Commissioner McDaniel provided information on the property that was brought by Collier County. County staff are in the final negotiations with the Fair Board, Swamp Buggy, and the Junior Deputy's Ranch to relocate them. The County will then negotiate with Barron Collier and exchange acres that wrap around the old landfill. Commissioner McDaniel commented that he is working with County staff to see if they can apply for a Brownfield grant through the Regional Planning Council.

Commissioner McDaniel further commented on the acquisitions of the Williams Preserve. There is a road right-of-way to extend Little League South to bring it down through to Immokalee Road. County staff have been given directions to begin the process of rezoning, swapping the farm fields out of the RLSA and putting in Parks and Recreation so that fields and other things can be done for the community. Also, to move the slough area into the RLSA. The RLSA is the Rural Land Stewardship Area, which could enhance the water quality of Lake Trafford and also help water retention.

Board members and staff members further discussed the closing of Winn-Dixie and the previous discussions of Immokalee being part of a food desert. Commissioner McDaniel clarified that Aldi bought out Winn-Dixie and it's a transition that is occurring in all areas that have a Winn-Dixie. Overall, there are concerns about the closing of Winn-Dixie, but staff will continue to support the community as best as they can. Commissioner McDaniel commented that he will provide the informational flyers regarding the extended bus route.

Ms. Delia Bustamente commented on the Zoom Chat that the Bus Advertisements on the route extension will need to be translated in various languages. CRA Staff will share the information as soon as they receive the flyer from County staff.

Ms. Christie Betancourt commented that CRA staff are proposing to meet at the CareerSource SWFL for November and December. The CRA Board members agreed to have both meetings at the CareerSource SWFL building.

Ms. Sarah Harrington provided information on food banks that are ramping up due to the possibility of SNAP benefits not being reloaded. She also commented that individuals who are impacted by a loss of occupation. She recommended that they connect with CareerSource. She is available to assist if anyone would like to connect with CareerSource.

Mr. Michael "Mike" Facundo commented on the high spirit of the Immokalee Community during times like this and said he appreciated the support of all who are giving to the community.

N. Next Meeting Date

The **Immokalee Community Redevelopment Advisory Board** will meet on Wednesday, **November 12, 2025**, at 9:00 A.M. at CareerSource SWFL.

O. Adjournment

Meeting adjourned at 10:34 A.M.

** Zoom Meeting chat is attached to the minutes for the record.*

Fund 1025 Immokalee Community Redevelopment Agency

Enclosure 2

10/24/2025

C.C. 1025-138324

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
1025000000 IMMOKALEE REDEVELOPMENT			232,481.69	21,927.93-	210,553.76-
REVENUE Sub Total	1,729,600.00-	1,762,908.25-		50,000.00-	1,712,908.25-
REVENUE - OPERATING Sub-Total	7,200.00-	7,200.00-			7,200.00-
361180 INVESTMENT INTEREST	7,200.00-	7,200.00-			7,200.00-
CONTRIBUTION AND TRANSFERS Sub-Total	1,722,400.00-	1,755,708.25-		50,000.00-	1,705,708.25-
410001 TRANSFER FROM 0001 GENERAL FUND	1,328,100.00-	1,328,100.00-		50,000.00-	1,278,100.00-
411011 TRANSFER FROM 1011 UNINC AREA MSTD GENERAL	301,900.00-	301,900.00-			301,900.00-
487999 REIMBURSEMENT INTERDEPARTMENTAL	92,800.00-	92,800.00-			92,800.00-
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		33,308.25-			33,308.25-
489900 NEGATIVE 5% ESTIMATED REVENUES	400.00	400.00			400.00
EXPENSE Sub Total	1,729,600.00	1,762,908.25	232,481.69	28,072.07	1,502,354.49
PERSONAL SERVICE	363,300.00	363,300.00	51,686.00	22,967.43	288,646.57
OPERATING EXPENSE	500,900.00	534,208.25	180,795.69	5,104.64	348,307.92
631400 ENGINEERING FEES	60,000.00	92,408.25	32,408.25		60,000.00
634210 IT OFFICE AUTOMATION ALLOCATION	12,300.00	12,300.00	12,300.00		
634211 INFO TECH BILLING HOURS ALLOCATION	1,600.00	1,600.00			1,600.00
634970 INDIRECT COST REIMBURSEMENT	36,800.00	36,800.00	36,800.00		
634980 INTERDEPT PAYMENT FOR SERV	171,500.00	171,500.00			171,500.00
634990 LANDSCAPE INCIDENTALS	10,000.00	10,900.00	9,547.00		1,353.00
634999 OTHER CONTRACTUAL SERVICES	45,000.00	45,000.00			45,000.00
639967 TEMPORARY LABOR					
640300 OUT OF COUNTY TRAVEL PROFESSIONAL DEVEL	8,000.00	8,000.00		383.07	7,616.93
640410 MOTOR POOL RENTAL CHARGE	6,600.00	6,600.00			6,600.00
640990 TOLLS					
641230 TELEPHONE ACCESS CHARGES	200.00	200.00			200.00
641400 TELEPHONE DIRECT LINE	7,500.00	7,500.00	8,000.00		500.00-
641700 CELLULAR TELEPHONE	1,300.00	1,300.00	3,000.00		1,700.00-
641950 POSTAGE FREIGHT AND UPS	200.00	200.00			200.00
641951 POSTAGE	100.00	100.00			100.00
643100 ELECTRICITY	3,200.00	3,200.00	3,346.57	153.43	300.00-
643400 WATER AND SEWER	4,000.00	4,000.00	3,304.68	195.32	500.00
644100 RENT BUILDINGS	56,700.00	56,700.00	48,120.19	4,350.83	4,228.98
644620 LEASE EQUIPMENT	1,900.00	1,900.00	1,827.00		73.00
645100 INSURANCE GENERAL	2,700.00	2,700.00	2,700.00		
645260 AUTO INSURANCE	500.00	500.00	500.00		
646180 BUILDING R AND M ISF BILLINGS					
646360 MAINTENANCE OF GROUNDS ALLOCATED	25,000.00	25,000.00	12,000.00		13,000.00
646430 FLEET MAINT ISF LABOR AND OVERHEAD	600.00	600.00			600.00
646440 FLEET MAINT ISF PARTS AND SUBLET	200.00	200.00			200.00
647110 PRINTING AND OR BINDING OUTSIDE VENDORS	3,200.00	3,200.00			3,200.00
648160 OTHER ADS	200.00	200.00	200.00		
648170 MARKETING AND PROMOTIONAL	7,000.00	7,000.00			7,000.00
649100 LEGAL ADVERTISING	5,000.00	5,000.00	2,000.00		3,000.00
651110 OFFICE SUPPLIES GENERAL	3,500.00	3,500.00	152.00	8.00	3,340.00

C.C. 1025-138324

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
651210 COPYING CHARGES	3,500.00	3,500.00	4,590.00		1,090.00-
651910 MINOR OFFICE EQUIPMENT	500.00	500.00			500.00
651930 MINOR OFFICE FURNITURE	400.00	400.00			400.00
651950 MINOR DATA PROCESSING EQUIPMENT	5,000.00	5,000.00			5,000.00
652110 CLOTHING AND UNIFORM PURCHASES	500.00	500.00			500.00
652210 FOOD OPERATING SUPPLIES	2,000.00	2,000.00		13.99	1,986.01
652490 FUEL AND LUBRICANTS ISF BILLINGS	1,300.00	1,300.00			1,300.00
652920 COMPUTER SOFTWARE	1,200.00	1,200.00			1,200.00
652990 OTHER OPERATING SUPPLIES	1,000.00	1,000.00			1,000.00
652999 PAINTING SUPPLIES	500.00	500.00			500.00
654110 BOOKS PUBLICATIONS AND SUBSCRIPTIONS	400.00	400.00			400.00
654210 DUES AND MEMBERSHIPS	5,000.00	5,000.00			5,000.00
654310 TUITION	1,000.00	1,000.00			1,000.00
654360 OTHER TRAINING EDUCATIONAL EXPENSES	3,000.00	3,000.00			3,000.00
654370 ORGANIZATIONAL DEVELOPMENT	800.00	800.00			800.00
CAPITAL OUTLAY	22,500.00	22,500.00			22,500.00
763100 IMPROVEMENTS GENERAL	22,500.00	22,500.00			22,500.00
TRANSFERS	747,500.00	747,500.00			747,500.00
911026 TRANSFER TO 1026 IMM CRA CAPITAL	747,500.00	747,500.00			747,500.00
RESERVES	95,400.00	95,400.00			95,400.00
991000 RESERVE FOR CONTINGENCIES	21,500.00	21,500.00			21,500.00
998000 RESERVE FOR CASH BALANCE (CH129.01 F.S.)	73,900.00	73,900.00			73,900.00

C.C. 1629-162524

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
1629000000 IMMOKALEE BEAUTIFICATION			439627.07	-9975.83	-429651.24
REVENUE Sub Total	2,210,700.00-	2,431,222.12-	0	-13403.18	-2417818.94
REVENUE - OPERATING Sub-Total	694,000.00-	694,000.00-	0	-13403.18	-680596.82
311100 CURRENT AD VALOREM TAXES	687,000.00-	687,000.00-	0	0	-687000
311200 DELINQUENT AD VALOREM TAXES			0	-1144.25	1144.25
361180 INVESTMENT INTEREST	7,000.00-	7,000.00-	0	0	-7000
361320 INTEREST TAX COLLECTOR			0	-12.05	12.05
369130 INS CO REFUNDS			0	-12246.88	12246.88
CONTRIBUTION AND TRANSFERS Sub-Total	1,516,700.00-	1,737,222.12-	0	0	-1737222.12
486600 TRANSFER FROM PROPERTY APPRAISER			0	0	0
489200 CARRY FORWARD GENERAL	1,551,400.00-	1,551,400.00-	0	0	-1551400
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		220,522.12-	0	0	-220522.12
489900 NEGATIVE 5% ESTIMATED REVENUES	34,700.00	34,700.00	0	0	34700
EXPENSE Sub Total	2,210,700.00	2,431,222.12	439627.07	3427.35	1988167.7
OPERATING EXPENSE	658,700.00	879,222.12	439627.07	2242.05	437353
631400 ENGINEERING FEES	50,000.00	188,518.40	138,518.40		50,000.00
634970 INDIRECT COST REIMBURSEMENT	3,500.00	3,500.00	3,500.00		
634980 INTERDEPT PAYMENT FOR SERV	110,000.00	110,000.00			110,000.00
634990 LANDSCAPE INCIDENTALS	30,000.00	30,000.00	8,647.00		21,353.00
634999 OTHER CONTRACTUAL SERVICES	180,000.00	262,003.72	82,003.72		180,000.00
639961 PAINTING CONTRACTORS	20,000.00	20,000.00			20,000.00
641951 POSTAGE	100.00	100.00			100.00
643100 ELECTRICITY	120,000.00	120,000.00	117,757.95	2,242.05	
645100 INSURANCE GENERAL	1,200.00	1,200.00	1,200.00		
646311 SPRINKLER SYSTEM MAINTENANCE			1,000.00		1,000.00-
646318 MULCH					
646360 MAINTENANCE OF GROUNDS ALLOCATED	90,000.00	90,000.00	87,000.00		3,000.00
646451 LIGHTING MAINTENANCE	46,000.00	46,000.00			46,000.00
649010 LICENSES AND PERMITS	2,000.00	2,000.00			2,000.00
649100 LEGAL ADVERTISING	3,000.00	3,000.00			3,000.00
651110 OFFICE SUPPLIES GENERAL	100.00	100.00			100.00
651910 MINOR OFFICE EQUIPMENT	1,000.00	1,000.00			1,000.00
652210 FOOD OPERATING SUPPLIES	600.00	600.00			600.00
652990 OTHER OPERATING SUPPLIES	600.00	600.00			600.00
652999 PAINTING SUPPLIES	600.00	600.00			600.00
CAPITAL OUTLAY	350,000.00	350,000.00			350,000.00
763100 IMPROVEMENTS GENERAL	350,000.00	350,000.00			350,000.00
TRANSFER CONST	24,800.00	24,800.00		1,185.30	23,614.70
930600 BUDGET TRANSFERS PROPERTY APPRAISER	5,000.00	5,000.00		1,162.41	3,837.59
930700 BUDGET TRANSFERS TAX COLLECTOR	19,800.00	19,800.00		22.89	19,777.11
RESERVES	1,177,200.00	1,177,200.00			1,177,200.00
991000 RESERVE FOR CONTINGENCIES	25,300.00	25,300.00			25,300.00
993000 RESERVE FOR CAPITAL OUTLAY	1,151,900.00	1,151,900.00			1,151,900.00

C.C. 1011-163805

Cost Center 163805 Immokalee Rd and SR 29

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
163805 IMMOKALEE RD & STATE ROAD 29	244,700.00	244,700.00	217,109.09	740.91	26,850.00
EXPENSE Sub Total	244,700.00	244,700.00	217,109.09	740.91	26,850.00
OPERATING EXPENSE	244,700.00	244,700.00	217,109.09	740.91	26,850.00
634990 LANDSCAPE INCIDENTALS	23,700.00	23,700.00	15,000.00		8,700.00
643100 ELECTRICITY	13,000.00	13,000.00	11,416.10	133.90	1,450.00
643300 TRASH AND GARBAGE DISPOSAL	3,000.00	3,000.00	3,400.00		400.00-
643400 WATER AND SEWER	13,000.00	13,000.00	12,292.99	607.01	100.00
646311 SPRINKLER SYSTEM MAINTENANCE	1,000.00	1,000.00			1,000.00
646318 MULCH	6,000.00	6,000.00			6,000.00
646360 MAINTENANCE OF GROUNDS ALLOCATED	185,000.00	185,000.00	175,000.00		10,000.00
652310 FERTILIZER HERBICIDES AND CHEMICALS					

C.C. 1026-138346

Fund 1026 Immokalee CRA Projects

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
1026000000 IMMOKALEE CRA PROJECT FUND		-	634,463.85		634,463.85-
REVENUE Sub Total	753,700.00-	5,528,449.20-			5,528,449.20-
REVENUE - OPERATING Sub-Total	6,500.00-	6,500.00-			6,500.00-
361180 INVESTMENT INTEREST	6,500.00-	6,500.00-			6,500.00-
CONTRIBUTION AND TRANSFERS Sub-Total	747,200.00-	5,521,949.20-			5,521,949.20-
411025 TRANSFER FROM 1025 IMMOKALEE REDEVELOPMENT	747,500.00-	747,500.00-			747,500.00-
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		4,774,749.20-			4,774,749.20-
489900 NEGATIVE 5% ESTIMATED REVENUES	300.00	300.00			300.00
EXPENSE Sub Total	753,700.00	5,528,449.20	634,463.85		4,893,985.35
OPERATING EXPENSE	100,000.00	360,994.70			360,994.70
634999 OTHER CONTRACTUAL SERVICES	100,000.00	368,000.00			368,000.00
649030 CLERKS RECORDING FEES		7,005.30-			7,005.30-
CAPITAL OUTLAY	653,700.00	4,982,454.50	634,463.85		4,347,990.65
763100 IMPROVEMENTS GENERAL	653,700.00	4,982,454.50	634,463.85		4,347,990.65
GRANTS AND DEBT SERVICE		185,000.00			185,000.00
884200 RESIDENTIAL REHAB		185,000.00			185,000.00

Fund 1026 Project 50243 Imm CRA-Stormw In

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50243 IMMOKALEE CRA PROJECT FUND		278,000.00			278,000.00
EXPENSE Sub Total		278,000.00			278,000.00
OPERATING EXPENSE		68,000.00			68,000.00
634999 OTHER CONTRACTUAL SERVICES		68,000.00			68,000.00
CAPITAL OUTLAY		210,000.00			210,000.00
763100 IMPROVEMENTS GENERAL		210,000.00			210,000.00

Fund 1026 Project 50244 Imm CRA-S Sidewalk

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50244 IMMOKALEE CRA PROJECT FUND		518,800.00	300,395.10		218,404.90
EXPENSE Sub Total		518,800.00	300,395.10		218,404.90
OPERATING EXPENSE		50,000.00			50,000.00
631400 ENGINEERING FEES					
634999 OTHER CONTRACTUAL SERVICES		50,000.00			50,000.00
CAPITAL OUTLAY		468,800.00	300,395.10		168,404.90
763100 IMPROVEMENTS GENERAL		468,800.00	300,395.10		168,404.90

Fund 1026 Project 50245 Imm CRA-Park & Rec

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50247 IMMOKALEE CRA PROJECT FUND		50,000.00			50,000.00
EXPENSE Sub Total		50,000.00			50,000.00
OPERATING EXPENSE		50,000.00			50,000.00
634999 OTHER CONTRACTUAL SERVICES		50,000.00			50,000.00

C.C. 1026-138346

Fund 1026 Project 50246 Imm CRA-Neigh R

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50246 IMMOKALEE CRA PROJECT FUND	50,000.00	207,994.70	100,000.00		107,994.70
EXPENSE Sub Total	50,000.00	207,994.70	100,000.00		107,994.70
OPERATING EXPENSE	50,000.00	42,994.70	100,000.00		42,994.70
634999 OTHER CONTRACTUAL SERVICES	50,000.00	50,000.00			50,000.00
649030 CLERKS RECORDING FEES		7005.30-			7005.30-
CAPITAL OUTLAY		165,000.00	100,000.00		65,000.00
763100 IMPROVEMENTS GENERAL		165,000.00	100,000.00		65,000.00

Fund 1026 Project 50248 Imm CRA-Main St C.

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50248 IMMOKALEE CRA PROJECT FUND	426,000.00	1,400,000.00			1,400,000.00
EXPENSE Sub Total	426,000.00	1,400,000.00			1,400,000.00
OPERATING EXPENSE		100,000.00			100,000.00
634999 OTHER CONTRACTUAL SERVICES		100,000.00			100,000.00
CAPITAL OUTLAY	426,000.00	1,300,000.00			1,300,000.00
763100 IMPROVEMENTS GENERAL	426,000.00	1,300,000.00			1,300,000.00

C.C. 1026-138346

Fund 1026 Project 50250 Imm CRA-First St

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50250 IMMOKALEE CRA PROJECT FUND	227,700.00	1,519,779.50	234,068.75		1,285,710.75
EXPENSE Sub Total	227,700.00	1,519,779.50	234,068.75		1,285,710.75
CAPITAL OUTLAY	227,700.00	1,519,779.50	234,068.75		1,285,710.75
763100 IMPROVEMENTS GENERAL	227,700.00	1,519,779.50	234,068.75		1,285,710.75

Fund 1026 Project 50252 Imm CRA-Com Gra

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50252 IMMOKALEE CRA PROJECT FUND		185,000.00			185,000.00
EXPENSE Sub Total		185,000.00			185,000.00
GRANTS AND DEBT SERVICE		185,000.00			185,000.00
884200 RESIDENTIAL REHAB		185,000.00			185,000.00

Fund 1026 Project 50264 Imm CRA-Economic Dev

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50264 IMMOKALEE CRA PROJECT FUND	50,000.00	50,000.00			50,000.00
EXPENSE Sub Total	50,000.00	50,000.00			50,000.00
OPERATING EXPENSE	50,000.00	50,000.00			50,000.00
634999 OTHER CONTRACTUAL	50,000.00	50,000.00			50,000.00

Fund 1026 Project 50269 Imm CRA-Lighting

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50269 IMMOKALEE CRA PROJECT FUND		118,875.00			118,875.00
EXPENSE Sub Total		118,875.00			118,875.00
CAPITAL OUTLAY		118,875.00			118,875.00
763100 IMPROVEMENTS GENERAL		118,875.00			118,875.00

Fund 1026 Project 80320 Imm Sports Complex Renovations

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
80320 IMMOKALEE CRA PROJECT FUND		1,200,000.00			1,200,000.00
EXPENSE Sub Total		1,200,000.00			1,200,000.00
CAPITAL OUTLAY		1,200,000.00			1,200,000.00
763100 IMPROVEMENTS GENERAL		1,200,000.00			1,200,000.00

C.C. 1027-138315

Fund 1027 Immokalee CRA Grant

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
1027000000 IMM CRA GRANT		-	987,000.00		987,000.00-
REVENUE Sub Total		1,388,371.00-			1,388,371.00-
REVENUE - OPERATING Sub-Total		987,000.00-			987,000.00-
331555 HUD GRANTS		987,000.00-			987,000.00-
CONTRIBUTION AND TRANSFERS Sub-Total		401,371.00-			401,371.00-
487999 REIMBURSEMENT INTERDEPARTMENTAL		401,371.00-			401,371.00-
EXPENSE Sub Total		1,388,371.00	987,000.00		401,371.00
CAPITAL OUTLAY		1,388,371.00	987,000.00		401,371.00
763100 IMPROVEMENTS GENERAL		1,388,371.00	987,000.00		401,371.00

Fund 1027 Project 33831 First Street Pedestrian Safety Improvements

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
33831 IMM CRA GRANT					
REVENUE Sub Total		401,371.00-			401,371.00-
CONTRIBUTION AND TRANSFERS Sub-Total		401,371.00-			401,371.00-
487999 REIMBURSEMENT INTERDEPARTMENTAL		401,371.00-			401,371.00-
EXPENSE Sub Total		401,371.00			401,371.00
OPERATING EXPENSE					
631400 ENGINEERING FEES					
CAPITAL OUTLAY		401,371.00			401,371.00
763100 IMPROVEMENTS GENERAL		401,371.00			401,371.00

Fund 1027 Project 33873 EDI/CPF

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
33873 IMM CRA GRANT			987,000.00		987,000.00-
REVENUE Sub Total		987,000.00-			987,000.00-
REVENUE - OPERATING Sub-Total		987,000.00-			987,000.00-
331555 HUD GRANTS		987,000.00-			987,000.00-
EXPENSE Sub Total		987,000.00	987,000.00		
CAPITAL OUTLAY		987,000.00	987,000.00		
763100 IMPROVEMENTS GENERAL		987,000.00	987,000.00		

**Assistant Director Report
November 07, 2025**

1. Immokalee Area Master Plan (IAMP) Restudy

(PL201880002258) Approved by BCC for final adoption on 12/10/2019.

Copy of IAMP as amended by Ordinance 2019-47 can be found at www.ImmokaleeCRA.com website.

- Implementation schedule was provided at the November 2020 Meeting.
- Staff is continuing with implementation of the Immokalee Initiatives.

2. Immokalee Area Overlay District LDC Update

County staff discussed IAMP Policies 6.1.3 (Downtown Pedestrian Amenities) and 3.1.4 (Central Business District) at the CRA meeting on March 17, 2021. The first Land Development Code (LDC) workshop followed on May 19, 2021. On June 16, 2022, the county held a kick-off meeting with The Neighborhood Company (TNC Co), the project's consultant, followed by a site visit on August 12, 2022. Over the next several months, TNC Co provided updates, including a February 2023 CRA Advisory Board presentation and a June 2023 joint CRA & MSTU meeting.

In September 2023, TNC Co submitted a "White Paper" on the Immokalee Land Development Code, followed by workshops and updates in early 2024. By May 2024, TNC Co presented draft language to the CRA Board and submitted revisions to the county. The Development Services Advisory Committee (DSAC) reviewed the project in July and September 2024.

On September 24, 2024, TNC Co informed staff that DSAC approved the proposed LDC amendments on September 4. However, concerns arose about implementing architectural design standards on Main Street due to Senate Bill 250, which bans restrictive development requirements until October 2026. TNC Co is considering omitting these regulations for now. Additionally, the Loop Road Overlay is under review for potential conflicts with existing zoning rules. While the amendments are progressing, these issues may cause delays in the overall timeline.

On October 31, 2024, TNC Co met with CRA staff and county staff to review county attorney comments. Both issues of concern will be tabled until Senate Bill 250 expires, and the Loop Road is completed. TNC Co staff will revise the LDC amendments and proceed with the adoption process.

On January 15, 2024, County staff presented updated language that included provisions for Mobile food dispensing vehicles, that may be allowed on lands zoned Community Facility District (CF) within the IUAOD, subject to Conditional Use approval and contingent upon compliance with LDC section 5.05.16.

This Immokalee Urban Area Overlay (LDCA) (PL20240004278) went to the Collier County Planning Commissioner on March 6, 2025. It went to the Collier County Board of County Commissioner on May 13, 2025, and was continued to the May 27, 2025, BCC Meeting.

Recommendation to adopt an Ordinance amending the Collier County Land Development Code to implement the Immokalee Area Master Plan Element of the Growth Management Plan, to change the Immokalee Urban Overlay District to the Immokalee Urban Area Overlay District (IUAOD) Zoning District, revise, rename, and add subdistricts, and establish uses, boundaries and design standards. [PL2024004278] (First of two hearings). This item was on the BCC on October 28th for first of two hearings. It will be on the agenda again on November 10th.



3. CRA Office

CRA Intern, Kizzie Fowler will continue to work for the Bayshore Gateway Triangle under the Collier County Fellowship program. CRA Staff is collaborating with Facilities Department for new office space on property near the current Clerk of Courts building, located at 106 South 1st Street. CareerSource building is under contract and staff will remain at this location until the new building is complete.

4. Redevelopment Plan

On May 10, 2022, the BCC, acting as the (CRA) board, approved a Resolution recommending approval to the BCC an amendment to the Collier County Community Redevelopment Area Plan. Staff have started scope of work to hire a consultant to start the process of updating the Redevelopment Plan by 2027.

5. Commercial Façade Grant Program

In accordance with objective 1.2 in the Immokalee Area Master Plan, the CRA continues to provide financial incentives to business in Immokalee via the Commercial Façade Improvement grant program. The CRA initiated the Program in October 2008. Since that time, 17 façade grants have been awarded to local businesses for a total of \$294,621.67. Eligible applicants may receive grant funding up to \$20,000 as reimbursement, using a one-half (1/2) to 1 match with equal applicant funding for funding for façade improvements to commercial structures. Program is in place and being reviewed for revisions. No update.



6. FHERO – Florida Heartland Economic Region of Opportunity

Staff attend monthly FHERO board meetings via Zoom or in person. The FHERO board meeting scheduled for November 10th was cancelled. Next meeting is TBD.

Please see link to view copy of [2021 Retail Demand Analysis](#).

On June 28, 2021, Governor DeSantis issued Executive Order Number 21-149 which re-designated the South-Central RAO for another five-year term with an expiration date of June 28, 2026. For more information on FHERO please visit <https://flaheartland.com/>



The new digital flip-book edition of the **FHERO Guide** is live, active, and public. For complete 32-page guide please visit http://passportpublications.com/FHERO_Guide.html

7. Immokalee Unmet Needs Coalition

The Immokalee Unmet Needs Coalition (IUNC) is a long-term recovery group that formed in the fall of 2017 as the result of Hurricane Irma. This group is composed of non-profits, faith based, local, state, or national organizations who work together to meet the unmet needs of Immokalee residents impacted by disaster. The Housing committee meetings are usually held on the second Friday of every month via zoom at 10:00 a.m.



The next meeting is scheduled for November 14, 2025, at 10:00 a.m. via Zoom. For information on housing assistance please visit website at: <https://www.colliercountyhousing.com/community-assistance-program/>.

10. Collier County Parks & Recreation – Immokalee area

CRA staff and Parks & Recreation staff are coordinating monthly meetings to discuss improvements of all Immokalee Parks. Immokalee Parks & Recreation updates are provided in communications folder, when available.

11. Impact Fee Installment Payment Program

The Impact Fee Installment Payment Program was extended for five years on July 25, 2023, by the Board of County Commissioners. For questions, please call Gino Santabarbara at 239-252-2925 or email him at Gino.Santabarbara@colliercountyfl.gov.

Program details:

- Pay your impact fees in installments over a 30-year term.
- Available for single-family, multi-family and commercial projects.
- Non-ad valorem special assessment on property tax bill.
- 5% fixed interest rate.
- An approved agreement must be executed and recorded prior to issuance of a Certificate of Occupancy or payment of impact fees.
- Assessment is superior to all other liens, titles, and claims, except State, County, and municipal taxes.
- Call or email for complete program requirements.

12. Adopt A Road Program

The Collier County Adopt-A-Road program is an environmental program of public/private partnership that is dedicated to providing safe and clean roads through removal of roadside litter.

Area 4, encompassing Immokalee, currently has 13 road segments within the CRA boundary (8.75 miles). While 10 segments previously had sponsors, none are currently active. Additional segments can be added based on community interest. Call 252-8924 to request trash pickup after cleanups.

For additional information or an application please contact: Collier County Road Maintenance Division, 4800 Davis Blvd., Naples, Florida 34104, PH: (239) 252-8924 or email at roadmaintenance@colliercountyfl.gov

13. Unpaved Private Road Emergency Repair MSTU (Municipal Service Taxing Unit)

At the March 28, 2023, Board of County Commissioners meeting, the Board considered an Ordinance to create a municipal service taxing unit to handle the unpaved private roads. At the December 12, 2023, Board of County Commissioners' meeting the Board approved an Ordinance which would create the unpaved private road emergency repair municipal service taxing unit by authorizing a levy of not to exceed one (1.0000) mil of ad valorem taxes per year. There are approximately 25 roads that contain approximately 13.694 miles of unpaved private road considered impassable for emergency vehicles. The taxable value of the 625 properties benefiting from these roads is estimated to be \$61,452,001. A millage rate of 1.0000 will generate \$61,452 annually. With the average repair cost of \$12,000 per mile, approximately four (4) miles of impassable private lime rock road per year can be repaired.

On December 10, 2024, the Board of County Commissioner approved to amend Ordinance 2023-71, which created the unpaved private road emergency repair municipal service taxing unit and provide that the Board of County Commissioners be the Unit's governing body and have a levy of one (1.0000) mil of ad valorem taxes per year. County staff reported that the PTNE MSTU Team is working with a vendor to get road repair estimates. The top 3 roads are Sunnygrove, Della Dr., and Markely. The total cost estimate will be presented to the Collier County Board of County Commissioners. They will make the decisions on funding the program so that repairs may begin.

14. Collier County Opportunity Zone Program

This program is a community and economic development tool to drive long-term private investment in low-income communities! Collier County hopes to leverage Opportunity Zones as an important tool to support the development of jobs, affordable housing, and economic vitality in five areas in Golden Gate, Naples Manor and in and around Immokalee. Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators.

To become a Qualified Opportunity Fund, an eligible corporation or partnership self-certifies by filing [Form 8996](#), Qualified Opportunity Fund, with its federal income tax return.

Three areas in and around Immokalee, from Lake Trafford to the west to the county line to the east

- 1) [Census Tract 112.05](#) area surrounding Immokalee.
- 2) [Census Tract 113.01](#) area surrounding Immokalee.
- 3) [Census Tract 114](#) area surrounding Immokalee.

Report by: Christie Betancourt, CRA Assistant Director

Project Manager Report 11/04/2025

1. First Street Zocalo Plaza (107 N. 1st Street) and Main Street (1st Street – 9th Street)

i. Monthly Maintenance

A&M continues to provide satisfactory maintenance work to keep Zocalo Plaza clean, green and in safe condition. In preparation for the Annual Tree Lighting Event on December 4, 2025, A&M completed the trimming of all the trees and landscaping in Zocalo Plaza on November 3, 2025.



11.3.25



Facilities Management pressure washed and painted the bandshell.



11.3.25



ii. *Holiday*

Rental Christmas Tree and Zocalo Plaza Decorations – Shellard Lighting Design LLC was awarded QQ 2025-021, and a PO was issued for \$7,000 for the rental Christmas Tree. On September 22, 2025, Staff met with Spencer Shellard on-site to review the requirements. He agreed to have someone at the tree lighting event on December 4, 2025. A&M Property Maintenance was awarded QQ 2025-022 for the decoration of Zocalo Plaza and a PO was issued for \$7,000. On October 20, 2025, Staff requested a quote from A&M for the testing of street pole decorations, checking on pole outages, pressure washing, tree trimming and shelling of the plaza to be ready for the holidays. A&M completed the tree trimming (\$2,800) on November 3, 2025 and the inspection of the bulbs on decorations (\$600). A&M will apply shell (\$1,720) and plant poinsettias in the pots on the Welcome Sign located at Eustis and First Street (\$212.80).

FDOT Permit – Staff applied in March 2025 on FDOT’s One Stop Permit site. FDOT advised staff to submit in November the Application for a Permit for the street pole decorations. A permit application was submitted on October 31, 2025, and FDOT declined to issue a permit requesting more information. FDOT wants specifications and structure loads, wind load calculations by Engineer stamped/seal plans for the newer decorations (wreath, bell with bow and 8’ angels). Staff contacted the Manufacturers for additional details to get preliminary load information for an Engineer’s input. One Manufacturer said this is very interesting since they have several municipal accounts in Florida and have never heard of this issue previously with FDOT. The Manufacturers are working on product information. Upon receipt, Staff will seek an Engineer’s stamped/sealed plans for resubmittal to FDOT. The Tree Lighting event is on December 4, 2025, 6PM at Zocalo Plaza.

Pole Outages - Facilities Management is to test the poles for outages before the decorations are installed by A&M.

2. **Historic Cemetery Preservation – 815 W Main Street**

Staff will proceed with obtaining quotes for restoration activities and draft an Action Plan for the Board’s consideration.



11.3.25



3. **First Street Corridor Improvements**

The ITB for a contractor of Phase 1 (Howard Way FKA Eustis Avenue to School Road) was posted three times before receiving 2 bids on September 15, 2025. KCA provided a revised DELORA (Design Entity Letter of Recommendation) on October 30, 2025. Upon approval by Procurement Services, there will be a 3-day protest period. Staff are trying to have the Construction Agreement on the BCC December 9, 2025, Agenda for approval. Phase 2 100% Plans and Legal Descriptions & Sketches for the Easements are due November 7, 2025. Upon receipt of the plans, the Easement Acquisition process shall commence. This may be an 12-18 month process with an anticipated cost of \$200,000 funded by the CRA. The URA (Uniform Relocation Act) is applicable, and compliance will be monitored by CHS throughout the easement acquisition process.

4. **Immokalee Airport Expansion**

The Florida National Guard is moving forward on their Immokalee Readiness Center, but no dirt work has commenced. Global Flight Training Solutions continues to support the community with active flight training. Global Flight Training Solutions offers specialized training to local and international students.

Work is completed on the business jet storage facilities that include hanger space for small, medium and large corporate/private jets and light aircraft and the facilities include light maintenance for aircraft on-site. Increased jet storage capacity at the Immokalee Airport allows to better serve the aviation community and lends itself to greater revenue-producing opportunities for the airport and surrounding community.



11.3.25 Construction completed on the new hangers



5. **523 Howard Way – CRA-owned property**

On April 22, 2025, 16L2, the BCC approved the CRA's acquisition of the parcel. The auction was conducted on May 8, 2025 with a purchase price of \$5,500. Mainscape completed the initial clean up and mowing services on July 30, 2025 and is maintaining the lot. As of November 4, 2025, the Collier County Property Appraiser's values the property at \$62,560, up \$310 from FY2024. The pond across the street is maintained by the County and mowed.



11.3.25 Howard Way



11.3.25 Pond

6. **Light Pole Replacement/Repairs**

Pole 38 – 404 N 15th Street (near McDonalds)

On May 27, 2025 Staff advised of Pole 38 was knocked down and Traffic Operations removed it. It requires the replacement of the pole, luminaire and bolts on the base. Simmonds Electrical provided a quote of \$23,141.88.

The Purchase Order was issued on July 17, 2025 and Simmonds advised the vendor's estimated ship date is November 14, 2025. Awaiting installation to submit invoice to Risk Management for the Claim.

7. Eden Park Elementary School Sidewalks – Suspend Work Notice

Marquee Development is the contractor of this sidewalk project Contract # CC 23-8155. The Notice to Proceed was issued on April 28, 2025 and the Final Completion Date is scheduled to be May 7, 2026. Bi-weekly progress meetings are held on-site and virtually. They were on a 19-day stop work notice and resumed work on November 3, 2025. As of November 3, 2025, the project project (% Time) is 44% complete.

Report by: Yvonne Blair, Project Manager Dated: November 4, 2025



Immokalee Community Redevelopment Area (ICRA)

Projects Updates

November 4, 2025

Table of Content

ICRA Projects (Funded by CRA and MSTU)

- **First Street Corridor Pedestrian Safety Improvements**
 - South 1st Street From Main Street to School Road/Seminole Crossing Trail
- **Immokalee Sidewalk Phase III**
 - Eustis Avenue & West Delaware Avenue
- **Historic Cemetery Preservation**
 - 815 West Main Street
- **Lake Trafford Road Corridor Lighting Study**
 - Lake Trafford from SR29 (15th St.) to Ann Olesky Park & a portion of Carson Road
- **Main Street Corridor Streetscape**
 - SR29 (Main Street) from 9th Street to E 2nd Street
- **Immokalee Community Campus**
 - SR29 (W Main Street) at South 9th Street
- **Immokalee Sports Complex Park Improvement Project**
 - 505 Escambia Street

Other Projects of Interest

- SR 29 Loop Road
- Eden Park Elementary School Sidewalks

South 1st Street From Main Street to School Road/Seminole Crossing Trail



Project #:33831-01 & 33831-02 (Grant) #50250 (CRA)
Project Sponsor: *Immokalee MSTU*
Project Manager: Yvonne Blair
Project Scope: In 2021 a Conceptual Plan recommended the installation of rectangular rapid beacons at three crosswalks and 11 additional Collier County Traffic Operations light poles. Staff applied for a \$250,000 Community Development Block Grant for the design. On 2/12/24 Procurement Services authorized modifying the Scope to full corridor lighting. Staff applied for 1.2M CDBG funds for construction. Project being divided into PH1 and PH2. Corridor is appx. 4,000 feet.

CHS CDBG Grant #CD22-03-IMM (Design Only PH1)
Design Budget: \$201,945 CDBG Funds (including CO#1)
Design Proposal: Kisinger, Campos & Associates (KCA)
CDBG Design Funds End: 1/6/25. 100% PH1 plans rec'd 1/3/25. 100% PH2 plans anticipated November 7, 2025.

Construction CD24-02 Budget: \$1.2M construction with total budget of \$1,575,000 & pending awarded of \$1,001,371 CDBG to be reduced by 1st Amendment to \$401,371 and decreased to \$225,310 by a proposed Waiver of Funds.

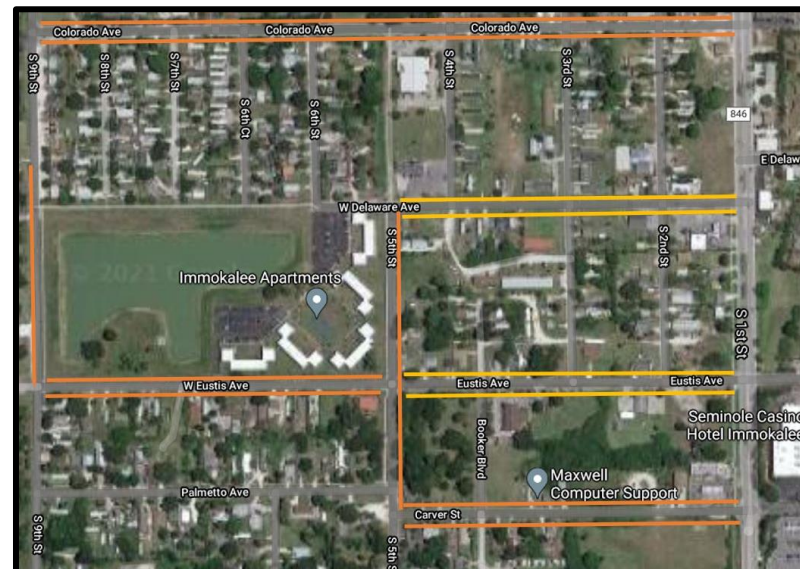
Architect/Engineer: KCA
General Contractor: TBD – ITB posted 7/7/25, 8/26/25 & 9/8/25. Bid Opening 9/15/25 to award contractor.
Notice to Proceed Date: TBD
Estimated CD24-02 Completion Date: PH1 extended to 4/29/26.

DESCRIPTION OF WORK	% COMPLETE
Procurement PH1	60%
Design PH2	60%
Construction PH1	0%

Milestones/Challenges To Date: 11/04/2025

- Subrecipient Agreement approved by BCC's 9/13/22 for \$250,000 the design project.
- BCC approved 1.2M construction Grant Application on 2/27/24 #16L1. The Subrecipient Agreement for \$1,001,371 was approved on 9/10/24 16.L.1 BCC Agenda.
- On 7/16/24 CHS ordered the Environmental Review Report which was completed Dec 2024. Legal Notice in NDN 1/29/25. NTP issued 4/15/25.
- 8/2/24 Traffic Ops authorized alternative fixtures. On 8/12/24 KCA requested an extension for Final Plans. 10/22/24 1st Amendment approved by BCC a 60-day extension to the performance end date (12/26/24). 10/7/24 a Stop Work Notice was issued to KCA. 11/6/24 Start Work with CO2 issued. A 2nd Amendment approved BCC 12/10/24 Agenda for PH1 to reduced to \$189,000 & extend to 1/6/25. Received 100% PH1 Plans on 1/3/25.
- CD24-02 1st Amendment approved by BCC on 2/11/25 to reduce to \$401,371 & performance end of 10/31/25 extended to 4/29/26. 11/22/24 requested new KCA Proposal for phasing project. CO3 approved 4/15/25. 1/29/25 prepared Solicitation for Contractor. Posted ITB on 7/7/25 with Bid Opening on 8/21/25, 8/26/25 – 9/4/25 & 9/8/25-9/15/25 for PH 1. Estimated PH1 Cost: \$169,847.24, lowest bid was \$205,310. 10/30/25 Received DELORA & NORA posted 11/3/25 (3-day protest period) and anticipate BCC approval of the agreement on 12/9/25.
- KCA sent legal descriptions and sketches for acquisitions for PH2 Plans on 8/4/25 & sent 60% PH2 Plans to County & Utility Providers with comments due 8/15/25. Est. PH2 Cost: \$602,880.72. TSMD to do the easement acquisition activities. 8/11/25 draft Acquisition Report prepared. On 7/21/25 sent NTP to CEI and a Suspend Work Notice on 7/22/25. On 8/8/25 Sent Angie Brewer & Associates a PO for Grant Compliance Services. CD24-02 Audit scheduled on 11/4/25. 5/13/25 CHS conducted Close-out Audit of CD22-03. On 10/27/25 a Mitigation Summary & Waiver of Funds were drafted. KCA to provide 100% plans and LD&S 11/7/25.

Eustis Avenue & West Delaware



Yellow - Proposed Phase 3
Orange - Phase 1 and 2 (completed in 2018 and 2021)

Project #: 33873 (Grant) #50244 (CRA)

Grant #B-22-CP-FL-0233

Project Sponsor: Immokalee CRA

Project Manager: Yvonne Blair

Project Scope: A comprehensive sidewalk plan for the southern area of the Immokalee Community. Consists of 6' wide concrete sidewalks as well as drainage improvements along Howard Way/Eustis Avenue and W. Delaware Avenue from S 5th Street to S 1st Street (approximately 2,500 LF, 5,000 LF for both sides of the roadways).

Design Budget: \$114,763 MSTU Funds

Total Construction Costs: 100% cost estimate \$1,329,558.10

Federal Appropriations Funds (Estimated): \$987,000

Architect/Engineer: Agnoli, Barber & Brundage (ABB)

ABB acquired by LJA Engineering.

Owner's Representative (CEI): Total Municipal Solutions, Start Work Notice 5/14/25 with 250 remaining days.

CEI Budget: \$101,215.60 CRA Funds

General Contractor: Marquee Development #24-8233

BCC Board Date: BCC 04/08/25 16L1

Notice to Proceed Date: 08/16/2021 Design

Notice to Proceed Construction: Tentative Nov 17, 2025

Estimated Substantial Completion Date: May 26

Milestones/Challenges To Date: 11/04/2025

- 9/27/23 CRA & MSTU Advisory Boards authorized a cost share for gap funding estimated expenses of \$245,100. 11/14/23 BCC Agenda #16L1 was approved for the Chairman's execution of the Grant Agreement with a Commencement Date of 4/13/24.
- On 7/17/24 the ITB was posted in OpenGov with bids due 9/17/24. \$1,101,179.50 Construction Agreement was approved on BCC 4/8/25 Agenda 16L1.
- On 8/6/24 HUD approved Action Plan and the #01 Performance Report with the Federal Financial Report was submitted via DRGR. Staff prepared LMA Report with data from recently released 2016-2020 map. Performance Report #02 with Federal Financial Report submitted to HUD in DRGR 1/27/25. Performance Report #03 submitted 7/29/25 in DRGR.
- 09/27/24 Staff mailed letters to Property Owners announcing project. 5/30/25 Staff mailed new start construction letters to property owners/occupants.
- 10/28/24 CO1 for LJA Engineering issued for time extension end 7/31/25. CO2 extended to 3/14/26 was approved on 6/23/25. Project signage installed on W Delaware/S 5th Street on 2/7/25.
- 7/27/25 Received Permit with a 1/21/26 expiration date & revised plans. 5/14/25 Pre-Construction Mtg. NTP tentative date 11/7/25 to be extended due to LJA approval of drawings for resubmittal on 10/31/25. Staff coordinating with Marquee on a Project Schedule while structures are being manufactured.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	100%
Construction	0%

815 West Main Street, PID 00127320003, 0.06 Ac +/-

District #: 5

Project #:

Project Sponsor: ICRA & IMSTU

Project Manager: TBD

Project Scope: Staff to proceed with the maintenance and preservation of the Historic Cemetery. An appropriate roadmap that defines vision, destinations and outcomes will be drafted to map out both maintenance and restoration milestones and budget(s).

Location: 815 W Main St. 28' X 95' (.06 Ac)

Maintenance Budget: TBD

Restoration Budget: TBD

Team/Partners: Stantec Consulting (Survey)

Construction Manager: TBD

Landscape Maintenance: A&M Property Maintenance LLC

BCC Approval Date: TBD

Estimated Substantial Completion Date: 2026



Milestones/Challenges To Date: 11/04/2025

- 10/18/23 Advisory Committees reviewed a proposed 5-year plan and approved (1) clean up perimeter, (2) establish Team/partnerships with A&M, Seminole, BCC Liaison, and Museum, (3) price all tasks, and (4) do exterior tasks in Year 1.
- A&M completed the repair for the alignment/secure signage in concrete, repaired fence and gate on 1/19/24. Existing irrigation lines from median to cemetery are to be investigated to determine if operational. 6/9/25 Discovered fence damaged with gate not closing properly. On 7/10/25 approved Estimate of \$600 to repair fence.
- 10/29/24 Sent Stantec PO \$27,148 & NTP. 1/21/25 Stantec conducted survey and GPR work on-site. Final Report and Survey received on 4/25/25.
- 9/23/24 Staff sent A&M a RFQ for PH1 (W Main medians btw 7th-9th & cemetery) for irrigation and landscaping. 6/10/25 approved \$3,220 quote for assessment of irrigation for perimeter of cemetery. Need digital version of existing irrigation plans to utilize on scope for full corridor bids. Staff to secure quotes for cemetery stone restoration by cemetery conservationist. 8/20/25 A&M confirmed the existing irrigation lines are operational; considering known graves outside the border/fence of the cemetery, irrigation may not be pursued. 9/8/25 Staff investigating the installation of bollards on ROW which may wait for SR29 turnover to County. 9/18/25 Webber installed 3 barricades.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	5%
Construction	0%

Lake Trafford Road Corridor Lighting Study

Lake Trafford from SR29 (15th St.) to Ann Olesky Park & a portion of Carson Road

Project #: 1026-138346-50246.2 (CRA)
1629-162524-631400 (MSTU)

Project Sponsor: Immokalee MSTU

Project Manager: Yvonne Blair

Project Scope: Complete a lighting justification study to determine lighting requirements along Lake Trafford Road utilizing LCEC equipment and complete required survey of the corridor. The project will be completed in phases in coordination with the Transportation Division's project consisting of bike lanes and drainage improvements on both sides of Lake Trafford from Little League Road and Laurel Street.

Location: Lk Trafford Rd 4.8 mi & Carson Rd .5 mi

Design Budget: \$149,930 MSTU Funds/\$100,000 CRA

Construction Budget (Estimate): \$3,000,000 – contingent on type of pole and partnership with LCEC.

Funding: CRA & MSTU Funds and Grants

Architect/Engineer: Jacobs Engineering (Jacobs)

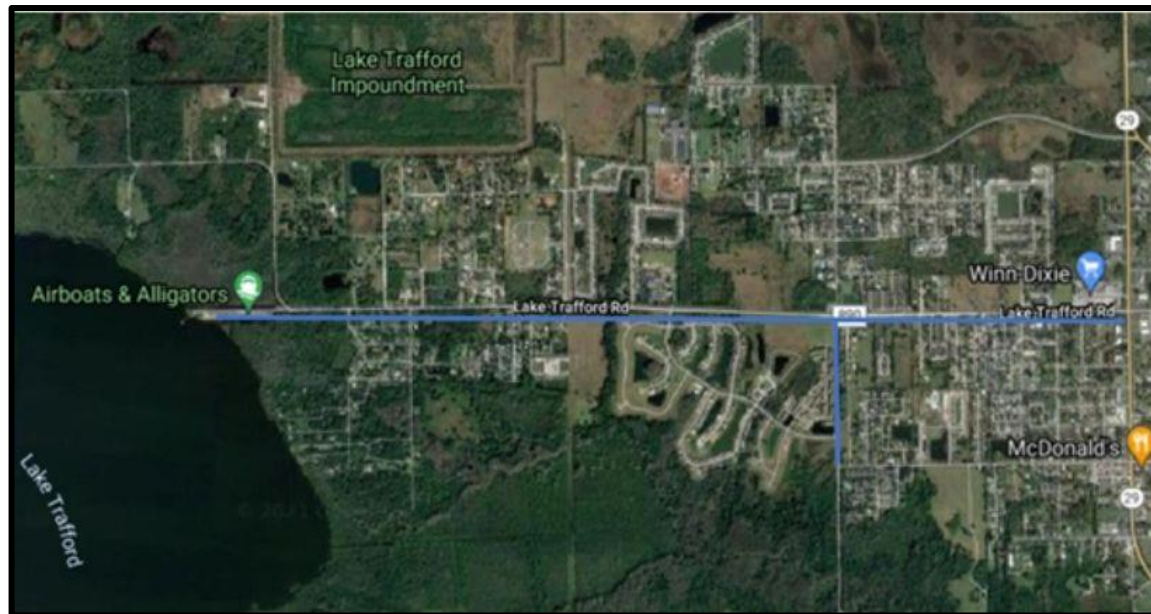
Owner's Representative (CEI): TBD

General Contractor: TBD

Notice to Proceed Date: 05/02/23

Estimated Substantial Completion Date: TBD

Suspend Work Notice: 04/10/24 w/21 days remaining



Milestones/Challenges To Date: 11/04/2025 – Suspend Work Notice

- A Work Order was finalized on 3/6/23 with Jacobs to perform a lighting study & prepare the construction plans to be utilized by LCEC and provide limited Subsurface Utility Engineering.
- On 5/1/23 a NTP with a PO in the amount of \$249,930 was issued for Jacobs to commence on 5/2/23. Topographic design surveys were completed 8/11/23. 10/16/23 Jacobs coordinated with LCEC.
- Task 1 – 11/7/23 Jacobs provided the 30% Lighting Study Analysis Report. 11/28/23 Summary of Poles Spreadsheet with the Report sent to County Staff and IWSD. 1/16/24 conference with IWSD, Jacobs & CRA. Task 2 – 3/8/24 Jacobs coordinated with several projects on the corridor & LCEC.
- 4/9/24 Jacobs advised of underground conflicts on the County's Suspend Work Sidewalk Project on the same corridor & requested Suspend Work Notice. 4/10/24 Staff issued Suspend Work Notice to Jacobs while the County's sidewalk project works through utility changes that may impact pole placements and IWSD's funding on project.
- Civil Engineer Library Contract 18-7432-CE expires 2/24/26 with no renewals. Staff needs to process a Change Order for the future life term of the project.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	43%
Construction	0%

SR29 (Main Street) from 9th Street to E 2nd Street

Project #: 1629-162524-631400

Sponsor: Immokalee MSTU

Project Manager: Yvonne Blair

Project Scope: Johnson Engineering (Johnson) had been selected as the Consultant to prepare a Proposal for the design improvements to the streetscape of Main Street Corridor (.61 miles). The project consists of design services, permitting, and construction oversight for streetscape enhancements.

Design Budget: \$212,598 MSTU Funds

Construction Budget (Estimated): \$2,500,000 CRA & MSTU Funds (Funds may be diverted to First St Project)

Architect/Engineer: Johnson Engineering

Design Notice to Proceed Date: 9/1/22

Final Design 100% Plans: Suspend Work Notice Issued 9/27/23 with 213 remaining days.

Construction Completion Date: 9/28/23 Suspend Work Notice Issued on Project.



Milestones/Challenges to date: 11/04/25 – Suspend Work Notice

- A NTP was issued to Johnson with a commencement date of 9/1/22. Kick-Off and Site Visit Meeting held on 9/26/22 with Johnson's design team and CRA Staff.
- Johnson's design team conducted Public Meeting #1 11/16/22, Public Meeting #2 on 2/15/23, & Public Meeting #3 on 3/15/23.
- On 6/1/23 Johnson provided preliminary hardscape plants o CRA staff.
- Pre-App with FDOT on 7/18/23.
- An on-site meeting was held on Main Street with Johnson on 7/26/23 with a detailed follow up email to Johnson with questions and concerns for improvements to the corridor.
- On 8/31/23 Johnson provided a Cost Estimate of \$1,945,440.83.
- On 9/27/23 the CRA & MSTU Advisory Boards authorized Staff to stop work with Johnson Engineering until the evaluation of the SR29 Loop Road project is defined & the future conveyance of Main St. to County is investigated. A new scope of Main Street shall enhance features for a pedestrian friendly downtown streetscape. FDOT PM for Loop Road attended the 4/17/24 Joint CRA & MSTU Meeting to provide a Loop Rd updates from (SR29) Oil Well Rd to SR82.
- A Suspend Work Notice was issued to Johnson on 9/28/23 with 213 remaining days. Civil Engineer Library Contract 18-7432-CE expires 2/24/26 with no renewals. Staff needs to process a Change Order for the future life term of the project.
- Staff installment funding contribution to be incorporated in the FY27 Budget for the project.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	60%
Construction	0%

Immokalee Community Campus (PUDZ)

Formally CRA owned property located at 107 S 9th St

District #: 5

Project #: Immokalee Community Campus (PUDZ)

PL20240000390

Ninth Street Parcel – (formally owned by CRA)

Project Sponsor: Immokalee CRA

Project Manager: Christie Betancourt

Monitoring Project for Community's Awareness

Project Scope: In May 2021, Catholic Charities submitted a Letter of Intent (LOI) and draft concept plan to purchase the CRA property to complete the assembly of appx. 7 acres at the corner of Ninth Street and Main Street in downtown Immokalee. The concept plan includes a mix of uses including urgent care facility, improved social services, community meeting room, administrative offices, retail space and affordable housing. Folio # 01228400009, 1.96 Ac., Zoning RMF-6 with C-4 MSOSD.

Property closed on 8/29/23.

Architect/Engineer: Bowman Consulting Group

Construction Manager: TBD

Buyer: Catholic Charities Diocese of Venice, Inc. (Catholic Charities)

Buyer's Representative: Chancellor Volodymyr Smeryk Interim CEO

BCC Approval Date: 04/11/23

Estimated Substantial Completion Date: TBD

Final Completion Date: TBD



Milestones/Challenges To Date: 11/04/2025

- On 4/11/23 BCC/CRA 16B1 approved Purchase Agreement with a Sales Price of \$600,000 plus closing costs. Transaction closed on 8/29/23. Deed recorded at OR Book 6282, Page 2959. Post-closing milestones:
- 2/15/24 Catholic Charities requested a 90-day extension to the full rezoning application deadline. 2/20/24 Deputy County Manager extended to 5/20/24. Rezone application includes a Catholic Community Center, Catholic Clinic with related medical offices, and/or retail/commercial space on the property in accordance with the Conceptual Plan (Exhibit B of the Purchase Agreement). HMA, CRA & LCEC's design engineer met on 5/29-30 on relocating power line.
- Within 6 years of approval of rezone application & adoption of the rezone ordinance, Catholic Charities must have substantial completion of project. If Purchaser fails to meet the timelines including extensions, a reverter clause may be applied with written notice.
- The proposed on-street parking in place of on-site parking is being reviewed by the County. NIM was conducted on 11/18/24, 5PM, at Catholic Charities Guadalupe.
- On 2/21/25 Meeting with Bowman & Casa San Juan's Consultant regarding configuration of Boston Ave suitable for both projects. 7/29/25 Coordination meeting with TSMD & IWSD on Boston Rd Easement Subordination issues. Awaiting Rezone approval.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	0%
Construction	0%

Immokalee Sports Complex

505 Escambia Street

District #: 5

Project #: 80320 (CRA)

Project Sponsor: Collier County Parks & Recreation

Project Manager:

Monitoring Project for Community's Awareness

Project Scope: This project includes soccer fields, providing for the conversion of two (2) existing grass fields to artificial turf, construction of an additional restroom facility, addressing stormwater management issues. Renovations will include repairs of the pools and pool decks, the equipment/pump building, parking renovations and landscape.

Design Budget:

Construction Budget (Estimated): \$4,000,000

CRA Capital Funds (1026) \$1,200,000; Parks & Recreation & County CIP allocated \$2,800,000.

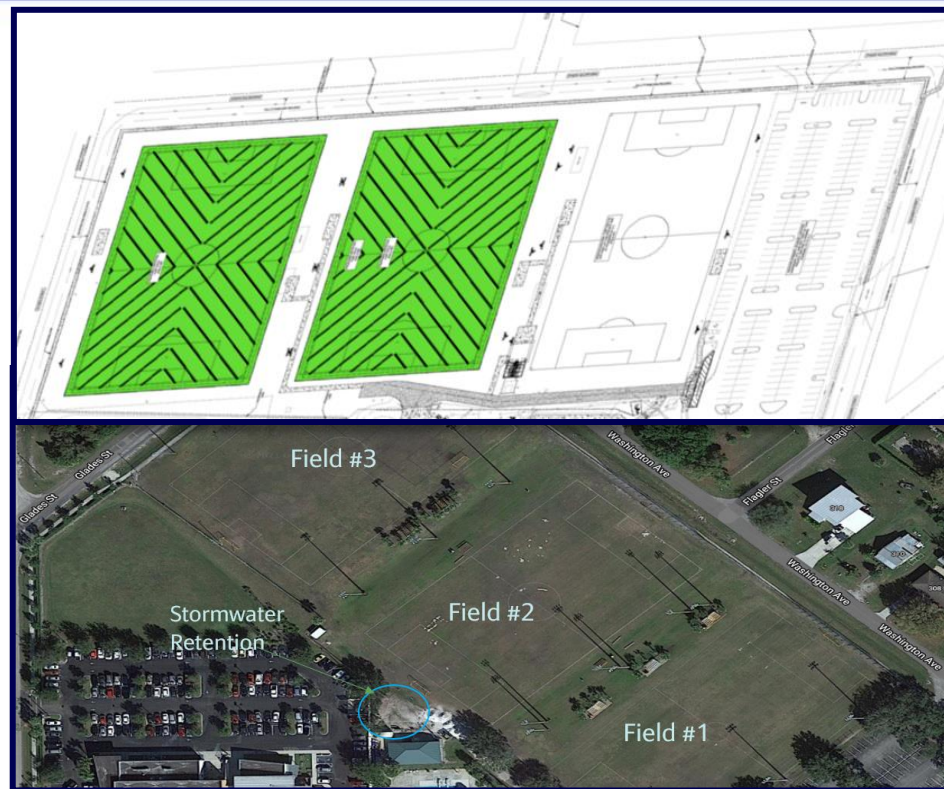
Architect/Engineer:

Stantec Consulting Services Inc.

Notice to Proceed Date: Estimated August 2026

Final Design 100% Plans: In permitting

Construction Completion Date: Est. May 2027



Milestones/Challenges To Date: 11/04/2025

- “Fields of Dreams” Park Initiative identified as part of the Strategic Planning Project Prioritization list at the 01/17/24, CRA Advisory Board Meeting.
- On 02/21/24, the CRA Advisory Board approved allocating \$1,200,000 of CRA Capital Funds (1026) for the Park Initiative.
- On 06/11/24, the BCC approved a \$4,000,000 capital project budget for the renovation of the Immokalee Sports Complex. CRA’s contribution of 1.2M for Sports Complex improvements were discussed at the CRA Workshop with BCC on 7/23/24.
- On 11/12/24, BCC awarded Stantec Consulting Services Inc., \$804,263.65 for professional services for the Immokalee Sports Complex Turf Field Conversion and Pool Renovation Project.
- All 3 fields are scheduled to receive upgraded lighting systems. During construction, one field will be temporarily closed for appx 2 weeks at a time to allow for efficient installation. Converting 2 of the 3 fields to high-performance artificial turf & the fields will be closed during construction period to ensure safety.
- Permitting in progress.

DESCRIPTION OF WORK

% COMPLETE

Procurement

0%

Design

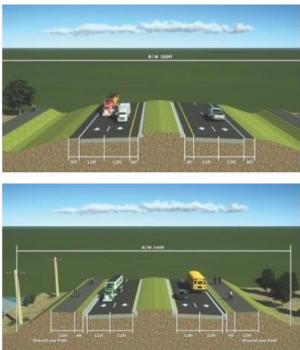
100%

Construction

0%

SR 29 from CR846 E. to North of New Market Road N

District #: 5
Project #: 417540-5 (Segment #B) SR29 from CR846 E to N of New Market Road
Project Sponsor: FDOT
Project Manager: Sean Pugh, P.E., Design Project Manager
Monitoring Project for Community's Awareness
Project Website: <https://www.swflroads.com/project/417540-5>



Project Scope: The intent of the loop road is to remove much of the truck traffic from SR29 through Immokalee on Main Street and New Market Road West where the western position of that street is primarily residential. The loop road interconnects on Airport Access Road and Alachua Street will provide direct access from the loop road to intensive industrial, grower, packing and shipping districts along New Market Road. Project is 3.35 miles and the overall SR29 Project is divided into 5 segments.

Construction Budget: Estimated 85 M
Architect/Engineer: WH Lochner, Inc.
Construction Manager: TBD
Owner's Representative (CEI): TBD
Project Contact: Sean Pugh PE, sean.pugh@dot.state.fl.us, 239.225.1925
BCC Approval Date: TBD
Estimated Completion of PD&E Study: Summer 2024
Public Outreach Meeting: TBD 2025
Estimated Design Completion: 2027
Estimated Substantial Completion Date: TBD



Milestones/Challenges To Date: 11/04/2025

- The FL Legislature approved a 4B budget for the "Moving Florida Forward" Project. This project will construct a new alignment of SR29 as a 4-lane divided roadway with drainage improvements on the corridor to serve as a loop around downtown Immokalee area. FDOT's Environmental Manager attended the 4/17/24 Joint CRA & MSTU Meeting to provide a Loop Rd update with video presentation www.SR29Collier.com. In person public meeting was on 4/18/24 & online 4/23/24 <https://bitly.ws/3fFYL>.
- 7/16/24 FDOT PM presented update to the East of 951 Ad Hoc Advisory Board.
- The PD&E Study commenced in the Summer of 2007 and received approval from the FDOT Office of Environmental Management on 6/19/24 (cost of \$4,551.635).
- 06/18/25 Loop Road construction is tracking to start in 2027.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	40%
Construction	0%

District #: 5

Project #: CC 23-8155

Project Sponsor: FDOT

Project Manager: Shannon Bassett

Monitoring Project for Community's Awareness

Project Scope: This federal funded local agency program (LAP) project is intended to install sidewalks and improve drainage on a portion of Carson Road.

Construction Budget: \$1,414,943.50

Engineer of Record: Joshua Hildebrand, P.E., Johnson Engineering

Contractor: Marquee Development, Inc.

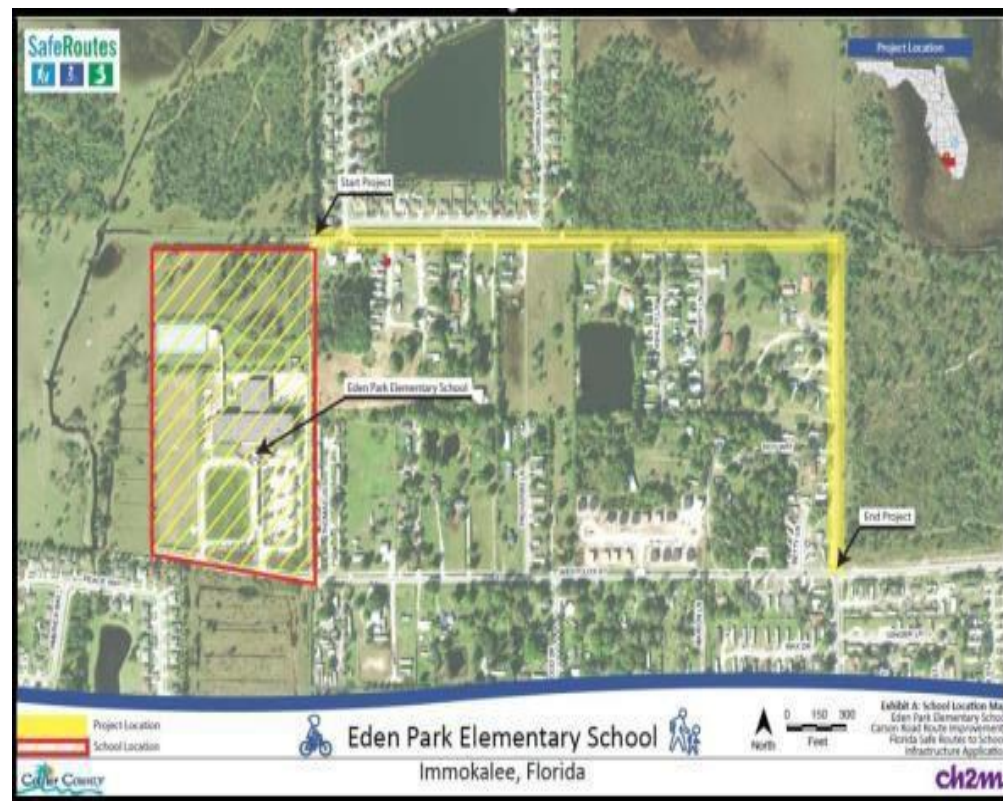
Owner's Representative (CEI): Jared Thompson, EXP

NTP: 04/28/25

Stop Work Notice: 10/15/25 (19 days)

Resume Work Notice: 11/3/25

Estimated Final Completion Date: 05/7/26



Milestones/Challenges To Date: 11/04/2025

- The BCC Approved the Construction Agreement (LAP) #23-8155 on 02/27/24, 16E4.
- Construction Progress Meetings are held bi-weekly. Meeting #9 was held on-site and virtually on 11/04/25. Next Progress Meeting is scheduled for 11.18.25.
- 10/15/25 Project on work stop for 19 days and resumed work on 11/3/25.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	100%
Construction	44%

Project Manager Field Observations November 3, 2025

Overview:

Beautification Area Improvements:

1) First Street Zocalo Plaza/Landscape Maintenance



11.3.25 A&M Trimmed the trees



11.3.25 A&M Trimmed the trees and pampas grass





11.3.25 Facilities Management pressure washed and painted the bandshell

A&M: A&M Property Maintenance (A&M) provides services. A&M is cleaning and maintaining the landscaping according to their schedule and their work continues to be satisfactory.

2) Improvements on Main Street (between 1st and 9th)

A&M: A&M is cleaning the streets according to their schedule and their work continues to be satisfactory. They sweep Main Street weekly and pressure wash the sidewalk areas on W. Main Street between 1st Street and 9th Street on a quarterly basis.

Main Street: The corridor on W. Main Street between 1st Street and 9th Street was overall satisfactory with signs of homeless presence. The landscaping in the medians were trimmed.



11.3.25



11.3.25



11.3.25 New aircrafts utilizing KIMM.



11/3/25 Improvements continue to be made to the airport hangers and grounds.

Upcoming Community Events

Updated 11/05/2025

Collier County Board of County Commissioners (BCC) Meeting

Date: 11/10/2025 at 9:00 a.m.

Location: Board of County Collier Commissioners Chambers, 3rd floor, Collier County Government Center
3299 Tamiami Trail East, Naples, FL 34112

Watch Live On: <http://tv.colliergov.net/internetchannel/watch-now>

Collier County Public School (CCPS) Board Meeting

Date: 11/12/2025 at 9:00 a.m.

Location: Dr. Martin Luther King Jr. Administrative Center/ Live Online
5775 Osceola Trail., Naples, FL 34109

Watch Live Online: <https://www.collierschools.com/educationlive>

Immokalee Water and Sewer District (IWSD) Annual Board of Commissioners Meeting

Date: 11/12/2025 at 3:30 p.m.

Location: Immokalee Water and Sewer District
1020 Sanitation Road., Immokalee, FL 34142

For more information call: 239.658.3630

The Art of Beading in Jewelry Making

Date: 11/15/2025 from 10:00 a.m. to 12:00 p.m.

Location: Immokalee Pioneer Museum at Roberts Ranch
1215 Roberts Ave., Immokalee, FL 34142

For more information contact: 239.252.2611

Bicycle & Pedestrian Advisory Committee (BPAC) Meeting

Date: 11/18/2025 at 9:00 a.m.

Location: Collier County Government Center, Admin. Bldg. F, IT Training Room, 5th Floor
3299 Tamiami Trail East., Naples, FL 34112

For more information call: 239.252.5814

Fall Homeschool Day: A Pioneer's Life for Me

Date: 11/19/2025 from 10:00 a.m. to 1:00 p.m.

Location: Immokalee Pioneer Museum at Roberts Ranch
1215 Roberts Ave., Immokalee, FL 34142

For more information contact: 239.252.2611

Immokalee Fire Control District – Board of Fire Commissioners Meeting

Date: 11/19/2025 at 3:00 p.m.

Location: IFCD Headquarters (Fire Station 32) / Live Online

5368 Useppa Drive, Ave Maria, FL 34142

For more information call: 239.657.2111

Join Live Online: <https://www.immfire.com/view-live-meeting>

Immokalee Taskforce Meeting

Date: 11/24/2025 at 10:00 a.m.

Location: CareerSource Southwest Florida

750 South 5th Street., Immokalee, FL 34142

12th Annual Christmas Tree Lighting Event *Free Event*

Date: 12/04/2025 at 6:00 p.m.

Location: The Immokalee Zocalo Plaza

107 1st Street, Immokalee, FL 34142

For more information contact Yuridia Zaragoza at 239.867.0025

Cowboy Christmas *Free Event*

Date: 12/06/2025 from 10:00 a.m. to 1:00 p.m.

Location: Immokalee Pioneer Museum at Roberts Ranch

1215 Roberts Ave., Immokalee, FL 34142

For more information contact: 239.252.2611

Cherryle Thomas Christmas Around the World Parade & Gala Event

Date: 12/06/2025 at 5:00 p.m.

Location: The Immokalee Sports Complex

505 Escambia St., Immokalee, FL 34142

For more information contact: 239.252.4448

Collier County Board of County Commissioners (BCC) Meeting

Date: 12/09/2025 at 9:00 a.m.

Location: Board of County Collier Commissioners Chambers, 3rd floor, Collier County Government Center

3299 Tamiami Trail East, Naples, FL 34112

Watch Live On: <http://tv.colliergov.net/internetchannel/watch-now>

Collier County Public School (CCPS) Board Meeting

Date: 12/10/2025 at 9:00 a.m.

Location: Dr. Martin Luther King Jr. Administrative Center/ Live Online

5775 Osceola Trail., Naples, FL 34109

Watch Live Online: <https://www.collierschools.com/educationlive>

If you have a community event you would like us to add to the list or a correction that needs to be made, please send to Yuridia.Zaragoza@collier.gov or call at 239-867-0025

Immokalee Water and Sewer District

Water and Wastewater Impact Fee Study

Public Outreach and Stakeholder Presentation: September 10, 2025



Governance / Oversight

- In Florida, most water and wastewater systems stand-alone as a separate department within a local government, non-profit district, or separate Authority, or are operated by a publicly regulated (investor-owned) utility
 - › Financial management and reporting includes all business-related activities
 - › Utility rates are adopted to recover the annual budgeted expenditures of the system, while providing cash reserves to address unforeseen contingencies and/or natural disasters
- Immokalee Water and Sewer District is managed under the authority and control of the Board of Commissioners who are appointment by the Governor of Florida
 - › Commissioners make decisions about District policies, financial planning, utility rates and charges, and employee benefits

Responsibilities

- Maintain service reliability and safeguard public health and safety by addressing:
 - › Aging infrastructure associated with clay sewer pipes and other line replacements
 - › Water system looping improvements
- Meet regulatory requirements enforced by the Florida Department of Environmental Protection (FDEP) through ongoing lift station upgrades and lining of manholes that mitigate sewer infiltration and inflow
- Increase service capacity within the distribution and collection systems / upsizing the system to meet the needs of new development
- Invest in new technology integration which may improve efficiencies throughout the system

Principal Cost Drivers

- Increased inflation
- Need for new staffing positions to meet the needs of new growth
- Requirements to improvement and expand facilities
 - › FY25-30 capital plan estimated at \$149.9 million
 - › Major improvements include, but not limited to, the following:
 - Water Softening
 - WWTP Office Building
 - Septic Tank Replacement Program
 - IFAS Tank and Booster Station
 - Automated Metering Infrastructure (AMI)
 - Lift Station Upgrades and Force Main Extensions
 - SR29 Main Relocation

Strategies to Offset System Costs

- Update miscellaneous utility charges and fees
 - › Completed 2022
- Consider the feasibility of implementing impact fees; a type of capacity charge or connection fee paid by new developments that create demand for system capacity
 - › Fees are used to pay for project costs or debt service associated with growth-related facilities and major equipment
 - › Avoids burdening existing customers with growth-related costs
 - › Helps ensure growth pays for growth

Recent Board Action

- The Board held a workshop on June 3, 2025 and a subsequent public hearing on June 25, 2025 to discuss adopting water and wastewater impact fees
- The recommendations were approved and adopted providing more than 90 days notice to developers before the fees become effective
- The adopted water and wastewater impact fees become effective on and after October 1, 2025
 - › Historically, the District has relied on cost-share arrangements with developers to recover their proportionate share of expansion-related costs

Discussion Topics

Impact Fee Criteria & Development

District Service Areas

Cost Recovery Approach

Adopted Impact Fees

Why Fees Differ Among Utilities

Impact Fee Comparison

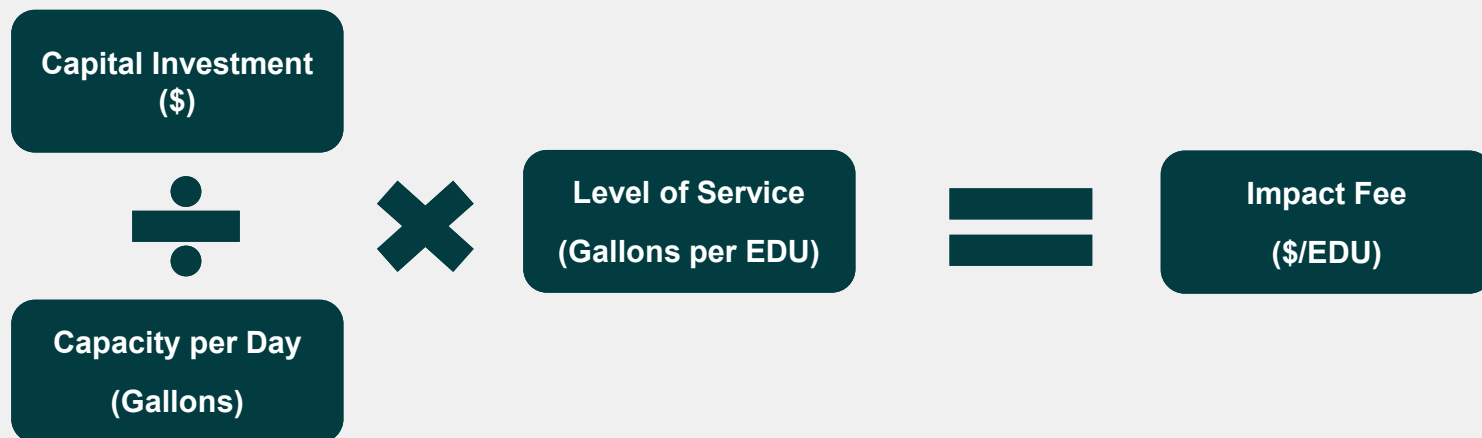
Q/A

Impact Fee Criteria

- Fees must be reasonably equitable to all parties - dual rational nexus
 - › Fees must be based on the capital cost requirements anticipated for providing service-related facilities to new development
- Fees must be based upon reasonable level of service (LOS) standards that meet the needs of the District
- Fees must be accounted for in separate funds and cannot be used to fund deficiencies in capital needs of the utility or pay for what would generally be considered an operating expense

Development of Impact Fees

- Three major components:
 - › The amount of expansion-related capital costs to be recovered
 - › Capacity of the expansion-related facilities
 - › The level of service (LOS) apportioned to the applicant requesting capacity per equivalent residential dwelling unit (EDU)



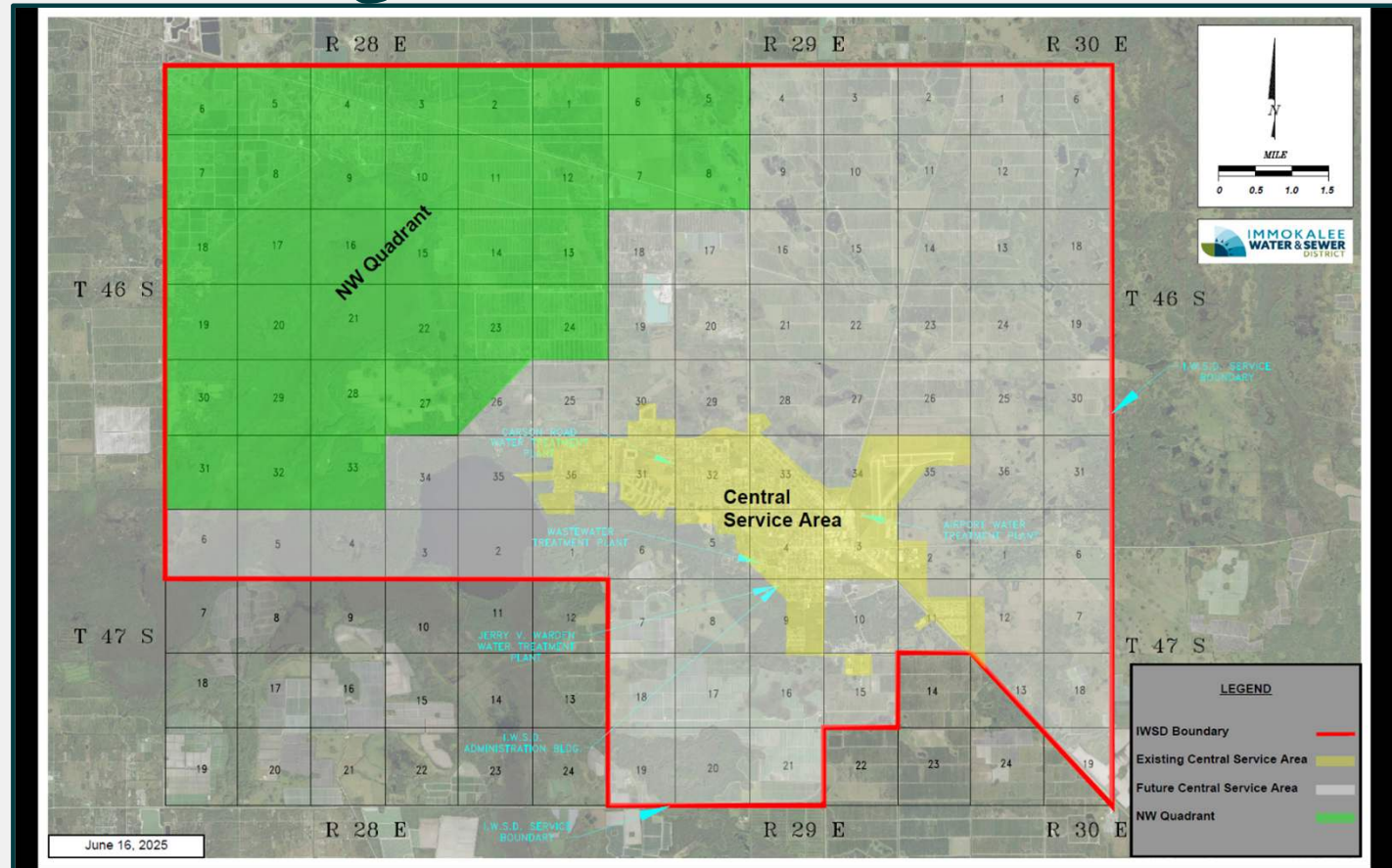
Development of Impact Fees (cont.)

- Cost Methodology
 - › Recovers the cost of supply, treatment, and backbone transmission
 - Existing assets with available capacity to serve new growth
 - Proposed new capital projects benefitting new customers
 - › Excludes local or on-site water distribution / wastewater collection system costs
 - Generally contributed by developers or funded separately through line extension fees or assessments
 - › Excludes grant funded projects, minor equipment, and vehicles
- Proposed fees based on District's design criteria including an allowance of up to 300 gallon per day of capacity per EDU (LOS)

District Service Quadrants

- District plans to maintain 2 service areas
 - › Northwest Quadrant
 - › Central Service Area
 - District plans interconnect the Northeast, Southeast and Southwest
- Northwest Quadrant will be served by separate plants
 - › Additional planning is needed to determine how developers will share in those costs

This study addresses fees associated with the Central Service Area



Cost Recovery Approach

- There are two widely recognized approaches for calculating water and wastewater impact fees
 - › System Buy-In Method
 - Considers both the value of existing infrastructure and costs associated with near-term expansion projects and/or system-wide improvements
 - Applied when existing facilities still have available capacity to serve new customers
 - Appropriate for the Central Service Area plant and transmission facility costs
 - › Incremental Cost Method
 - Evaluates costs of adding new capacity to serve future customers
 - Applied when no existing facilities are available to serve the benefit area

Central Service Area – Existing Assets

Description	Water System	Wastewater System
<u>Included in the Impact Fee</u>		
Treatment Plant	\$9,683,870	\$33,633,956
Transmission	<u>13,632,885</u>	<u>11,103,388</u>
Total System Costs	\$23,316,755	\$44,737,344
<u>Excluded from the Impact Fee</u>		
Local and On-site Facilities	\$23,974,565	\$10,640,538
Other Investments	<u>2,414,445</u>	<u>2,414,951</u>
Total Excluded Investments	<u>\$26,389,010</u>	<u>\$13,055,489</u>
Total System Assets	\$49,705,765	\$57,792,833

Central Service Area – Credits

Description	Water System	Wastewater System
<u>Existing Assets Reduced for Historical Grants</u>		
Treatment Plant	\$1,000,000	\$5,700,133
Transmission	<u>11,071,212</u>	<u>3,866,767</u>
Total Grants Used to Fund System Costs	\$12,071,212	\$9,566,900

Central Service Area – CIP

Description	Water System	Wastewater System
<u>Planned Investments (Excludes Grant Revenues)</u>		
Treatment Plant	\$23,990,000	\$3,050,000
Transmission	<u>1,640,000</u>	<u>7,983,475</u>
Total Planned Investments	\$25,630,000	\$11,033,475

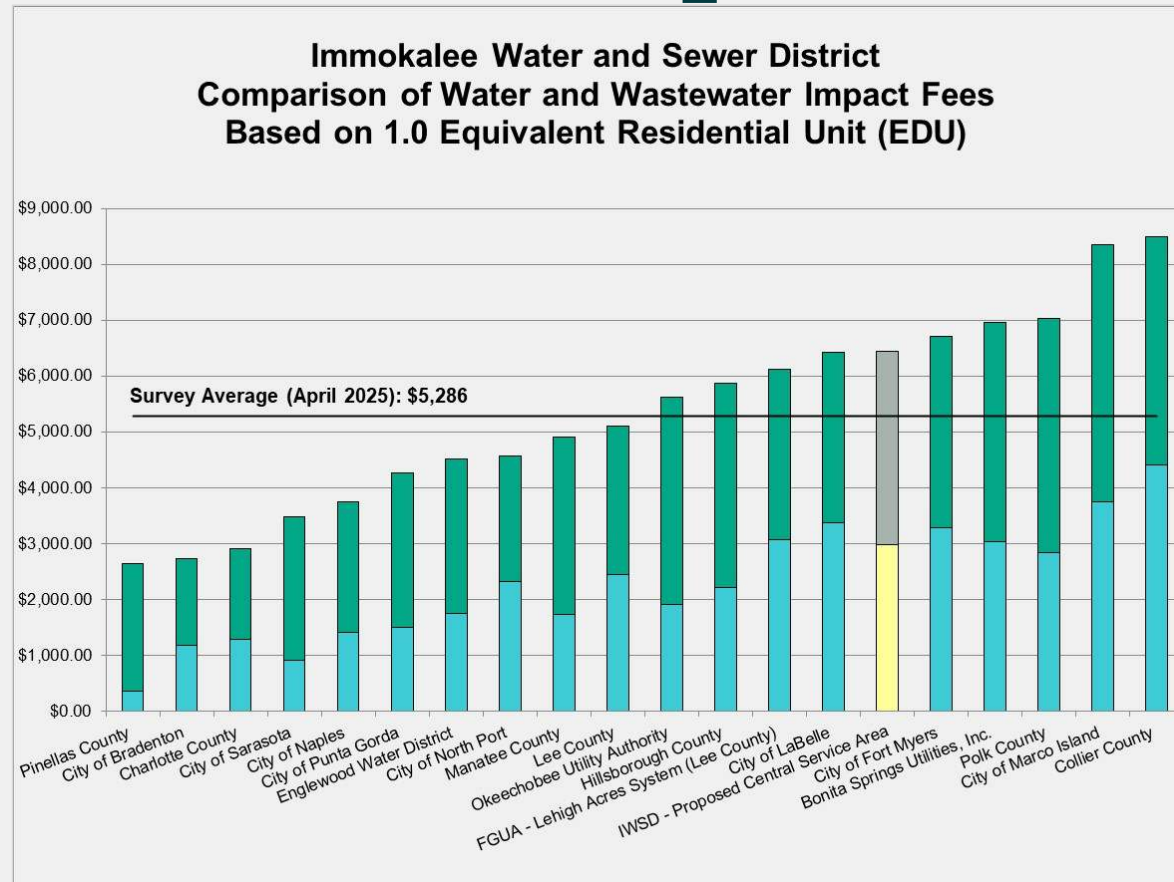
Central Service Area – Adopted Fees

Description	EDU Value	Water System	Wastewater System
<u>Residential</u>			
Single Family (per Unit)	1.0	\$2,981	\$3,465
Multi-family (per unit)	0.8	\$2,385	\$2,772
<u>Non-residential</u>			
5/8" Meter	1.0	\$2,981	\$3,465
3/4" Meter	1.5	\$4,472	\$5,198
1" Meter	2.5	\$7,453	\$8,663
1.5" Meter	5.0	\$14,905	\$17,325
2" Meter	8.0	\$23,848	\$27,720
3" Meter	15.0	\$44,715	\$51,975
4" Meter	25.0	\$74,525	\$86,625
6" Meter	50.0	\$149,050	\$173,250
8" Meter	80.0	\$238,480	\$277,200
10" Meter	115.0	\$342,815	\$398,475
12" Meter	215.0	\$640,915	\$744,975

Why Fees Differ Among Utilities

- Source of Supply
- Proximity to Source of Supply
- Type of Treatment
- Availability of Grant Funding
- Utility Life Cycle (growth-oriented vs. mature)
- Level of Service per EDU
- Age of System
- Density / Size of System

Comparison of Adopted Fees



Q / A





Thank you!

Contact:

Murray Hamilton, Project Director
407-628-2600



PROJECT
EL GRAN TACO LOCO

ADDRESS
**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION
NEW EATING AREA

PROJECT COORDINATOR
JOSE MENDOZA

PLANS PREPARED BY
**MORNING STAR DRAFTING
AND DESIGN, INC.**

ENGINEER OF RECORD:
P.E. LUIS BURGOS ROSADO

LBA SOLUTION EXPERTS
12208 NORTHVER LOOP
ORLANDO, FL 32824
LBRP.E.CONSTRUCTIVS@GMAIL.COM F: 727-994-2776
LUIS JOSE BURGOS ROSADO, P.E. - FL # 82724
ELECTRONIC SIGN & SEAL AREA:

Digitally signed
by Luis J
Burgos Rosado
Reason: I am
approving this
document.
Date:
2025.05.24
17:47:58-04'00'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY
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REVISION	BY

DATE: November 21, 2024

DRAWN BY: JOE MENDOZA

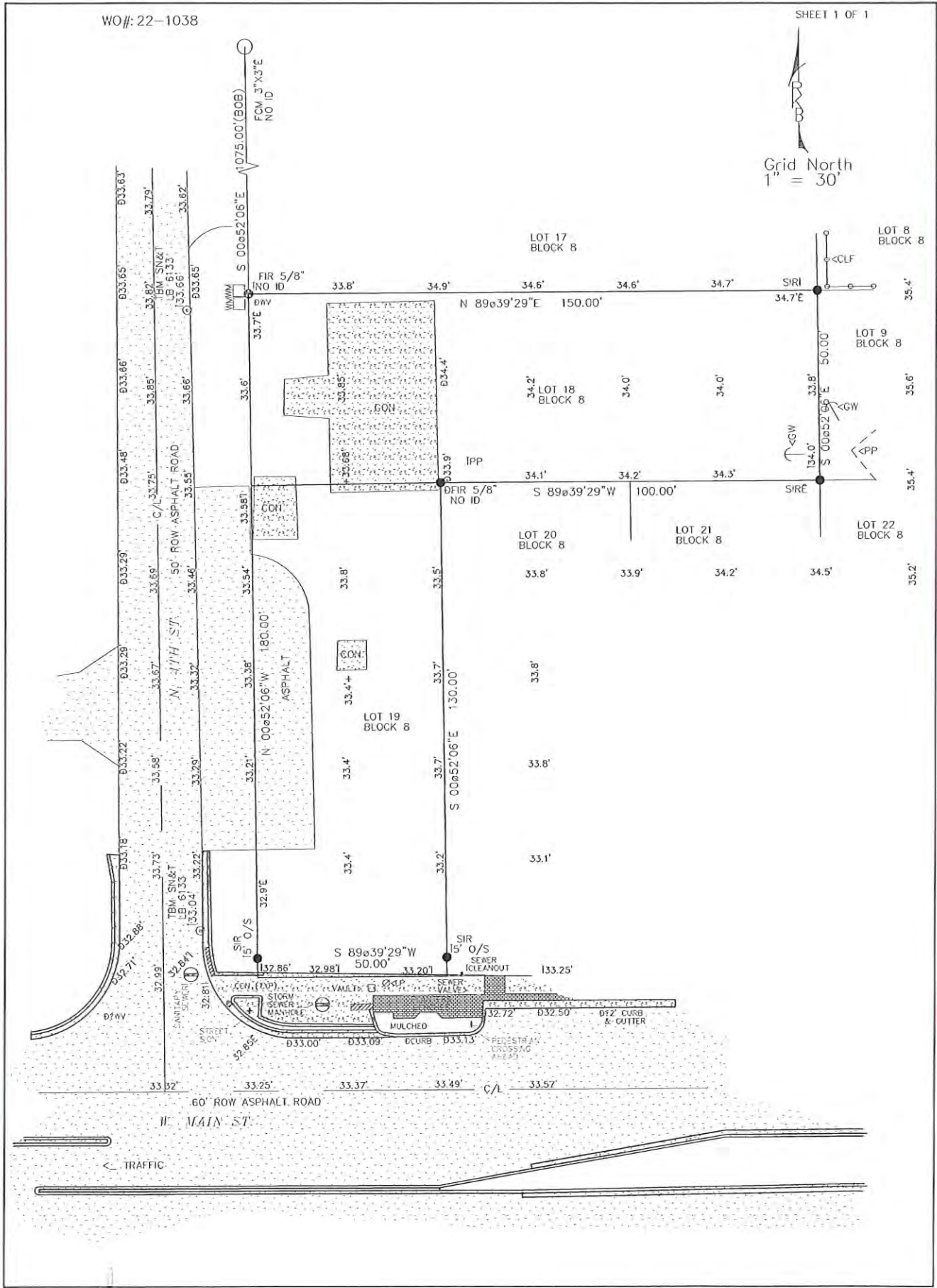
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BUILDING CODE 6TH EDITION DEED. THESE DOCUMENTS ARE TO BE
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**SHEET
G1.0
AERIAL LOCATION
MAP**

SCALE: NTS

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PARCEL DESCRIPTION:
LOTS 18 AND 19, BLOCK 8, MILLER'S PARK, PLAT BOOK
2, PAGE 80, COLLIER COUNTY RECORDS.

BEING IN A SUBDIVISION OF THE WEST HALF OF SE 1/4
OF THE NE 1/4 AND THE EAST HALF OF THE S2 1/4 OF
THE NE 1/4 OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE
29 EAST.

DRAWN BY: WNH

LEGEND:
(C) = CALCULATED
(F) = FIELD MEASURED
(NR) = NON-RADIAL
(R) = RECORD
(RAD) = RADIAL
BOB = BASIS OF BEARINGS
(GRID-NAD 83-FL WEST ZONE)
C/L = CENTERLINE
CATV = CABLE TV BOX
CCED = CAPE CORAL ENGINEERING DEPT.
CCP = COVERED CONCRETE PAD
CLF = CHAIN LINK FENCE
CON = CONCRETE
CP = CONCRETE PAD
DE = DRAINAGE EASEMENT
DUE = DRAINAGE & UTILITY EASEMENT
EOP = EDGE OF PAVEMENT
FC = FENCE CORNER
FCM = FOUND CONCRETE MONUMENT
FF = FINISHED FLOOR ELEVATION
FIR = FOUND IRON ROD
FN = FOUND NAIL
FN&T = FOUND NAIL & TAB
GF = GARAGE FLOOR ELEVATION
GW = GUY WIRE
HYD = FIRE HYDRANT
LB = LICENSED BUSINESS
LS = LICENSED SURVEYOR
MH = MANHOLE
NAD = NORTH AMERICAN DATUM

NAVD = NORTH AMERICAN
VERTICAL DATUM
O/S = OFFSET
OHP = OVERHEAD POWER LINE
OL = OUTDOOR LIGHT
PC = POINT OF CURVE
PCP = PERMANENT CONTROL POINT
PP = POWER POLE
PS&M = PROFESSIONAL SURVEYOR
& MAPPER
PT = POINT OF TANGENCY
PUE = PUBLIC UTILITY EASEMENT
ROW = RIGHT OF WAY
SD = STORM DRAIN
SEP = APPROXIMATE LOCATION OF
SEPTIC TANK
SIR = SET 5/8" X 18" IRON
ROD AND CAP STAMPED
"RKB LB 6133"
SN&T = SET NAIL & TAB
SP = SCREENED PORCH
SW = SEAWALL
TB = TOP BANK
TBM = TEMPORARY BENCHMARK
TEL = TELEPHONE BOX
TYP = TYPICAL
UE = UTILITY EASEMENT
USC&G = UNITED STATES COAST &
GEODETIC SURVEY
WM = WATER METER
WV = WATER VALVE
WW = WALKWAY

R.K.BURNS SURVEYING, INC. LB 6133

3507 LEE BLVD. # 230
LEHIGH ACRES, FL 33971
239-303-0764
239-303-0832 (FAX)
INFO@BURNSSURVEYING.COM

DEVELOPMENT ORDER
SURVEY

FIELD WORK COMPLETED: 11/16/2022

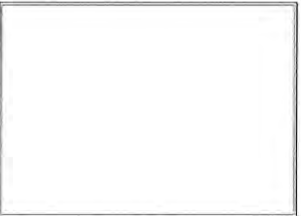
PREPARED FOR:
EL GRAN TACO LOCO

THIS MAP OF SURVEY IS ONLY FOR THE LAND DESCRIBED.
IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENT,
FREEDOM OF ENCUMBRANCE, OWNERSHIP OR RIGHTS-OF-WAY.

ADDITIONS OR DELETIONS TO THE SURVEY MAP BY OTHERS
THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED
WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

THIS SURVEY WAS PREPARED TO MEET THE REQUIREMENTS OF THE
PERSONS LISTED AND SHOULD NOT BE RELIED ON TO
MEET THE REQUIREMENTS OF ANY OTHER PERSONS OR PURPOSES.

- NOTES:
- 1) DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 - 2) UNDERGROUND UTILITIES, FOUNDATIONS, AND STRUCTURES WERE NOT FIELD LOCATED OR SHOWN.
 - 3) ONLY INTERIOR IMPROVEMENTS SHOWN WERE LOCATED.
 - 4) PARCEL WAS SURVEYED FROM INFORMATION FURNISHED BY THE CLIENT.
 - 5) PARCEL SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.
 - 6) NO WETLANDS OR JURISDICTION LINES WERE LOCATED.
 - 7) ABSTRACT NOT REVIEWED.
 - 8) PARCEL LIES IN FLOOD ZONE X (FIRM 12021C 0145G 05/16/2012).
 - 9) ELEVATIONS (SHOWN LIKE SO 4.83') ARE NAVD 1988 BASED ON BM F533.



By: _____

BOUNDARY AND SURVEY PLAN

SCALE : 1/16" = 1'-0

* NOTE:
THIS SURVEY IS FOR REFERENCE ONLY. BOUNDARY AND TOPOGRAPHIC SURVEY SUBMITTED SEPARATELY.

PROJECT
EL GRAN TACO LOCO

ADDRESS
**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION

NEW EATING AREA

PROJECT COORDINATOR

JOSE MENDOZA

PLANS PREPARED BY

MORNING STAR DRAFTING
AND DESIGN, INC.



ENGINEER OF RECORD:

P.E. LUIS BURGOS ROSADO



12728 NORTHVIEW LOOP
ORLANDO, FL 32824
LEB@PECONSULTING.COM F: 781-961-2776

LUIS JOSE BURGOS ROSADO, P.E. - FL # 12728

ELECTRONIC SIGN & SEAL AREA:

Digitally signed by Luis J. Burgos Rosado
Reason: I am approving this document.
Date: 2025.05.24 17:47:58-04'00'

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X3 NO: 23-075

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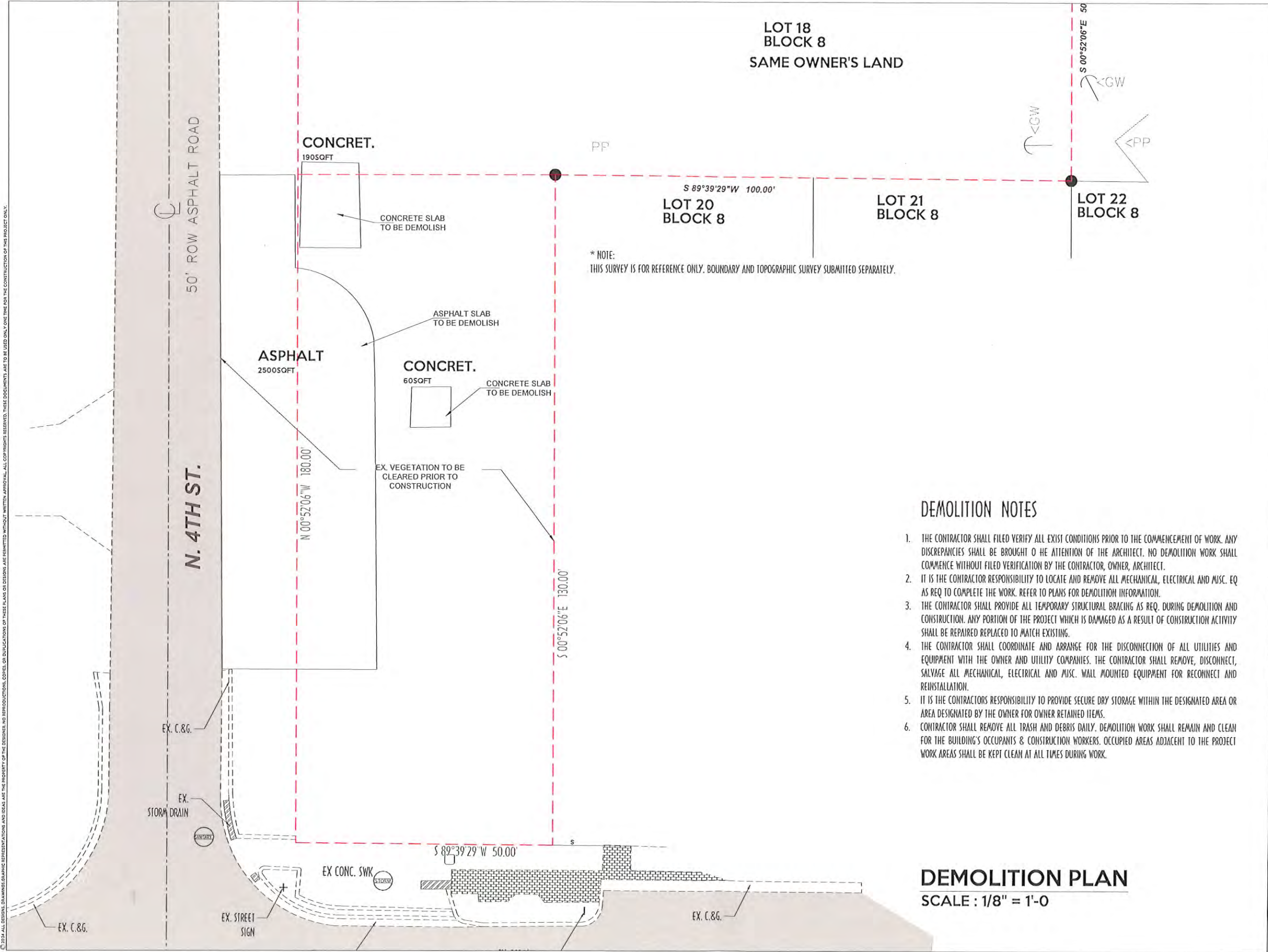
DATE: November 25, 2024

DRAWN BY: JOSE MENDOZA

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SHEET
G2.0
BOUNDARY AND
TOPOGRAPHIC
SURVEY
SCALE: NTS



DEMOLITION NOTES

1. THE CONTRACTOR SHALL FILED VERIFY ALL EXIST CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT O HE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FILED VERIFICATION BY THE CONTRACTOR, OWNER, ARCHITECT.
2. IT IS THE CONTRACTOR RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISC. EQ AS REQ TO COMPLETE THE WORK. REFER TO PLANS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQ. DURING DEMOLITION AND CONSTRUCTION. ANY PORTION OF THE PROJECT WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED REPLACED TO MATCH EXISTING.
4. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL REMOVE, DISCONNECT, SALVAGE ALL MECHANICAL, ELECTRICAL AND MISC. WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SECURE DRY STORAGE WITHIN THE DESIGNATED AREA OR AREA DESIGNATED BY THE OWNER FOR OWNER RETAINED ITEMS.
6. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS DAILY. DEMOLITION WORK SHALL REMAIN AND CLEAN FOR THE BUILDING'S OCCUPANTS & CONSTRUCTION WORKERS. OCCUPIED AREAS ADJACENT TO THE PROJECT WORK AREAS SHALL BE KEPT CLEAN AT ALL TIMES DURING WORK.

DEMOLITION PLAN
SCALE : 1/8" = 1'-0

PROJECT
EL GRAN TACO LOCO

ADDRESS
**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION
NEW EATING AREA

PROJECT COORDINATOR
JOSE MENDOZA

PLANS PREPARED BY
**MORNING STAR DRAFTING
AND DESIGN, INC.**



ENGINEER OF RECORD:
P.E. LUIS BURGOS ROSADO



12308 NORTHOVER LOOP
ORLANDO, FL 32824
LBR/FE.CONTRACTING@GMAIL.COM P: 727-901-2776

LUIS JOSE BURGOS ROSADO, P.E. - FL # 92724
ELECTRONIC SIGN & SEAL AREA:

Digitally signed
by Luis J
Burgos Rosado
Reason: I am
approving this
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2025.05.24
17:47:59-04'00'

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REVISION	BY

DATE: November 21, 2024

DRAWN BY: JOSE MENDOZA

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FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION FROM
CASTILLO DEVELOPMENT CORP. WRITTEN PERMISSION ON THESE
DRAWINGS HAVE PRECEDENCE OVER SCALE DIMENSIONS.
CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL
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BUILDING CODE WITH EDITIONS PRIOR TO THESE DOCUMENTS ARE TO BE
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ONLY.

SHEET
G3.0
DEMOLITION PLAN

SCALE: NTS

STREET ADDRESS

324 WEST MAIN ST.
IMMOKALEE FL 34142

PARCEL ID

60183800109

PROJECT INFORMATION

CURRENT ZONING = C-4MSO50
FUTURE LAND USE = CMU
PROPOSED USE = EATING AND DRINKING ESTABLISHMENT
MIXED USE OVERLAY = YES

DEVELOPMENT SITE AREAS

TOTAL PARCEL AREA: (0.149 AC)	6,458 SF	100.0%
PROPOSED PAVEMENT AREA:	2,168 SF	32.49%
PROPOSED CONCRETE AREA:	790.35 SF	12.15%
PROPOSED EATING AREA:	795 SF	12.25%
PROPOSED NON-PUBLIC AREA:	360 SF	5.55%
PROPOSED BATHROOM AREA:	214.2 SF	3.30%
PROPOSED TOTAL IMPERVIOUS AREA:	4,315.32 SF	65.77%
PROPOSED OPEN GREEN AREA:	2,220.9 SF	34.23%
PROPOSED TOTAL PERVIOUS AREA:	2,220.9 SF	34.23%

BUILDING SETBACK REQUIREMENTS

FRONT YARD = 10' (STREET)
SIDE YARD = 10'
REAR YARD = 5'

PARKING REQUIREMENTS

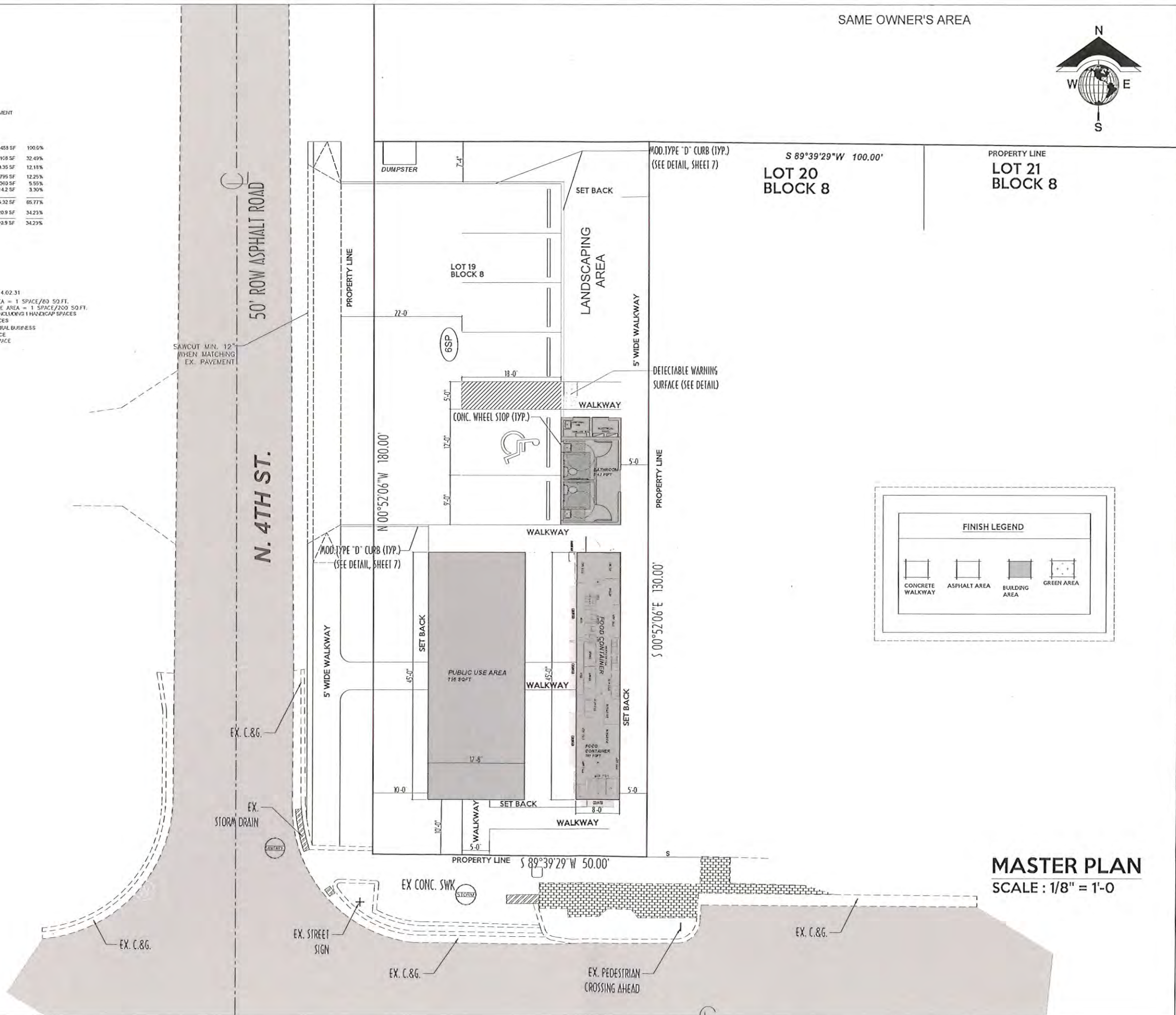
PER COLLIER COUNTY LAND DEVELOPMENT CODE SEC. 4.02.31
EATING AND DRINKING ESTABLISHMENT PUBLIC USE AREA = 1 SPACE/60 SQ. FT.
EATING AND DRINKING ESTABLISHMENT NON-PUBLIC USE AREA = 1 SPACE/200 SQ. FT.
REQUIRED SPACES FOR PUBLIC USES: 795/60 = 13 SPACES INCLUDING 1 HANDICAP SPACE
REQUIRED SPACES FOR NON-PUBLIC USES: 360/200 = 1.8 SPACES
50% REDUCTION FOR PARKING WITHIN THE IMMOKALEE CENTRAL BUSINESS DISTRICT = 6 SPACES REQUIRED INCLUDING 1 HANDICAP SPACE
TOTAL PROVIDED SPACES: 6 INCLUDING 1 HANDICAP SPACE

SAME OWNER'S AREA



LOT 20
BLOCK 8

PROPERTY LINE
LOT 21
BLOCK 8



FINISH LEGEND			
CONCRETE WALKWAY	ASPHALT AREA	BUILDING AREA	GREEN AREA

MASTER PLAN
SCALE: 1/8" = 1'-0

PROJECT
EL GRAN TACO LOCO

ADDRESS

324 WEST MAIN ST.
IMMOKALEE
FL 34142

PROJECT DESCRIPTION

NEW EATING AREA

PROJECT COORDINATOR

JOSE MENDOZA

PLANS PREPARED BY

MORNING STAR DRAFTING
AND DESIGN, INC.



ENGINEER OF RECORD:

P.E. LUIS BURGOS ROSADO



12308 NORTHOVER LOOP
ORLANDO, FL 32814
LEB@ESR.COM LUISB@ESR.COM P: 727-501-2776

LUIS JOSE BURGOS ROSADO, P.E. - FL # 92724

ELECTRONIC SIGN & SEAL AREA

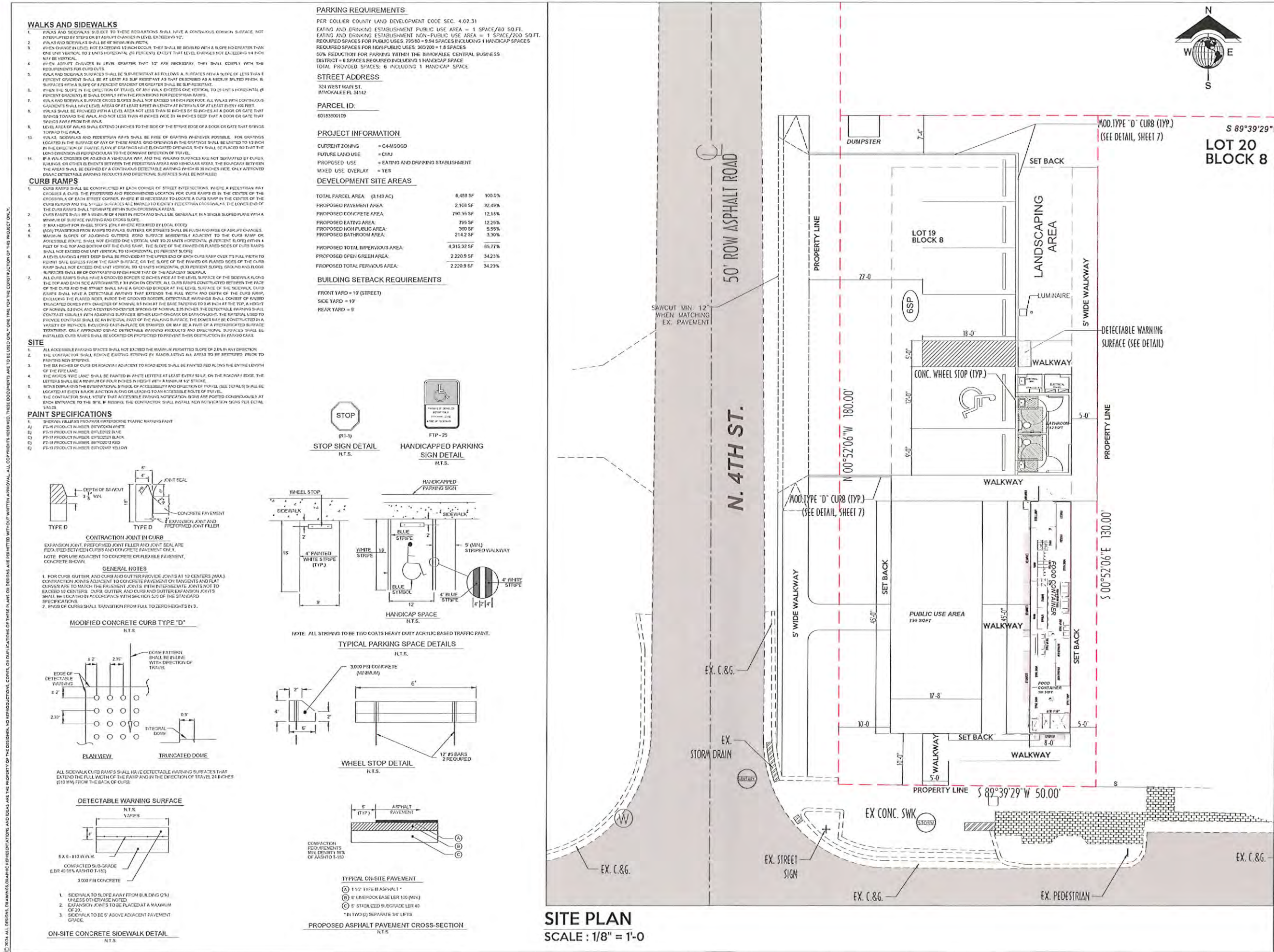
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JOB NO:		23-175			
		REVISION		BY	
DATE:		May 22, 2025			
DRAWN BY:		JOSE MENDOZA			
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ONLY.

SHEET
G4.0
MASTER CONCEPT
PLAN
SCALE: NTS



PROJECT
EL GRAN TACO LOCO

ADDRESS

**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION

NEW EATING AREA

PROJECT COORDINATOR

JOSE MENDOZA

PLANS PREPARED BY

**MORNING STAR DRAFTING
AND DESIGN, INC.**



ENGINEER OF RECORD:

P.E. LUIS BURGOS ROSADO



12345 NORTH AVE. SUITE 100
IMMOKALEE, FL 34142
TEL: (888) 555-1234 FAX: (888) 555-5678
WWW.MORNINGSTARDD.COM

ELECTRONIC SIGNATURE AREA

Digitally signed by Luis J. Burgos Rosado
Reason: I am approving this document.
Date: 2025.05.24 17:48:01-04'00'

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REVISION	BY

DATE: November 25, 2024

DRAWN BY: JOSE MENDOZA

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SHEET

G6.0

**PAVING, GRADING
AND DRAINAGE
PLAN**

SCALE: NTS

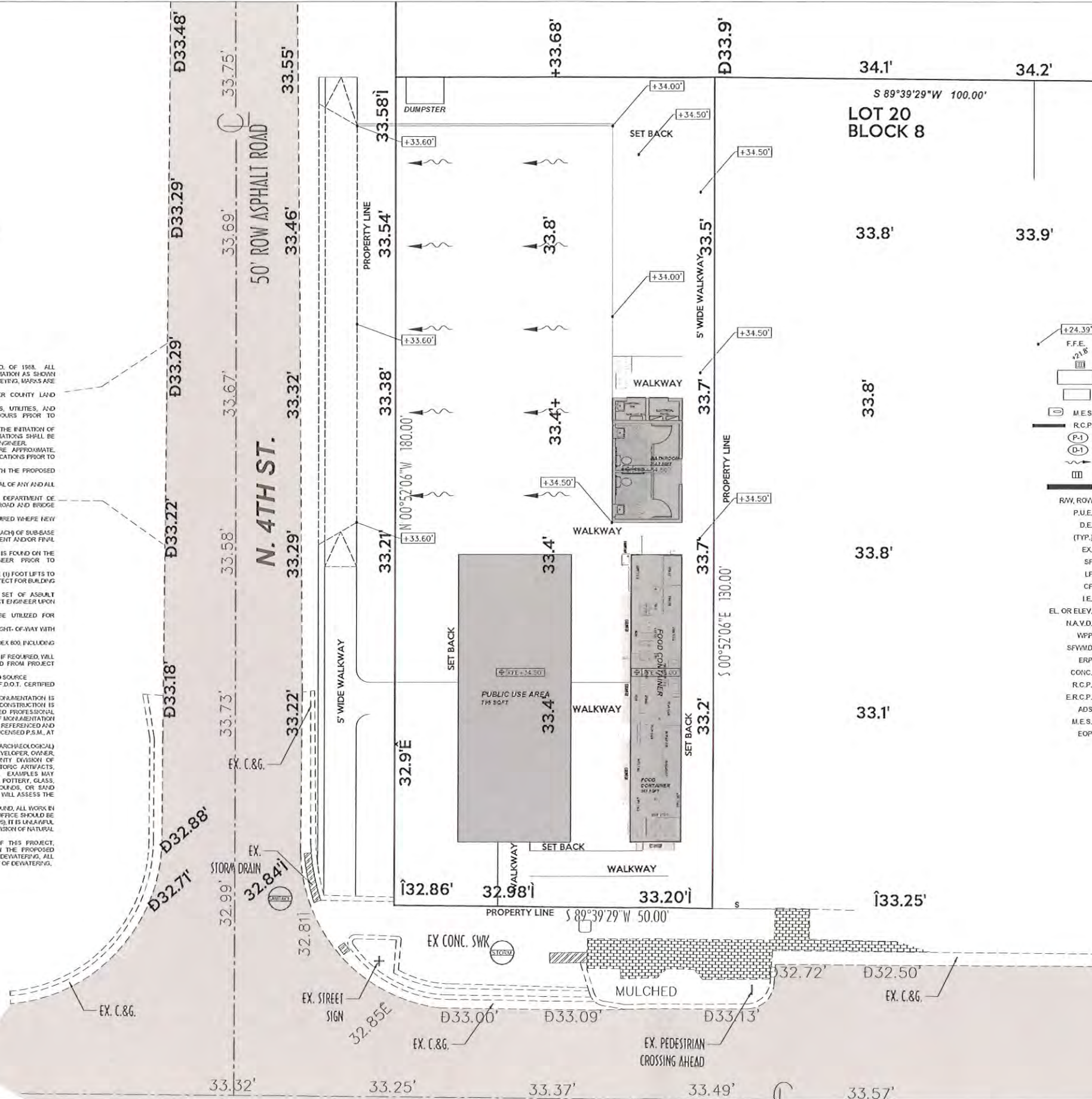


FLOOD ZONE

THE PARCEL IS LOCATED IN FLOOD ZONE "X".
THIS INFORMATION WAS TAKEN FROM THE BOUNDARY SURVEY
PROVIDED BY R. L. BURNS SURVEYING, DATED 11-15-22

GENERAL NOTES

- ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO N.A.V.D. OF 1988. ALL BOUNDARY, EXISTING CONDITIONS, AND TOPOGRAPHIC INFORMATION AS SHOWN WAS TAKEN FROM A SYSTEM FILE PROVIDED BY R. L. BURNS SURVEYING, MARKS ARE AS SHOWN ON BOUNDARY & TOPOGRAPHIC SURVEY.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH COLLIER COUNTY LAND DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL CONTACT ALL APPROPRIATE AGENCIES, UTILITIES, AND PROJECT ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT PROJECT ENGINEER PRIOR TO THE INITIATION OF ANY DEVIATION FROM THE APPROVED PLANS. NO SUCH DEVIATIONS SHALL BE AUTHORIZED WITHOUT PRIOR WRITTEN APPROVAL BY PROJECT ENGINEER.
- UTILITY AND FACILITY LOCATIONS, IF SHOWN HEREON, ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ANY HARDPAVEMENT EXISTING BENEATH THE PROPOSED STORMWATER FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ANY AND ALL DEBRIS REMOVED FROM THE SITE.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- VERTICAL SAW CUTS THROUGH EXISTING UNEROCK ARE REQUIRED WHERE NEW PAVEMENT MATCHES TO EXISTING PAVEMENT.
- CONTRACTOR SHALL SUPPLY SATISFACTORY DENSITY TESTS (2 EACH) OF SUBBASE AND UNEROCK AREAS TO PROJECT ENGINEER PRIOR TO PAYMENT AND/OR FINAL ACCEPTANCE.
- IF A REQUIRED DIMENSION IS NOT SHOWN OR A DISCREPANCY IS FOUND ON THE DRAWINGS, CONTRACTOR TO CONTACT PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL PARKING LOT EMBANKMENT SHALL BE CONSTRUCTED IN ONE (1) FOOT LIFTS TO A MINIMUM COMPACTION OF 92% AS PER T-150. REFER TO ARCHITECT FOR BUILDING FOUNDATION REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE (1) COPY TO PROJECT ENGINEER UPON COMPLETION OF CONSTRUCTION.
- THIS PLAN IS FOR PERMITTING ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS AUTHORIZED BY ENGINEER OF RECORD.
- CONTRACTOR SHALL COORDINATE ANY AND ALL WORK IN THE RIGHT-OF-WAY WITH COLLIER COUNTY DEPARTMENT OF TRANSPORTATION.
- MAINTENANCE OF TRAFFIC SHALL FOLLOW F.D.O.T. STANDARD INDEX 600, INCLUDING FLAGGING.
- BLASTING FOR UTILITY CONSTRUCTION IS NOT ANTICIPATED AND, IF REQUIRED, WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM PROJECT ENGINEER.
- UNEROCK BASE MATERIAL SHALL BE FROM AN F.D.O.T. APPROVED SOURCE.
- ASPHALT PAVEMENT MATERIAL SHALL BE PRODUCED BY AN F.D.O.T. CERTIFIED SOURCE AND TESTED PER F.D.O.T. SPECIFICATIONS.
- ALL EXISTING MONUMENTATION SHALL BE PROTECTED. IF MONUMENTATION IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED AFTER CONSTRUCTION IS COMPLETE TO REQUIRED ACCURACY, BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (P.S.M.) AT CONTRACTOR'S EXPENSE. IF MONUMENTATION IS IN DANGER OF BEING DISTURBED OR DESTROYED, IT SHALL BE REFERENCED AND REPLACED AFTER CONSTRUCTION IS COMPLETE, BY A FLORIDA LICENSED P.S.M. AT CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, IF ANY FORTUITOUS (HISTORICAL OR ARCHAEOLOGICAL) FINDS ARE OBSERVED, ALL WORK SHALL CEASE IN THE AREA. DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF MUST NOTIFY COLLIER COUNTY DIVISION OF NATURAL RESOURCES IMMEDIATELY IF HISTORIC OR PREHISTORIC ARTIFACTS, REMAINS, OR FEATURES ARE FOUND DURING CONSTRUCTION. EXAMPLES MAY INCLUDE FRAGMENTS OF STONE TOOLS, SHELLS, SHELL TOOLS, POTTERY, GLASS, BOTTLES, ANIMAL BONES, BUILDING FOUNDATIONS, SHELL MOUNDS, OR SAND MOUNDS. COLLIER COUNTY DIVISION OF NATURAL RESOURCES WILL ASSESS THE SIGNIFICANCE OF THE FINDS IN A TIMELY MANNER.
- IF ANY HUMAN SKELETAL REMAINS (UNMARKED BURIALS) ARE FOUND, ALL WORK IN THE AREA MUST STOP AND THE NEAREST LAW ENFORCEMENT OFFICE SHOULD BE CONTACTED IMMEDIATELY. ACCORDING TO STATE LAW (F.S. §72.05), IT IS UNLAWFUL TO DAMAGE OR DESTROY A HUMAN BURIAL. COLLIER COUNTY DIVISION OF NATURAL RESOURCES MUST ALSO BE NOTIFIED.
- NO DEWATERING IS ANTICIPATED DURING CONSTRUCTION OF THIS PROJECT. THEREFORE, DEWATERING MAY NOT BE CONDUCTED WITHIN THE PROPOSED PROJECT. SHOULD THE CONTRACTOR DISCOVER A NEED FOR DEWATERING, ALL REQUIRED PERMITS MUST BE IN HAND PRIOR TO COMMENCEMENT OF DEWATERING.



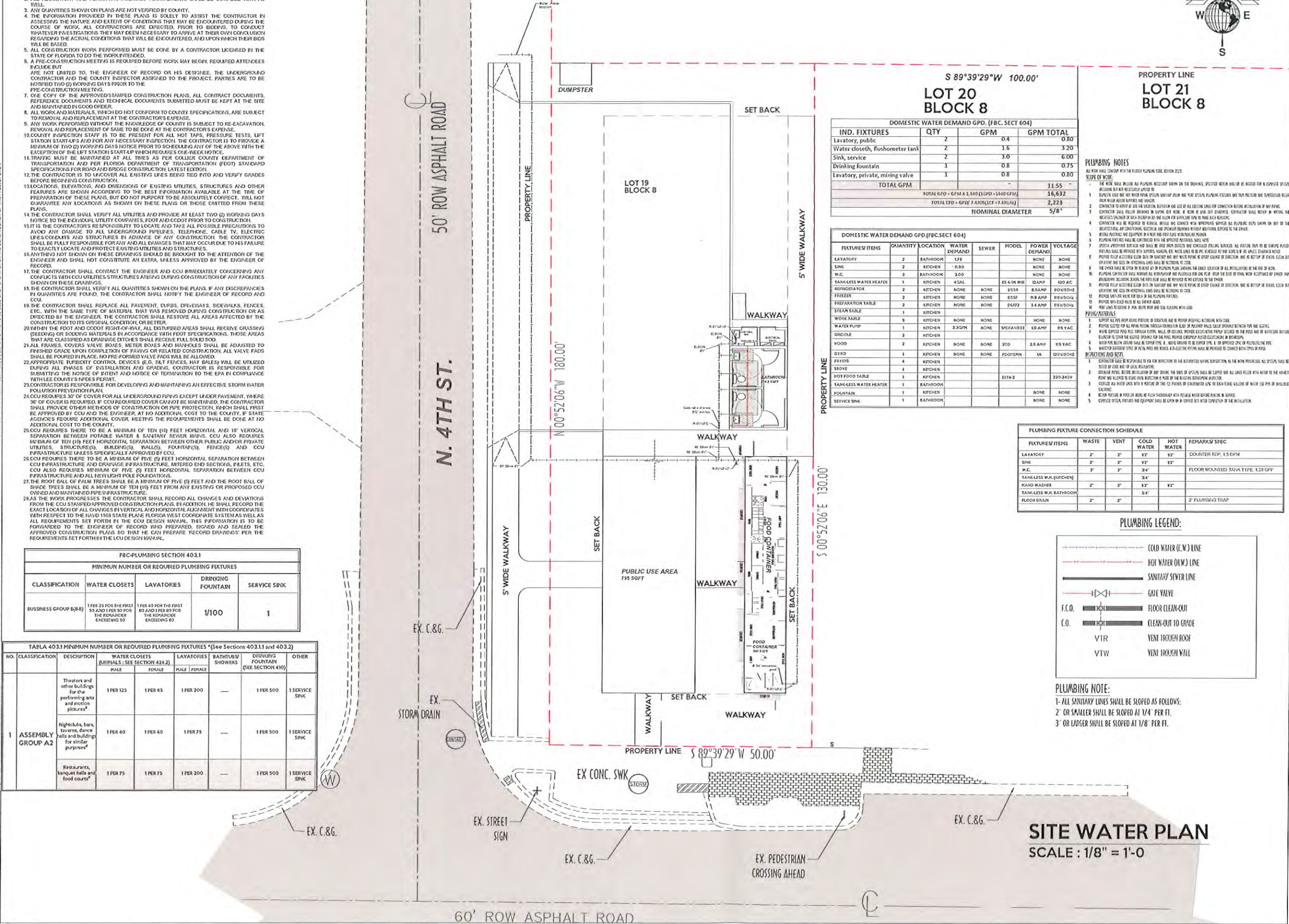
PAVING, GRADING AND DRAINAGE PLAN

SCALE: 1/8" = 1'-0"

2. ALL WORK SHALL CONFORM TO LATEST VERSION OF THE COUNTY DESIGN MANUAL.
3. ALL REGULATORY AND PERMITTING AGENCIES' REQUIREMENTS SHALL BE COMPLIED WITH AS WELL.
4. ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY COUNTY.
5. THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS THAT MAY BE ENCOUNTERED DURING THE COURSE OF WORK. ALL CONTRACTORS ARE EXPECTED, PRIOR TO BIDDING, TO CONDUCT WORK SITE INVESTIGATIONS AND TO OBTAIN NECESSARY TO ASSUMPTIONS AND CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED.
6. ALL CONSTRUCTION WORK PERFORMED MUST BE DONE BY A CONTRACTOR LICENSED IN THE STATE OF FLORIDA TO DO THE WORK INTENDED.
7. A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE WORK MAY BEGIN. REQUIRED ATTENDEES ARE NOT LIMITED TO THE ENGINEER OF RECORD OR HIS DESIGNEE, THE UNDERGROUND CONTRACTOR AND THE COUNTY INSPECTOR ASSIGNED TO THE PROJECT. PARTIES ARE TO BE NOTIFIED TWO (2) WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.
8. ONE COPY OF THE APPROVED/STAMPED CONTRACT DOCUMENTS, ALL CONTRACT DOCUMENTS, REFERENCE DOCUMENTS AND TECHNICAL DOCUMENTS SUBMITTED MUST BE KEPT AT THE SITE.
9. ALL WORK AND MATERIALS, WHICH DO NOT CONFORM TO COUNTY SPECIFICATIONS, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTORS EXPENSE.
10. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE COUNTY IS SUBJECT TO RE-EXCAVATION, RE-PAVEMENT AND/OR RE-GRADING TO REVERT BACK TO THE CONTRACTORS EXPENSE.
11. COUNTY INSPECTION STAFF IS TO BE PRESENT FOR ALL HOT TAPS, PRESSURE TESTS, LIFT STATION START-UPS AND FOR ANY NECESSARY INSPECTION. THE CONTRACTOR IS TO PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE COUNTY INSPECTION STAFF ABOVE WITH THE EXCEPTION OF THE LIFT STATION START-UP WHICH REQUIRES ONE-WEEK NOTICE.
12. TRAFFIC MUST BE MAINTAINED AT ALL TIMES AS PER COLLIER COUNTY DEPARTMENT OF TRANSPORTATION AND PER FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS AND SPECIFICATIONS FOR MAINTENANCE OF TRAFFIC.
13. THE CONTRACTOR IS TO UNCOVER ALL EXISTING LINES BEING TIED INTO AND VERIFY GRADES BEFORE BEGINNING CONSTRUCTION.
14. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE IDENTIFICATION OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT, WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OBTAINED FROM THESE PLANS.

FBC-PLUMBING SECTION 403.1				
MINIMUM NUMBER OR REQUIRED PLUMBING FIXTURES				
CLASSIFICATION	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAIN	SERVICE SINK
BUSINESS GROUP BJE-E	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1/100	1

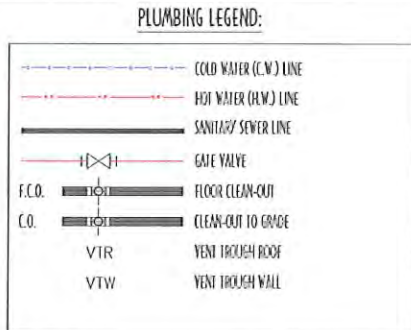
TABLE 403.1 MINIMUM NUMBER OR REQUIRED PLUMBING FIXTURES *(See Sections 403.11 and 403.2)									
NO.	CLASSIFICATION	DESCRIPTION	WATER CLOSETS <u>RETRIALS: SEE SECTION 424.2</u>		LAVATORIES		BATHTUBS/ SHOWERS	DRINKING FOUNTAIN (SEE SECTION 410)	OTHER
			MALE	FEMALE	MALE	FEMALE			
1	ASSEMBLY GROUP A2	Theaters and other buildings for the performing arts and motion pictures*	1 PER 125	1 PER 65	1 PER 200	—	1 PER 500	1 SERVICE SINK	
		Nightclubs, bars, taverns, dance halls and buildings for similar purposes*	1 PER 40	1 PER 40	1 PER 75	—	1 PER 500	1 SERVICE SINK	
		Restaurants, banquet halls and food courts*	1 PER 75	1 PER 75	1 PER 200	—	1 PER 500	1 SERVICE SINK	



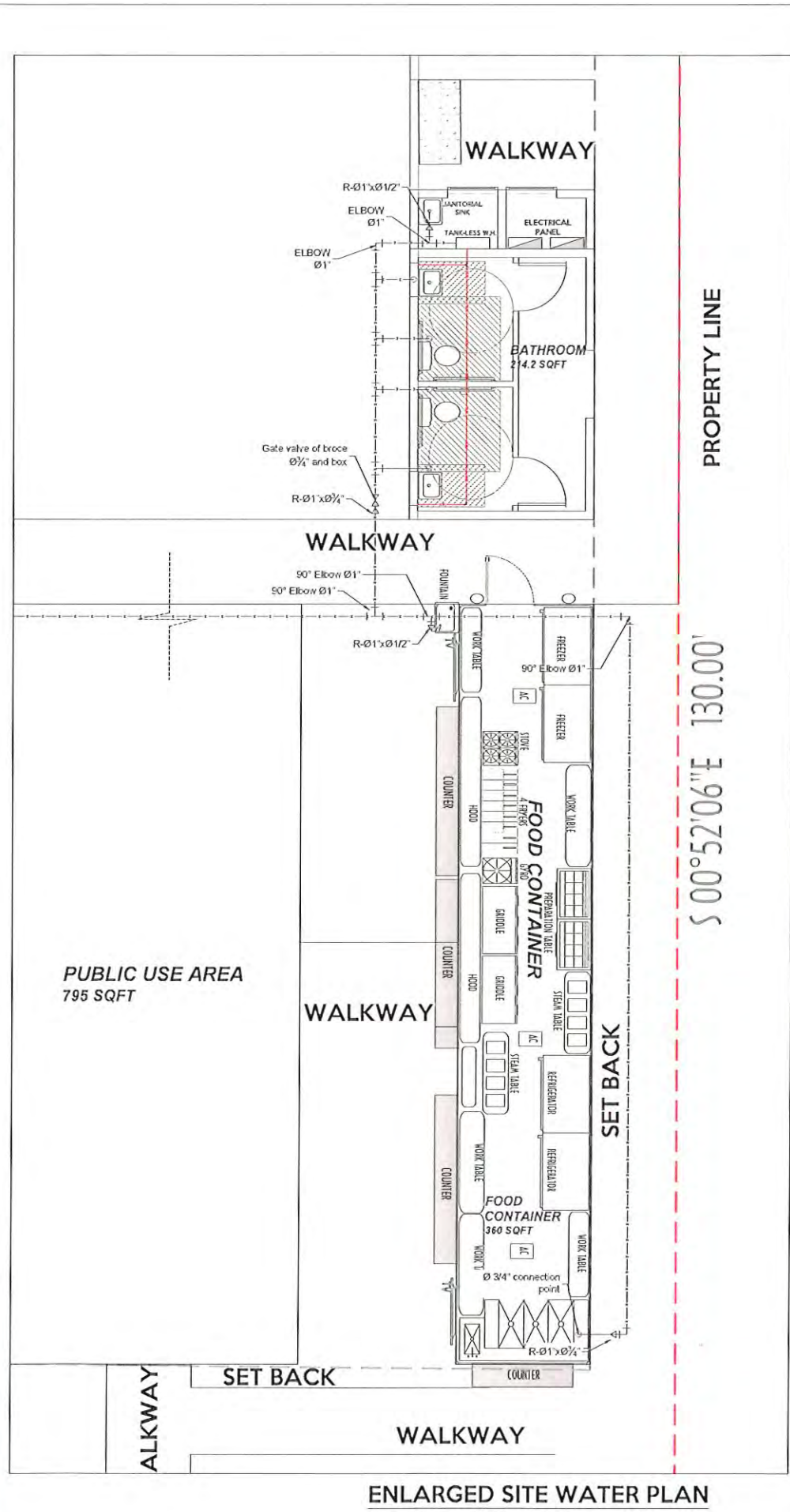
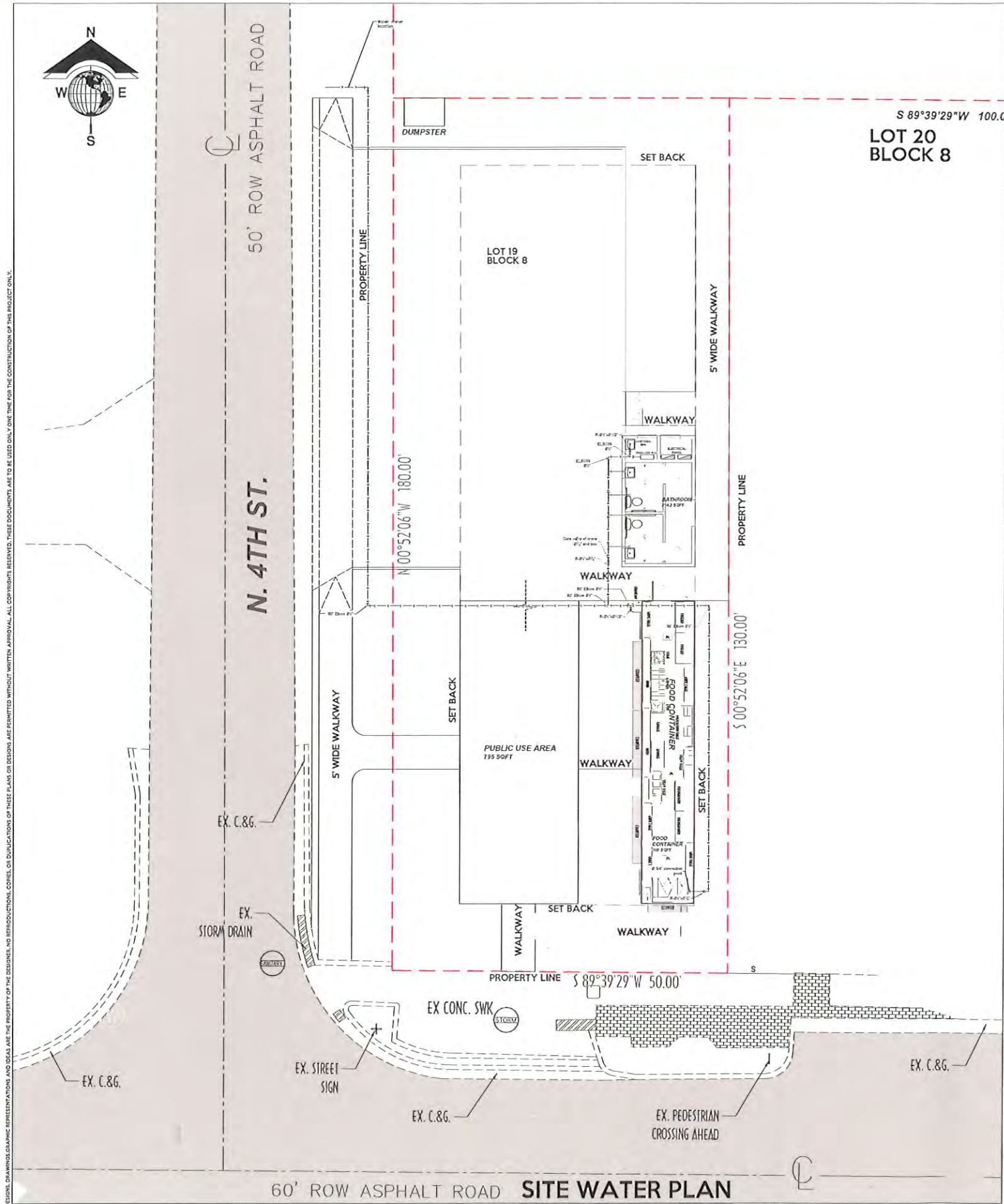
DOMESTIC WATER DEMAND GPD. (FBC SECT 604)			
IND. FIXTURES	QTY	GPM	GPM TOTAL
Lavatory, public	2	0.4	0.80
Water closet, flushometer tank	2	1.6	3.20
Sink, service	2	3.0	6.00
Drinking fountain	1	0.8	0.75
Lavatory, private, mixing valve	1	0.8	0.80
TOTAL GPM		-	11.55
TOTAL GPD = GPM X 1,440 (1 GPD = 1/440 GPM)			16,632
TOTAL CFD = GPD / 7.4805 (1 CF = 7.4805 GPD)			2,223
NOMINAL DIAMETER			5/8"

DOMESTIC WATER DEMAND GPD (FBC SECT 604)							
FEATURES/ITEMS	QUANTITY	LOCATION	WATER DEMAND	SEWER	MODEL	FLOW DEMAND	VOL/TAGE
LAVATORY	2	BATHROOM	1.78			NONE	NONE
SINK	2	KITCHEN	0.80			NONE	NONE
W.C.	2	BATHROOM	3.00			NONE	NONE
TANKLESS WATER HEATER	1	KITCHEN	424L		ES 4-96 WR	EDANP	100 AC
REFRIGERATOR	2	KITCHEN	NONE	NONE	ES18	6.64HP	NOVOLUME
REFRIG	2	KITCHEN	NONE	NONE	ES18	11.84HP	ES18VOLA
PREPARATION TABLE	2	KITCHEN	NONE	NONE	ES272	3.14HP	ES18VOLA
STEAK TABLE	1	KITCHEN	NONE				
WORK TABLE	8	KITCHEN	NONE	NONE		NONE	NONE
WATER PUMP	1	KITCHEN	3.5GPM	NONE	SEPA1033	1.04HP	ES1 YAC
GRIDDLE	2	KITCHEN					
HOOD	2	KITCHEN	NONE	NONE	200	2.8 HP	ES YAC
GRID	1	KITCHEN	NONE	NONE	FOOTMIN	1A	12VOLUME
STOVE	4	KITCHEN					
STOVE	1	KITCHEN					
POT FOOD TABLE	1	KITCHEN			ES16-2		220-242V
TANKLESS WATER HEATER	1	BATHROOM					
FOUNTAIN	1	KITCHEN				NONE	NONE
SERVICE SINK	1	BATHROOM				NONE	NONE

PLUMBING FIXTURE CONNECTION SCHEDULE					
FIXTURES/ ITEMS	WASTE	VENT	COLD WATER	HOT WATER	REMARKS/ SPEC
LAVATORY	2"	2"	1/2"	1/2"	COUNTER TOP, 1.5 GPM
SINK	2"	2"	1/2"	1/2"	
W.C.	2"	2"	3/4"		FLOOR MOUNTED TANK TYPE, 1.28 GPF
TANK-LESS W.H. (TUB-EN)			1/2"		
HAND WASHER	2"	2"	1/2"	1/2"	
TANK-LESS W.H. BATHROOM			3/4"		
FLOOR DRAIN	2"	2"			2" PLUMBING TRAP



PLUMBING NOTE:
1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:
2" OR SMALLER SHALL BE SLOPED AT 1/4" PER FT.
3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.



PROJECT
EL GRAN TACO LOCO

ADDRESS
**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION
NEW EATING AREA
PROJECT COORDINATOR
JOSE MENDOZA

PLANS PREPARED BY
**MORNING STAR DRAFTING
AND DESIGN, INC.**



ENGINEER OF RECORD:
P.E. LUIS BURGOS ROSADO



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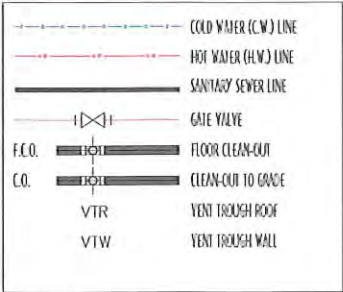
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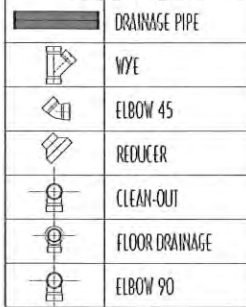
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SHEET
G7.1
UTILITY PLAN
WATER
SCALE: NTS

PLUMBING LEGEND:



LEGEND:



PLUMBING NOTE:

1- ALL SANITARY LINES SHALL BE SLOPED AS FOLLOWS:
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3" OR LARGER SHALL BE SLOPED AT 1/8" PER FT.

SEWER WATER DEMAND DFU. (FBC. SECT 710)			
BRANCH ID	1		
BRANCH TYPE & ID	IND. FIXTURES	DFU	GPM TOTAL
Lavatory	2	1.0	2.00
Water closet (greater than 1.6 gallons per flush)	2	2.0	4.00
Service Sink	1	2.0	2.00
Floor drain (b)	2	2.0	4.00
TOTAL DFU		12.00	
NOMINAL DIAMETER		2 1/2"	

SEWER WATER DEMAND DFU. (FBC. SECT 710)			
BRANCH ID	2		
BRANCH TYPE & ID	IND. FIXTURES	DFU	GPM TOTAL
Service Sink	1.00	2.0	2.00
Lavatory	1.00	1.0	1.00
Drinking fountain	1.00	0.5	0.50
TOTAL DFU		3.50	
NOMINAL DIAMETER		1 1/2"	

SEWER WATER DEMAND DFU. (FBC. SECT 710)			
TOTAL DISCHARGE INTO ONE BRANCH INTERVAL			
STACKS	BRANCH	TOTAL DFU	SIZE
1	-	12.0	2 1/2"
2	-	3.5	1 1/2"
3	-	-	1 1/2"
4	-	-	1 1/2"
TOTAL		16	
MAIN DIAMETER @ 1/4" ft Slope			2"

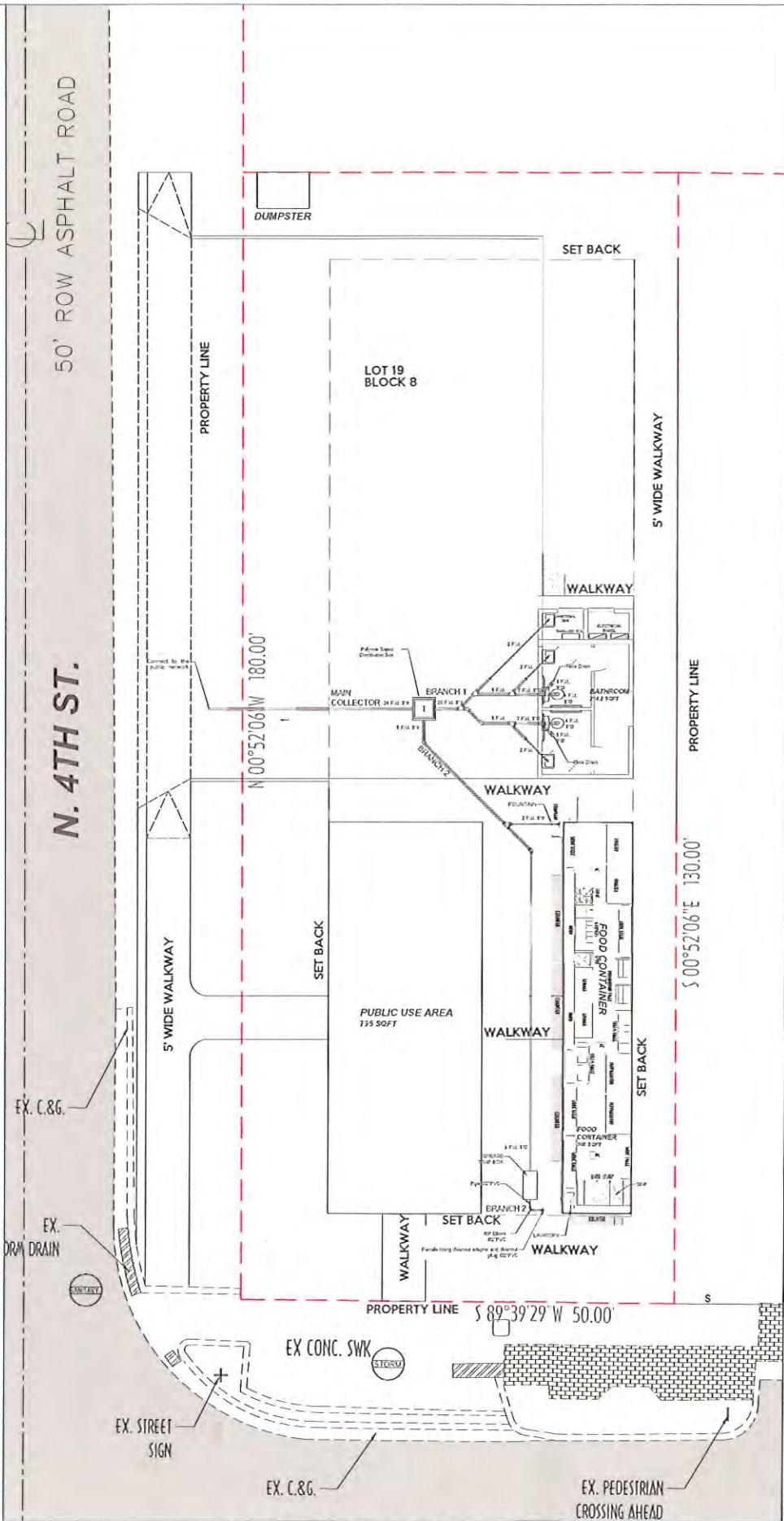
Description	QTY
# OF SEATS	44
WASTEWATER (GALLONS)	
-25 GAL w. DISHES OR w. DISHWASHER	10
-10 GAL PAPER BASKET & NO DISHWASHER	
# OF HOURS RESTAURANT IS OPEN	14
IF (LOADING FACTOR)	
2.0 INTERSTATE HIGHWAY	1.25
1.50 OTHERS FREEWAYS	
1.25 RECREATIONAL	
1.0 MAIN HIGHWAY	
0.75 OTHER HIGHWAY	
EFFECTIVE CAPACITY OF GREASE INTERCEPTOR GALLONS	641.67

GREASE TRAP INTERCEPTOR CALCULATION					
Per Florida Plumbing Code Section 1303.4, in accordance with FPI 610.1, Rev. 2017					
Sizing Method based on Pipe Diameter, Slope, Fixtures					
PIPE SIZE (IN)	MINIMUM SLOPE IN/FT	1 MIN MAX FLOW (GPM)			
3	0.25	75			
FIXTURES	1 MIN FLOW (GPM)	1 MIN FLOW (GPM)	GREASE CAPACITY NEEDED (LBS)	INTERCEPTOR SELECTION (LBS)	
SINK	22032	85.84	85.84	171.68	100

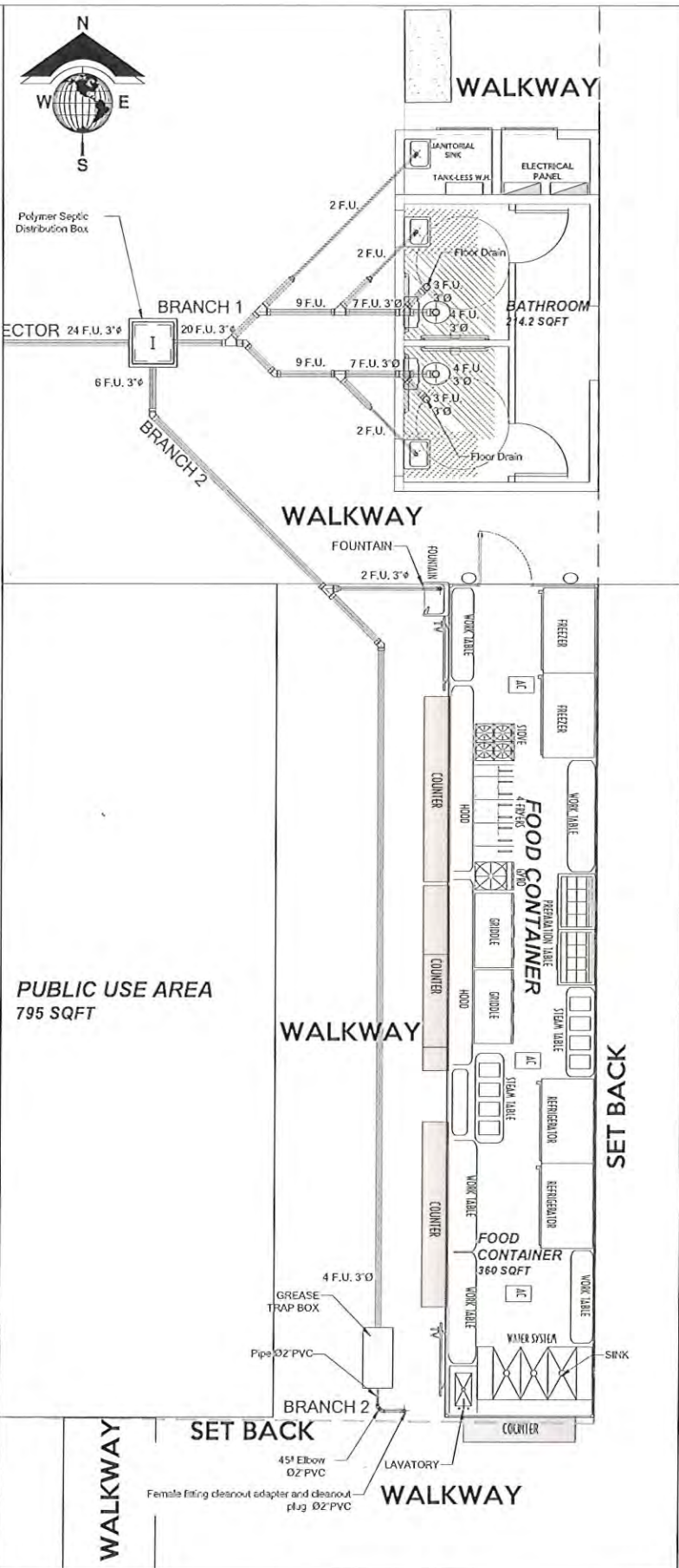
TABLE 1										
PDI Size Symbol	2	4	7	10	15	20	25	35	50	75
Flow Rate GPM	2	4	7	10	15	20	25	35	50	75
U/min	7.6	15.1	26.5	37.9	56.8	75.7	94.6	132.5	189.3	283.9
Grease Capacity Pounds	4	8	14	20	30	40	50	70	100	150
Kg	1.8	3.6	6.4	9.1	13.6	18.1	22.7	31.8	45.4	68.0

Note: When testing interceptors in excess of 100 GPM the PDI size shall be the Rated Flow and the grease capacity shall be twice the flow rate in pounds of grease.

RECOMMENDED DIMENSIONS		
WIDTH (FT)	4	
LENGTH (FT)	8	
LIQUID DEPTH MIN (IN)	48	
TOTAL VOLUME (GAL)	785.45	



SITE SEWER PLAN
SCALE : 1/8" = 1'-0



ENLARGED SITE SEWER PLAN
SCALE : 1/4" = 1'-0

PROJECT
EL GRAN TACO LOCO

ADDRESS
**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION
NEW EATING AREA
PROJECT COORDINATOR
JOSE MENDOZA

PLANS PREPARED BY
**MORNING STAR DRAFTING
AND DESIGN, INC.**



ENGINEER OF RECORD:
P.E. LUIS BURGOS ROSADO



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SHEET
G8.0
UTILITY PLAN
SEWER
SCALE: NTS

PROJECT
EL GRAN TACO LOCO
ADDRESS

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IMMOKALEE
FL 34142

PROJECT DESCRIPTION

NEW EATING AREA

PROJECT COORDINATOR

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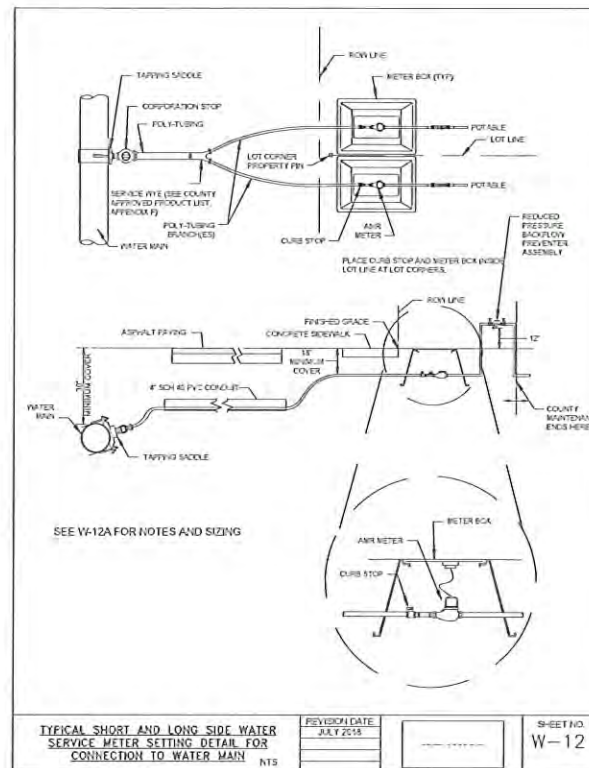
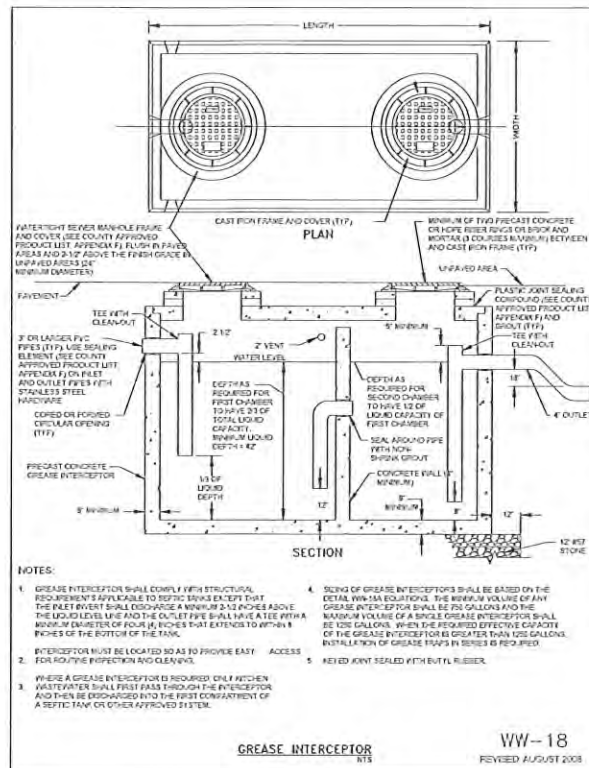
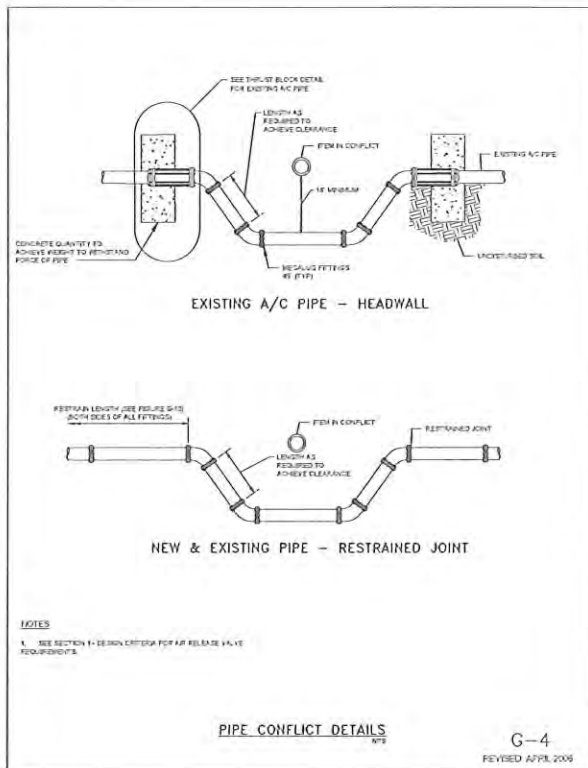
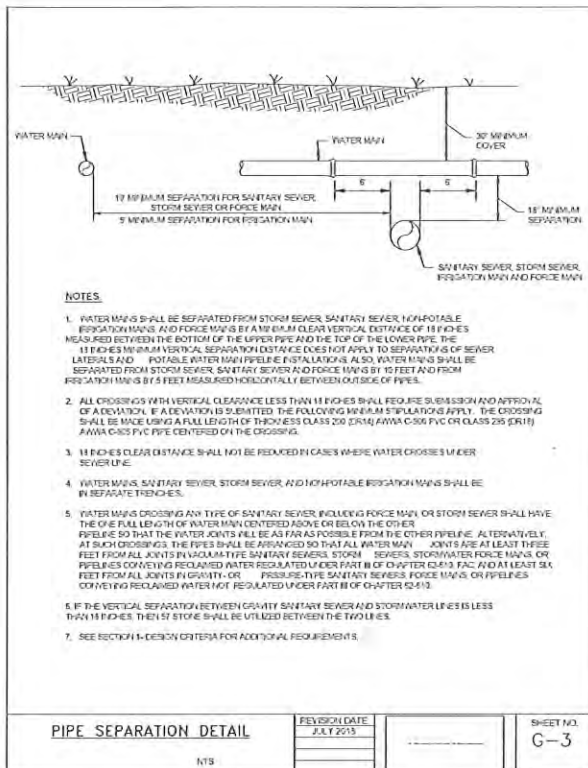
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SHEET
G9.0
UTILITY DETAILS

SCALE: NTS



SIZING FORMULA FOR RESTAURANTS, COUNTRY CLUBS AND ASSISTED LIVING FACILITIES	
$(S) \times (GS) \times (HR/12) \times (LF)$	= EFFECTIVE CAPACITY OF GREASE INTERCEPTOR IN GALLONS
WHERE:	
S =	NUMBER OF SEATS IN DINING AREA
GS =	GALLONS OF WASTE WATER PER SEAT (USE 25 GALLONS FOR RESTAURANTS WITH CHINA CASHES AND/OR AUTOMATIC DISHWASHER) (USE 10 GALLONS FOR RESTAURANTS WITH PAPER OR BASKETS AND NO DISHWASHER)
HR =	NUMBER OF HOURS RESTAURANT IS OPEN
LF =	LOADING FACTOR (USE 2.00 INTERSTATE HIGHWAY, 1.50 OTHER FREEWAYS, 1.25 RECREATIONAL AREA, 1.00 MAIN HIGHWAY, 0.75 OTHER HIGHWAY)

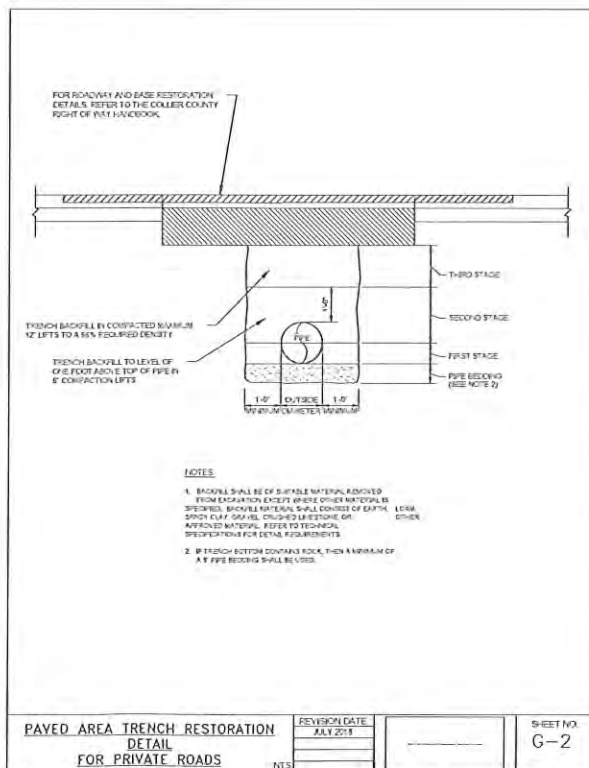
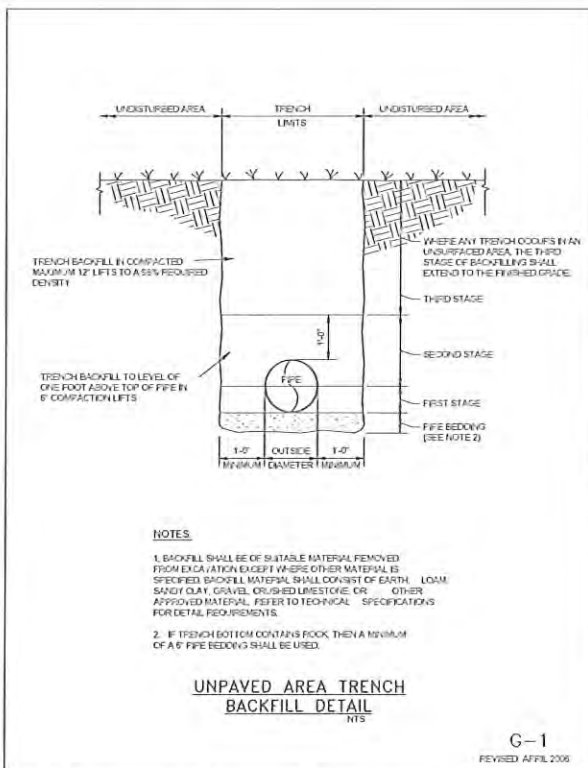
SIZING FORMULA FOR SCHOOLS AND OTHER ESTABLISHMENTS WITH COMMERCIAL KITCHENS (NO DISHWASHER)	
$(M) \times (GM) \times (LF)$	= EFFECTIVE CAPACITY OF GREASE INTERCEPTOR IN GALLONS
WHERE:	
M =	MEALS PREPARED PER DAY
GM =	GALLONS OF WASTE WATER PER MEAL (USE 5 GALLONS)
LF =	LOADING FACTOR (USE 1.00 WITH DISHWASHING MACHINE AND 0.75 WITHOUT DISHWASHING MACHINE)

NO COMMERCIAL DISHWASHER, NO CHINA OR DISPOSAL CHINA ONLY CAPACITY OF GREASE TRAPS	
TOTAL FLOW-THROUGH RATING (GPM)	GREASE RETENTION CAPACITY (GALLONS)
4	8
6	12
7	14
9	18
10	20
12	24
14	28
15	30
18	36
20	40
25	50
35	70
50	100

GREASE INTERCEPTOR TABLES
NTS

REVISION DATE: APRIL 2006

SHEET NO. WW-18A



SERVICE CONNECTION SIZING CHART				
SINGLE SERVICE	CONNECTION TO MAIN	DOUBLE SERVICE	CONNECTION TO MAIN	BRANCH SIZE
1/2" METER	1/2"	(2) 1/2" METERS	1/2"	1"
1" METER	1/2"	(2) 1" METERS	1/2"	1"
1 1/2" METER	1 1/2"			
2" METER	2"			

NOTES

1. 1/2" AND LARGER METERS SHALL BE SERVED BY SINGLE SERVICE LINES ONLY.
2. WHERE CONNECTIONS USE COUNTY APPROVED PRODUCT LIST, APPENDIX F SHALL BE USED FOR MULTIPLE SERVICE. SUCCESSIVE TAPS INTO WATER MAIN SHALL BE NO CLOSER THAN 24" APART.
3. ALL GASING PIPES SHALL EXTEND A MINIMUM OF 6" BEYOND THE EDGE OF PAVEMENT WITH A GASING DIAMETER TO BE NO LESS THAN 1/2". CONDUIT SHALL BE NOTED WITH AN ELECTRONIC TAPPING (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).
4. TAPPING SADDLE CONNECTION STOP POLYETHYLENE GLASS STOP AND METER SADDLE SHALL BE INSTALLED BY UNDERGROUND UTILITY CONTRACTOR AT THE TIME OF WATER MAIN INSTALLATION.
5. MATERIAL SPECIFICATIONS:
 - A. TAPPING SADDLES SHALL BE DOUBLE STIFF BRASS OR DUCTILE IRON (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).
 - B. COPPERATION STOPS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE BALL TYPE AND MADE OF RED BRASS. OUTLET SHALL BE COMPRESSION TYPE POLY-ETHYLENE TUBE. COMPRESSION HOIST SHALL BE STAINLESS STEEL.
 - C. CURB STOPS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE BALL TYPE AND MADE OF RED BRASS. INLET SHALL BE COMPRESSION JOINT. OUTLET SHALL BE SHOWN NOT FOR METER CONNECTION.
 - D. TUBING SHALL BE POLYETHYLENE, PE4710, (AWWA C-901, DR 9) AND BLUE IN COLOR.
 - E. ALL PLANTINGS SHALL BE A MINIMUM 3" FROM METER BOX AND SHALL PROVIDE A 3" ACCESS OPENING.
 - F. ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61 AND THE REDUCTION OF LEAD IN DRINKING WATER ACT ADDING THE SAFE DRINKING WATER ACT.

SERVICE CONNECTION SIZING CHART AND NOTES
NTS

REVISION DATE: JULY 2018

SHEET NO. W-12A

PROJECT
EL GRAN TACO LOCO

ADDRESS
**324 WEST MAIN ST.
IMMOKALEE
FL 34142**

PROJECT DESCRIPTION
NEW EATING AREA
PROJECT COORDINATOR
JOSE MENDOZA

PLANS PREPARED BY
**MORNING STAR DRAFTING
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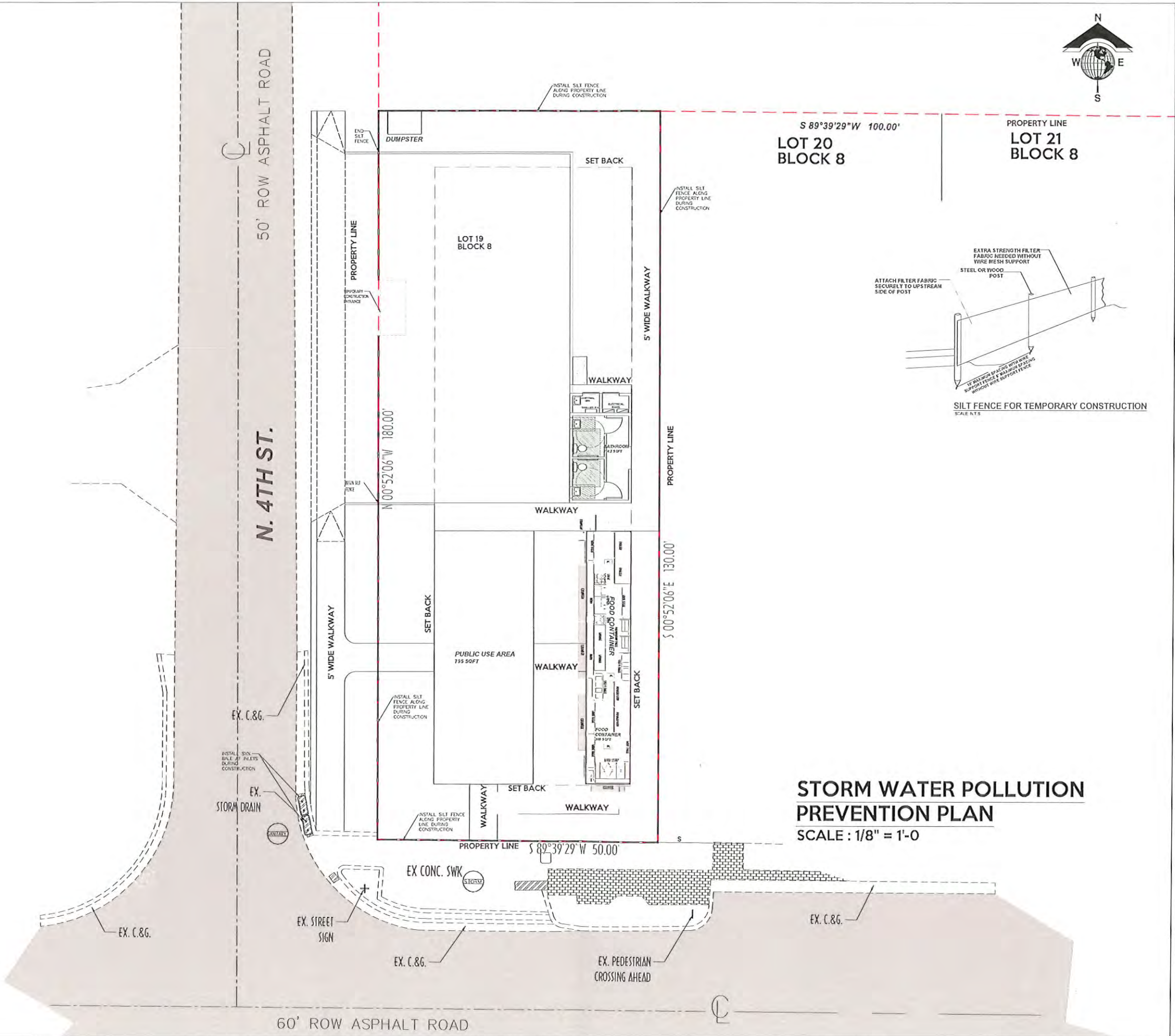
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SHEET
G10.0
SWPP.PLAN

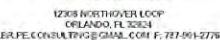
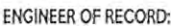
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IMMOKALEE
FL 34142

JOSE MENDOZA

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NOTES:

NOTES

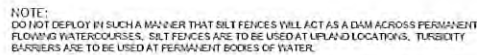
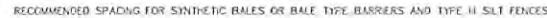
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SHEET
G11.0
S.W.P.P.P.
DETAILS

1. SILT FENCE SHALL BE PROPERLY INSTALLED AT THE PERIMETER OF THE LIMITS OF DISTURBANCE PRIOR TO CONSTRUCTION.
2. SYNTHETIC BALE OR BALE TYPE BARRIER AND SILT FENCE CHECK DAM BARRIERS SHALL BE INSTALLED AT 200' SPACINGS AT 20' INTERVALS AFTER SWALE CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
3. CLEANING AND GRUBBING DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
4. TOPSOIL STOCK PILES AND OTHER DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN (7) DAYS WILL BE STABILIZED WITH TEMPORARY VEGETATION AND REGRASSING WITHIN SEVEN (7) DAYS FROM THE DATE OF LAST CONSTRUCTION ACTIVITY AT THAT AREA.
5. PROPOSED SWALES ARE TO BE SOODED OR SEEDED IMMEDIATELY AFTER CONSTRUCTION PER THE APPROPRIATE GRASS SECTON.
6. ALL MATERIALS TO BE USED IN THE PROJECT SHALL BE LOADED INTO A LINED MATERIAL CONTAINER IN COMPLIANCE WITH LEE COUNTY SOLID WASTE STANDARDS. SAID CONTAINER WILL BE EMPLOYED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY.
7. ALL SOLID WASTE OR TOPSOIL STOCK PILES SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
8. THIS SITE IS TO BE SERVED BY PORTABLE SANITARY FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION WILL BE SERVED BY CONNECTION TO MUNICIPAL FACILITIES.
9. THE EFFECTIVENESS OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE CHECKED DAILY DURING CONSTRUCTION BY A DESIGNATED PERSONNEL. THE LATEST EDITION OF THE FLORIDA WATER QUALITY STANDARDS ARE NOT MET. CORRECTION TO THE PROBLEMS SHALL BE MADE AS SOON AS PRACTICAL.
10. ALL EXPOSED SOILS SHALL BE PROTECTED FROM DEPTH OF SEDIMENT, TEARS, TO PUNY, PROPER ATTACHMENT TO POSTS, AND TO EXPOSE POSTS ARE SECURELY PLACED.
11. ALL POLLUTION PREVENTION CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION AND OPERATED AT ALL TIMES IMMEDIATELY, BUT NOT LONGER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
12. BURIED SEDIMENT WILL BE REMOVED FROM SILT FENCING WHEN IT REACHES THE BOTTOM OF THE TRENCH TO THE FENCE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAZARDOUS MATERIAL SPILLS OR POLLUTANTS ON SITE. SAID SPILLS SHALL BE CLEANED UP AS SOON AS THEY OCCUR.
14. STORMWATER POLLUTION PREVENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THE PROJECT. A DETAILED POLLUTION PREVENTION PLAN (NOT SHOWN ON THE CONSTRUCTION PLANS) ARE NECESSARY TO MAINTAIN COMPLIANCE WITH STATE OF FLORIDA WATER QUALITY STANDARDS. SUCH CONTROLS SHALL BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED BY THE ENGINEER/CONTRACTOR OR A DESIGNATED REPRESENTATIVE. ALL TEMPORARY CONTROLS SHALL PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING THE UTILITY AND SURFACE WATERWAYS, DRAINAGE DITCHES, WETLANDS, WATERSHEDS, AND ADJACENT PROPERTY.
15. CONTRACTOR OR HIS AGENT WILL INFORM ALL SUBCONTRACTORS OF THE STORMWATER POLLUTION PREVENTION PLAN AS SHOWN ON THIS SHEET AND VERIFY THAT ALL SUBCONTRACTORS ARE AWARE OF THE PLAN.
16. ALL CONSTRUCTION ENTRANCES SHOULD BE CLEAR OF ALL VEGETATION, ROOTS, AND OTHER OBSTRUCTIVE MATERIAL. A GEOTEXTILE SHOULD BE Laid DOWN TO IMPROVE EROSION AND SHIELD THE ENTRANCE. THE ENTRANCE SHALL BE A MINIMUM OF THE GEOTEXTILE A MINIMUM OF 12" THICK.
17. ALL BASE AREAS WILL BE SOODED AS SOON AS PRACTICAL. HOWEVER, UNTIL PLACING SOIL OR SEED ARE IN PLACE, THE CONTRACTOR SHALL CONDUCT AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
2. THE CONTRACTOR SHALL SUPPLEMENT THIS PLAN AS MAY BE REQUIRED TO CONTROL AND REDUCE SOIL EROSION BASED ON THE CONTRACTOR'S MEANS, METHODS AND TECHNIQUE OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO FILE A NOTICE OF FILING WITH THE EPA AND COLLIER COUNTY DEVELOPMENT SERVICE DIVISION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT COLLIER COUNTY IF/WHEN STORED WATER REVIEWER PRIOR TO ANY DRAINAGING OPERATIONS.
4. ALL PROPOSED AND EXISTING INLETS SUBJECT TO SEDIMENTATION SHALL BE COVER WITH FILTER FABRIC (HELD IN PLACE BY THE GRATE).
5. THERE ARE NO APPARENT CONTRIBUTING TO UPSTREAM FLOWS FROM ADJACENT PROPERTIES, AND DURING CONSTRUCTION SURROUNDING FLOWS PATTERNS MUST BE MAINTAINED.

NOTE: THESE DETAILS REPRESENT THE CURRENT BEST MANAGEMENT PRACTICES FOR SOIL EROSION CONTROL. THEY MAY NOT SATISFY ALL REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND/OR SPECIFIC PERMIT CONDITIONS.



TYPE 3

PLAN

FLOW SWALE

50 CM CENTER (TYP.)

AS REQUIRED

ELEVATION

1' MIN. RECOMMENDED

NATURAL GROUND

FILL SLOPE

OVERLAP ENDS

TYPE 3

PLAN

6' MIN.

FILL SLOPE

ELEVATION

TO BE USED WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

TO BE USED WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

The drawing consists of two parts: ELEVATION and SECTION.

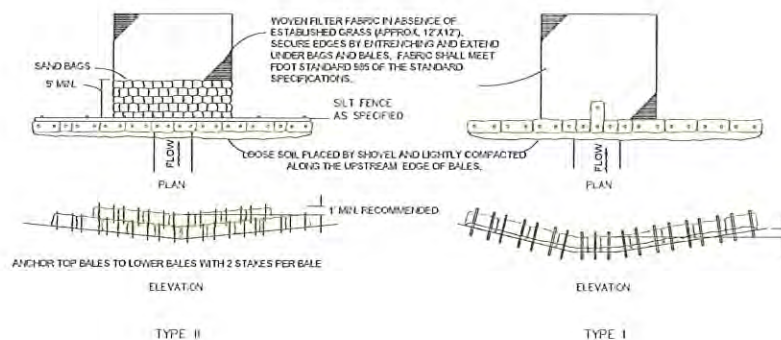
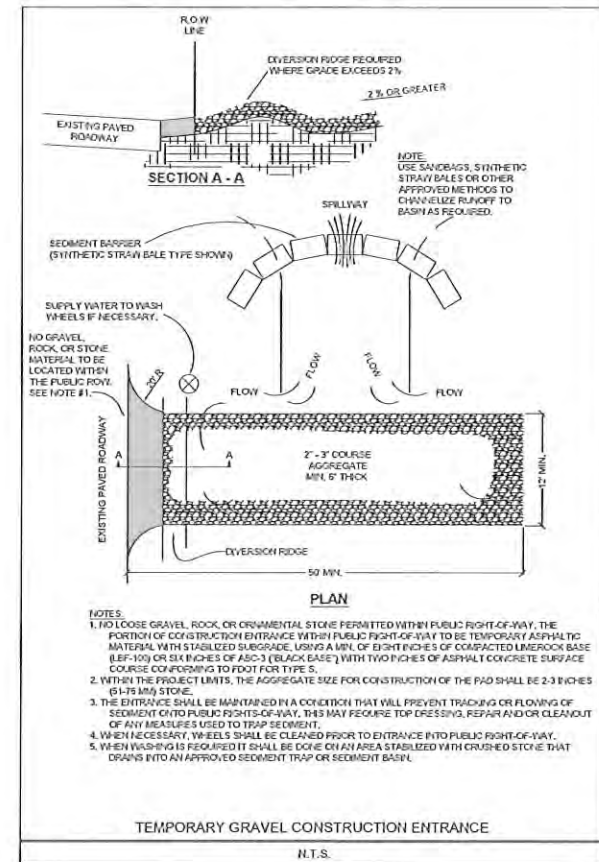
ELEVATION: Shows a side view of the silt fence. It features two vertical posts. The distance between the posts is labeled "6 MAX.". The fence material is labeled "FILTER FABRIC (IN CONFORMANCE WITH SEC. 505 FOOT SPEC.)". On the left, there are dimensions for the fence height: "5' OR MORE", "12' MIN.", "6'", and "15' TO 18'". Above the fence, there are labels for "POST OPTIONS: SCOTCHWOOD 2" DIA. SOFTWOOD 2" x 4" HX50'XWOOD 1 1/2" x 2 1/2" STEEL 1.33 LBS/FT.". Below the fence, there is a label "6 MAX." indicating the maximum length of the fence section.

SECTION: Shows a cross-section of the silt fence. It features a vertical post and a filter fabric bag. The filter fabric is labeled "FILTER FABRIC (IN CONFORMANCE WITH SEC. 505 FOOT SPEC.)". The post is labeled "Principal Post Position (Carried 20' Toward Flow)". The filter fabric is shown at an angle, labeled "20°". The filter fabric is labeled "FILTER FABRIC". The flow direction is indicated by an arrow labeled "SILT FLOW".

TYPE III SILT FENCE

N.T.S.

**STORM WATER POLLUTION
PREVENTION PLAN DETAILS**
SCALE : NTS



NOTES

1. TYPE I AND II SYNTHETIC BARRIER SHOULD BE SPACED IN ACCORDANCE CHART I, SHEET 1 OF 3, F.D.O.T. STANDARD INDEX NO. 102.
2. RAILS AND POSTS SHALL BE 2" X 4" WOOD, OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
3. WHEN USED IN CONNECTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

The diagrams show the progression of a trenchless sewer repair:

- PARTIAL INLET:** Shows a cross-section of a trench with a 'PROPOSED INLET' at the top, a 'TEMP. DRAIN' on the left, and 'ROCK BAGS' at the bottom. A 'CLIPS & GUTTER' is shown on the right side of the trench.
- COMPLETED INLET:** Shows the same cross-section with the 'SIDEWALK' on the right, 'ROCK BAGS' at the bottom, and the 'CLIPS & GUTTER' now in place.
- DITCH BOTTOM INLET:** Shows a top-down view of the trench with 'DITCH' labels on the left and right sides, and a central square area representing the 'DITCH BOTTOM INLET'.

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

ADDRESS

324 WEST MAIN ST.
IMMOKALEE
FL 34142

PROJECT DESCRIPTION

NEW EATING AREA

PROJECT COORDINATOR

JOSE MENDOZA

PLANS PREPARED BY

MORNING STAR DRAFTING
AND DESIGN, INC.



ENGINEER OF RECORD:

P.E. LUIS BURGOS ROSADO



12308 NORTHOVER LOOP
ORLANDO, FL 32824
LEI.PE.CONSULTING@GMAIL.COM P: 787-591-2728

LUIS JOSE BURGOS ROSADO, FE - RL # 92724

ELECTRONIC SIGN & SEAL AREA

Digitally signed
by Luis J
Burgos Rosado
Reason: I am
approving this
document.
Date:
2025.05.24
17:48:05-04'00'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY
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REVISION		BY

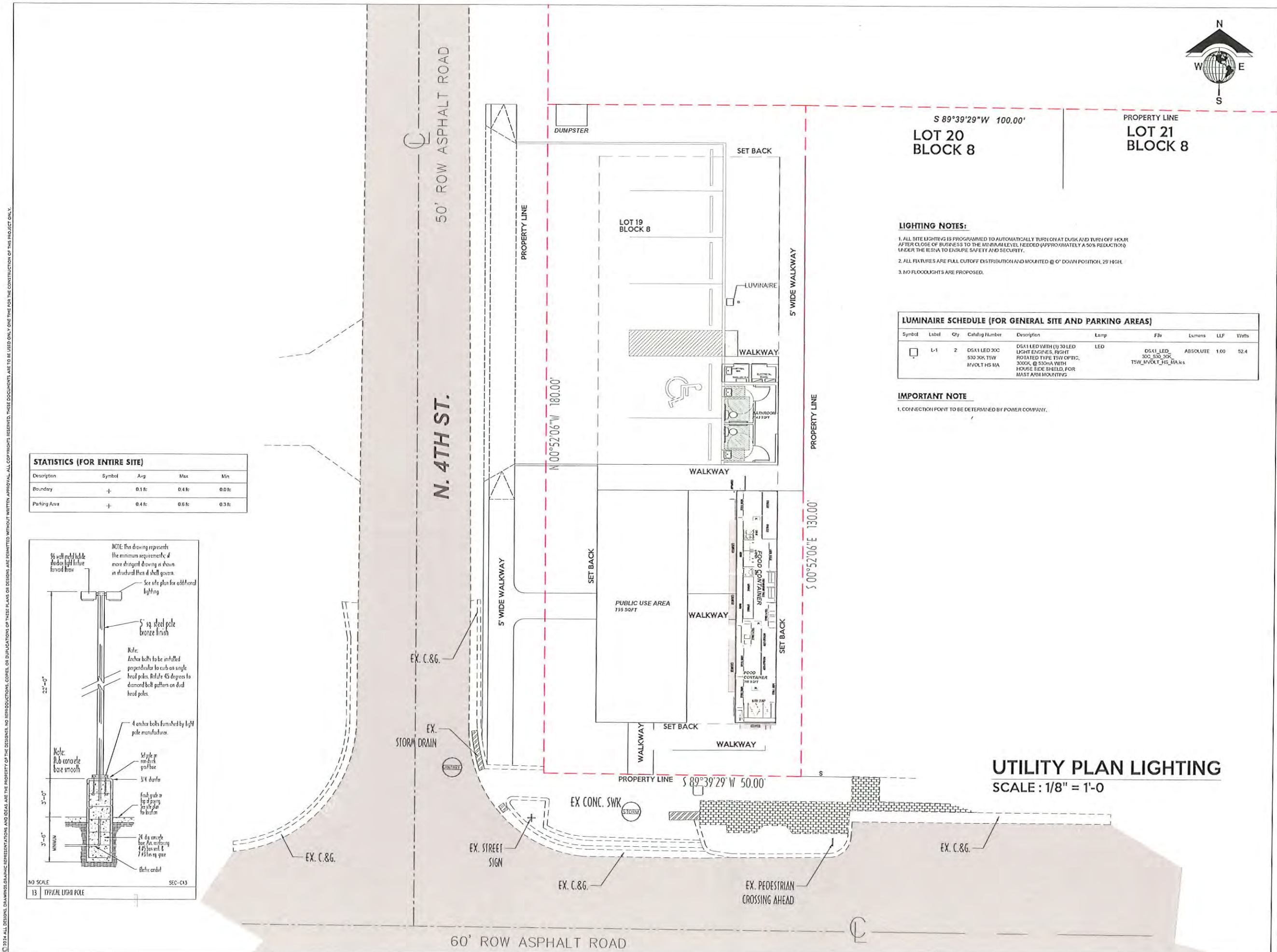
DATE: November 21, 2024

DRAWN BY: JOSE MENDOZA

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SHEET
G12.0
UTILITY PLAN
LIGHTING
SCALE: NTS



ADDRESS

324 WEST MAIN ST.
IMMOKALEE
FL 34142

PROJECT DESCRIPTION

NEW EATING AREA

PROJECT COORDINATOR

JOSE MENDOZA

PLANS PREPARED BY

MORNING STAR DRAFTING
AND DESIGN, INC.



ENGINEER OF RECORD:

P.E. LUIS BURGOS ROSADO



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LEB.PE.CONSULTING@GMAIL.COM F: 732.901.2725

LESLIE CONSULTING@GMAIL.COM F: 733-991-2728

LUIZ JOSE BURGOS ROSADO, PE - FL # 57724

ELECTRONIC SIGN & SEAL AREA

Digitally signed
by Luis J
Burgos Rosado
Reason: I am
approving this
document.

Date:
2025.05.24
17:48:05-04'00'

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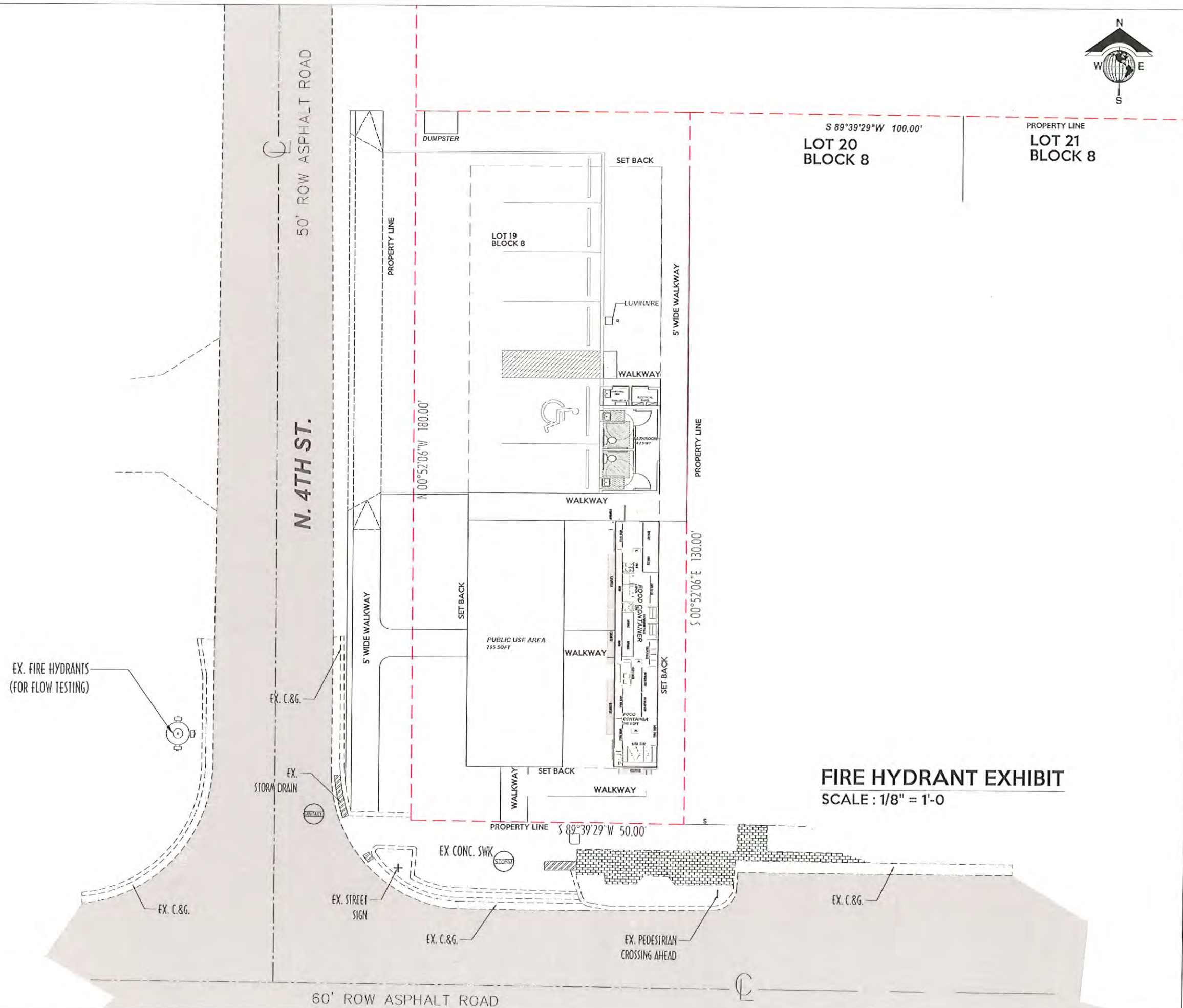
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SHEET

G13.0

FIRE HYDRANT EXHIBIT



SHEET
G14.0
PROPOSED
LANDSCAPE PLAN
SCALE: INDICATED

A&M PROPERTY MAINTENANCE, LLC
Immokalee MSTU- Landscape Maintenance (#23-8084)

Month of: December 2025

Week Ending

WORK AREA 1: State Highway 29 (Main Street) between Hancock Street and 13th Street.		12/6/2025	12/13/2025	12/20/2025	12/27/2025	1/3/2026
Item	Description					
1	Pre-Service Cleaning	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
2	Mowing & Edging - Multiple Medians	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
3	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
4	Weeding - Medians - Hand & Chemical	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
5	General Site Trimming & Pruning - Medians	12/6/2025	n/a	n/a	n/a	n/a
6	Post-Service Cleaning - All Areas	12/4/2025	12/11/2025	12/18/2025	12/25/2025	n/a
7	Post-Service Cleaning - Bulbout Gutter Channel Drains Pressured Wash	n/a	12/11/2025	n/a	n/a	n/a
8	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
9	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
10	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
11	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
12	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
13	Irrigation System Inspection & Wet-Check	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
WORK AREA 2: County Road 846 (S 1st Street) between State Highway 29 and Carver Street, including the Welcome Sign area (S 1st Street/Eustis Avenue) and the "Triangle Area" (median and ROW sides at the intersection of State Highway 29, New Market Road and Westclox Road; including the Welcome Sign area).		12/6/2025	12/13/2025	12/20/2025	12/27/2025	1/3/2026
Item	Description					
14	Pre-Service Cleaning	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
15	Mowing & Edging - Multiple Medians	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
16	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
17	Weeding - Medians - Hand & Chemical	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
18	General Site Trimming & Pruning -	12/3/2025	n/a	n/a	n/a	n/a
19	Post-Service Cleaning - All Areas	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
20	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
21	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
22	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
23	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
24	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
25	Irrigation System Inspection & Wet-Check	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
WORK AREA 3: One (1) proposed Welcome Sign on State Highway 29 at the Farm Worker's Village containing approximately 384 square feet.		12/6/2025	12/13/2025	12/20/2025	12/27/2025	1/3/2026
Item	Description					
26	Pre-Service Cleaning	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
27	Mowing & Edging - (No Medians)	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
28	Mowing & Edging - North Side ROW, (1) Commercial Mower Pass	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
29	Weeding - Hand & Chemical	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
30	General Site Trimming & Pruning	12/6/2025	n/a	n/a	n/a	n/a
31	Post-Service Cleaning - All Areas	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
32	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
33	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
34	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
35	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
36	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
37	Irrigation System Inspection & Wet-Check	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
WORK AREA 4: One historical cemetery on State Highway 29 at 815 West Main St.		12/6/2025	12/13/2025	12/20/2025	12/27/2025	1/3/2026
Item	Description					
38	Pre-Service Cleaning	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
39	Mowing & Edging - (No Medians)	12/3/2025	n/a	12/17/2025	n/a	12/31/2025
40	Weeding - Hand & Chemical	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
41	General Site Trimming & Pruning	12/6/2025	n/a	n/a	n/a	n/a
42	Post-Service Cleaning - All Areas	12/3/2025	12/10/2025	12/17/2025	12/24/2025	12/31/2025
43	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
44	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
45	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
46	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
47	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
48	Irrigation System Inspection & Wet-Check	n/a	n/a	n/a	n/a	n/a
M. ADDITIONAL SERVICES FOR WORK AREAS		12/6/2025	12/13/2025	12/20/2025	12/27/2025	1/3/2026
Item	Description					
78	Brick Pavers & Stamped Concrete	12/6/2025	n/a	n/a	n/a	n/a
79	Sidewalks	12/6/2025	n/a	n/a	n/a	n/a
80	Sign Faces ***	12/6/2025	n/a	n/a	n/a	n/a

A&M PROPERTY MAINTENANCE, LLC
Immokalee MSTU- Landscape Maintenance (#23-8084)

Month of: October 2025

WORK AREA 1: State Highway 29 (Main Street) between Hancock Street and 13th Street.						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
1	Pre-Service Cleaning	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
2	Mowing & Edging - Multiple Medians	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
3	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
4	Weeding - Medians - Hand & Chemical	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
5	General Site Trimming & Pruning - Medians	10/4/2025	n/a	n/a	n/a	n/a
6	Post-Service Cleaning - All Areas	10/2/2025	10/9/2025	10/16/2025	10/23/2025	10/30/2025
7	Post-Service Cleaning - Bulbout Gutter Channel Drains Pressured Wash	n/a	10/9/2025	n/a	n/a	n/a
8	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
9	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
10	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
11	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
12	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
13	Irrigation System Inspection & Wet-Check	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
WORK AREA 2: County Road 846 (S 1st Street) between State Highway 29 and Carver Street, including the Welcome Sign area (S 1st Street/Eustis Avenue) and the "Triangle Area" (median and ROW sides at the intersection of State Highway 29, New Market Road and Westclox Road; including the Welcome Sign area).						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
14	Pre-Service Cleaning	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
15	Mowing & Edging - Multiple Medians	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
16	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
17	Weeding - Medians - Hand & Chemical	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
18	General Site Trimming & Pruning	10/4/2025	n/a	n/a	n/a	n/a
19	Post-Service Cleaning - All Areas	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
20	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
21	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
22	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
23	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
24	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
25	Irrigation System Inspection & Wet-Check	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
WORK AREA 3: One (1) proposed Welcome Sign on State Highway 29 at the Farm Worker's Village containing approximately 384 square feet.						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
26	Pre-Service Cleaning	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
27	Mowing & Edging - (No Medians)	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
28	Mowing & Edging - North Side ROW, (1) Commercial Mower Pass (Biweekly)	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
29	Weeding - Hand & Chemical	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
30	General Site Trimming & Pruning (Biweekly)	10/4/2025	n/a	n/a	n/a	n/a
31	Post-Service Cleaning - All Areas	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
32	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
33	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
34	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
35	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
36	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
37	Irrigation System Inspection & Wet-Check	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
WORK AREA 4: One historical cemetery on State Highway 29 at 815 West Main St.						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
38	Pre-Service Cleaning	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
39	Mowing & Edging - (No Medians)	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
40	Weeding - Hand & Chemical	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
41	General Site Trimming & Pruning	10/4/2025	n/a	n/a	n/a	n/a
42	Post-Service Cleaning - All Areas	10/1/2025	10/8/2025	10/15/2025	10/22/2025	10/29/2025
43	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
44	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
45	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
46	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
47	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
48	Irrigation System Inspection & Wet-Check	n/a	n/a	n/a	n/a	n/a
INCIDENTAL WORK COMPLETED & SUBMITTED FOR PAYMENT		APPROVED ESTIMATES- IN PROGRESS				
INV# IMMINC - 200 EST# 1713 - Immokalee MSTU Roadway Landscape- \$600.00 INV# IMMINC - Z - 002 EST# 1714 - Zocalo - Tree Trimming - \$2,800.00		EST#1712 - Zocalo Park - Christmas - \$1,720.00 EST#1715 - Immokalee MSTU Roadway Landscape/Monument - \$212.80				
		ESTIMATES PENDING APPROVAL				

November 2025 Development Update

Item K.2

Please Note: Projects with *and highlight have been updated since the last report
Yellow highlight indicates old project with recent activity; **Blue highlight** indicates new project;
Red highlight indicates Live Local project

Zoning Petitions

1. Iglesia Herederos De Dios Inc. (CU): PL20250012195*

Location: Parcel ID #00057480000 (south side of Lake Trafford Rd)
 Current Zoning: A-MHO
 Owner: Iglesia Herederos De Dios Inc
 Status: Pre app meeting scheduled for 11/19/2025.

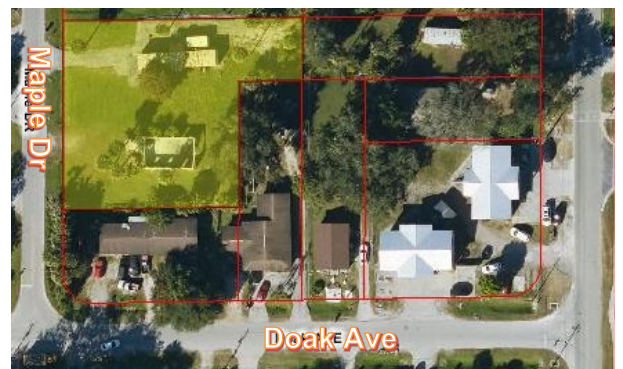
Request for conditional use to allow a 123-seat church in the Agricultural Zoning district. Building is proposed to be 7,500 square feet.



2. Lilly Bass Church of God (AVA): PL20250012152*

Location: 626 Maple Drive
 Current Zoning: VR with ST/W-1 Wellfield Protection and Airport Overlays
 Owner: Lilly Bass Church of God in Unity Inc.
 Status: Initial applicant submittal on 10/17/2025.

This project has a conditional use approved under PL20230004316 to allow a church in the RMF-6 zoning district. An administrative fence/wall waiver is requested for relief from the requirement to build a 6-foot tall masonry wall along with the required landscape buffer where the site borders residences. They would like to build a church that is integrated and welcoming to the neighborhood rather than being closed off with a perimeter wall.



3. Firehouse Doggie Daycare & Boarding (CUD): PL20250012003*

Location: 502 New Market Rd E
 Current Zoning: Industrial with ST/W-1 & W-2 Wellfield Protection and Airport Overlays
 Owner: GRAFIAS USA INC
 Status: Pre application meeting scheduled for 11/12/2025.

Comparable Use Determination request for open range and caged Dog Daycare and Boarding with certified pet care specialists, and a 300 sq.ft. specialty pet store providing specialty dog supplies in the Industrial (I) zoning district.



502 New Market RD E (ZLTR): PL20250008900

Status: Applicant submitted request on 8/7/2025. Zoning

Verification letter issued on 9/22/2025.

Request to verify if a Doggie Day Care & Boarding Facility is a permitted use. Staff advised the proposed animal specialty services are not explicitly permitted in the Industrial (I) district. Staff added that the Board of County Commissioners may consider allowing the Comparable Use Determination (CUD) process to apply to (I) zoned property in Nov or Dec; this would be a path forward to request the use as comparable to other permitted uses in the (I) district.

4. 3206 Lake Trafford Rd (CUD): PL20250011804*

Location: 3206 Lake Trafford Road

Current Zoning: RCMA Immokalee MPUD with ST/W-1, W-2, W-3 & W-4 Wellfield Protection Overlay

Owner: Redlands Christian Migrant Association, Inc. Status:

Initial applicant submittal on 10/9/2025. Applicant submitted additional information on 10/20/2025.

The Immokalee Fire District seeks a comparable use determination to allow a public safety facility.



RCMA Immokalee MPUD (SAP): PL20250010218

Status: Initial applicant submittal on 9/9/2025. Application canceled as of 10/13/2025.

Request for Preliminary Acceptance for three (3) lake excavations known as "Lake 1," "Lake 2," and "Lake 3" part of the stormwater system, providing water quality and attenuation.

RCMA Immokalee MPUD (SDPI): PL20250007305

Status: First applicant submittal on 6/24/25. Staff issued first comment letter on 7/28/2025. Staff issued SDPI approval letter on 8/28/2025.

Insubstantial change to revise playground fencing for the pre-school and landscape modifications.

Redlands Christian Migrant Association (RCMA) Childcare Development Center and Community Hub (SDP): PL20210001073

Status: SDP approved 12/20/2022.

The proposed RCMA childcare center and community hub consists of childcare classrooms, area office, and playground. The development will accommodate 234 children and 30 employees. Approximately 8 acres are designated for housing.

Q. Grady Minor presented updated plans for the RCMA Immokalee MPUD (PL20200001827) at the CRA June 16, 2021, Board Meeting. The PUD rezoning was approved for the 62-acre project on 10/26/2021 by Ord. 2021-38. RCMA is reviewing partnership options for the development of the recreational fields with Collier County. Construction started in March 2023 and Lipman Family Farms, a long-time supporter of RCMA, made a \$3 million donation to the organization; the largest donation Lipman has ever made to any one organization. The ground-breaking for the new campus was held on May 25, 2023. When completed, the \$16.4 million campus will feature two new child development centers, a community center, two soccer fields and a new charter school.



5. 1244 ARDEN AVE (LS): PL20250008106

Location: 1244 Arden Ave

Current Zoning: RSF-4 and Airport Overlay

Owner: Araceli Garcia and Erika Pacheco Franco

Status: Initial applicant submittal on 7/16/2025. Staff issued a comment letter on 8/5/2025. Second applicant submittal on 8/9/2025. Staff issued second comment letter on 8/25/2025.

Request for a lot split to turn a +/- 1 acre lot into two +/- 0.5 acre lots.



6. Immokalee Community Campus (PUDZ) (Catholic Charities): PL20240000390

Location: 909 and 917 W. Main Street, and 107 S. 9th Street

Current Zoning: C-4 MSOSD & RMF-6 with ST/W-3 & W-4 Wellfield Protection and Airport Overlays

Owner: Catholic Charities Diocese of Venice Inc.

Status: First applicant submittal on 5/20/2024. Staff issued first comment letter on 6/27/2024. NIM held on 11/18/2024. Second applicant submittal on 12/4/2024. Staff issued second comment letter on 1/10/2025. Consultant Bowman presented at CRA Board meeting on 3/19/2025. Third applicant submittal on 4/28/2025. Staff issued third comment letter on 6/3/2025.

Rezone from C-4 – MSOSD Overlay and RMF-6 to a Mixed Use Planned Development (MPUD) to allow 100 multifamily dwelling units (± 14 dwelling units per acre); and up to 91,300 square feet of gross floor area of limited C-4 Commercial Intermediate District uses. As part of the 91,300 square feet of commercial uses, the MPUD shall include a community center a minimum of 28,000 square feet in size; a medical clinic and associated medical uses a minimum of 25,000 square feet; and retail/commercial uses a minimum of 10,300 square feet. At the March 19th meeting, the CRA board unanimously voted to support the project, contingent on compliance with all applicable County regulations. This project directly supports a key objective of the Immokalee Community Redevelopment Area Plan—providing decent, safe housing and vital community services. The proposed development will strengthen Immokalee's housing stock while introducing essential services and economic opportunities that enhance quality of life.



Development Review Petitions

7. 7 Eleven #41287 Immokalee (SDPI): PL20250012050*

Location: 920 W Main St
Current Zoning: CPUD- MSOSD with ST/W-3 Wellfield Protection and Airport Overlays
Owner: CJC RESPONSIVE LLC
Status: Initial applicant submittal on 10/16/2025.

The PUD for the 7 Eleven gas station was approved under Ordinance 2021-22 (PL20200000756) and included 2 commitments related to stormwater. It was determined in PUD monitoring that Commitment B: All stormwater inlets must include the installation and maintenance of a hooded outfall to prevent petroleum hydrocarbons from entering the stormwater management system, was not addressed during site development permitting. Applicant is proposing filter inserts to be inserted to existing inlets in order to meet the intent of Commitment B.



8. ALDI - #0751 Renovation (SDPI): PL20250011750*

Location: 1602 Lake Trafford Rd
Current Zoning: C-3 & C-4 SR29COSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Royal Consolidated Props Inc.
Status: Initial applicant submittal on 10/08/2025 incomplete, missing architectural plans to complete submittal. Applicant submitted architectural plans on 10/31/2025.

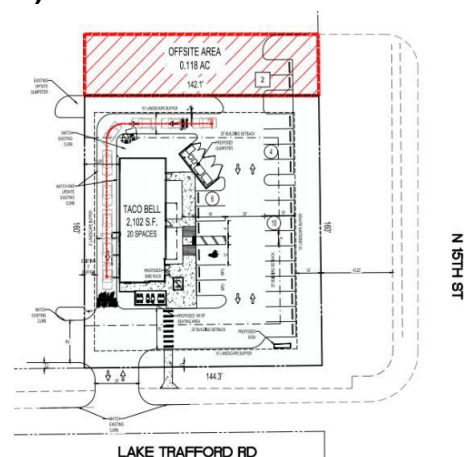
Request for an Insubstantial Change to improve the existing Winn Dixie with updated façade, painting and signage.



9. Taco Bell – Immokalee SR 29 & Lake Trafford Rd (SDP): PL20250005501

Location: 1101 N 15th St./SR 29 (existing Wendy's at northwest corner SR 29 and Lake Trafford Road) Current Zoning: C-4-SR29COSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Royal Consolidated Props Inc.
Status: Pre-app meeting held on 5/27/2025.

Site Development Plan to construct a 2,102-square foot Taco Bell to replace the existing Wendy's. Water & Sewer services to be reused and stormwater to be modified as necessary to accommodate the modified parking lot and improved drive through queue. The property is owned by the larger shopping center and the offsite area may be a part of the land lease to allow for an expansion of the drive through.



10. El Gran Taco Loco (SDP): PL20230008826

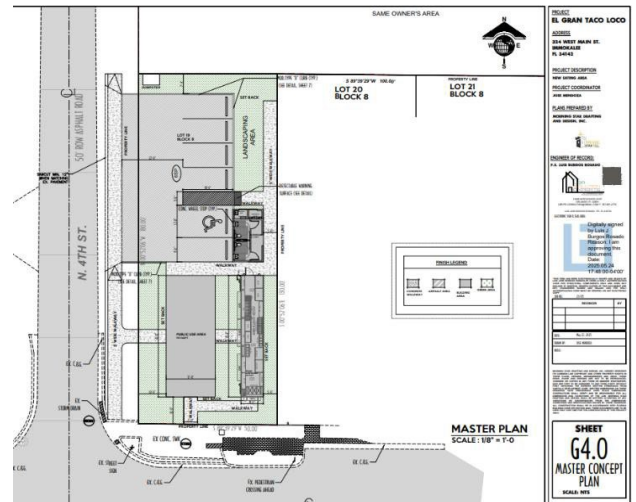
Location: 324 W Main St (northeast corner of Main St & North 4th Street)

Current Zoning: C-4-MSOSD and Airport Overlay

Owner: Mauricio Martinez

Status: Pre-app held on 6/1/2023. Initial applicant submittal on 9/13/2024. Staff issued an incomplete letter on 9/19/2024. Applicant submitted additional documents through 7/08/2025. Staff issued first comment letter on 8/7/2025.

Request to develop a food truck/container with 795-square foot building, bathrooms, and 6 parking spaces.



11. Mendoza Housing (SDP): PL20250010328

Location: North Side of Curry Rd (00072480108)

Current Zoning: VR with ST/W-2 Wellfield Protection Overlay

Owner: Florentino Mendoza

Status: Pre-application meeting held on 9/25/2025.

Request for the construction of a two-story multifamily residential building. The proposed project will be developed in two phases and will include a total of 40 units, along with supporting infrastructure such as a parking lot, drainage system, landscaping, and lighting on 10 acres.



12. Immokalee Recycle Drop-Off Center, Scale House, and Control Center (SDPA): PL20250010841

Location: 700 Stockade Rd

Current Zoning: A-MHO and Airport Overlay

Owner: Collier County

Status: Pre-app meeting held on 10/8/2025.

Collier County Solid Waste Department is applying to develop a new 15,000 sq. ft. public recycle drop-off facility, scale house, and control center at the Immokalee Transfer Station.



13. Silver Strand Mine (SDP): PL20250006127

Location: 1990 Camp Keais Rd
Current Zoning: A-MHO-Rural Lands
Stewardship Area Overlay (RLSAO)
Owner: Silver Strand III Partnership
Status: Pre app meeting held on 6/24/2025.

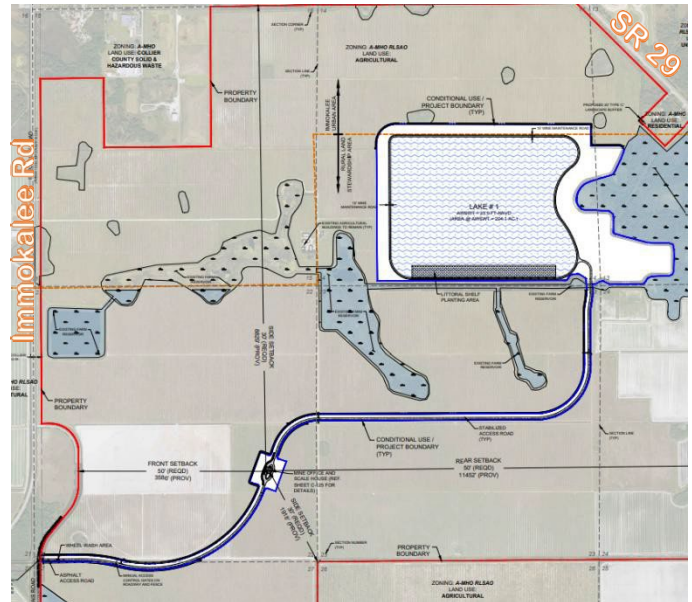
Request for a Site Development Plan for a new mine located between Immokalee Rd and SR 29.

Silver Strand Mine Variance (VA): PL20230001067

Status: Planning Commission recommended approval at its 10/2/2025 meeting. Board of County Commissioners acting as the Board of Zoning Appeals will make final decision at the 12/9/2025 BCC meeting.

The applicant is requesting a variance for the proposed mine's landscape design, specifically to:

- Eliminate landscape buffers except where the site borders residential properties.
- Allow no paving beyond the tire wash area.
- Waive the requirement for foundation plantings around the scale house/office.
- Remove the requirement for a 7-foot-tall fence or equivalent landscaping around outdoor storage areas.



Silver Strand III (CU): PL20220001634 companion to Silver Strand Mine (EX): PL20230018067

Status: Planning Commission recommended approval at its 10/2/2025 meeting. Board of County Commissioners acting as the Board of Zoning Appeals will make final decision at the 12/9/2025 BCC meeting.

Applicant seeks conditional use approval for a commercial excavation operation on 3,938 acres.

14. Jiron Market (SIPI): PL20250008975

Location: 180 Boston Ave (El Lucero Bar)
Current Zoning: C-4-MSOSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Jiron, Magguel Hevert Sebastian Jiron
Status: First applicant submittal on 8/08/2025. Staff issued incomplete submittal letter on 8/20/2025.

Request for an insubstantial change to reflect use of existing building as business instead of assembly, build a fence as a buffer on rear parking adjacent to residential area, new partition wall and interior door for janitor closet, install grass as shown on site plan and paint parking stripes on existing pavement areas.



15. Park View Community Center- Results Care Physical Therapy Pain & Wellness (SDP): PL20250007253

Location: N 1st St and Broward St.(63866000003 & 63865960005)
Current Zoning: C-5-FMOSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Results Care LLC
Status: Pre-app meeting held on 7/10/2025.

Site Development Plan for a new commercial medical facility titled Parkview Commercial Center, which will serve as the future home of Results Care Physical Therapy, Pain and Wellness Center. Our organization is a long-standing community healthcare provider in Immokalee, Florida, offering critical outpatient physical therapy and wellness services to an underserved and economically disadvantaged population.



16. Iglesia Cristiana Mana (SDP): PL20250007264

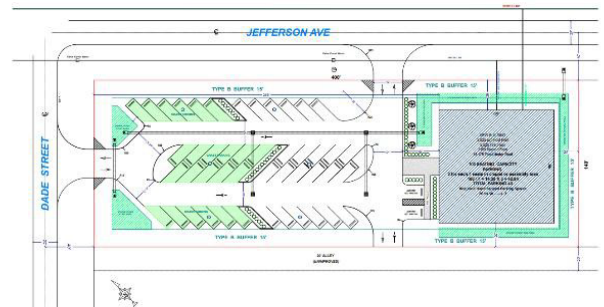
Location: Jefferson Ave and Dade St
Current Zoning: C-4 with ST/W-4 Wellfield Protection and Airport Overlays
Owner: IGLESIA CRISTIANA MANA CORP
Status: Pre-app meeting held on 7/8/2025.

Request for Site Development Plan for a new 12,175-square foot church on 2 floors with seating for 100.

**Iglesia Cristiana Mana (CU):
PL20250008966**

Status: Pre-app meeting held on 9/3/2025.

Request for conditional use to allow the proposed church on the site. This will require a Neighborhood Information Meeting and final decision by Hearing Examiner.



17. Immokalee Government Center (SDPA): PL20250007757

Location: 112 S 1st St
Current Zoning: C-4-MSOSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Collier County
Status: Pre-app meeting held on 7/29/2025.

Request to amend the Site Development Plan for the construction of a new government center building south of the existing Sheriff's Office building. The proposed building size is approximately 15,000 sq. ft. The development will include parking, drive aisles, and water, sewer, and drainage infrastructure to support the development. The stormwater management system will consist of dry retention area within the existing site. The existing government center/tax collector office on the northern portion of the site will be demolished and will be used as dry retention area for the property. The total project area is +/- 7.42 acres.



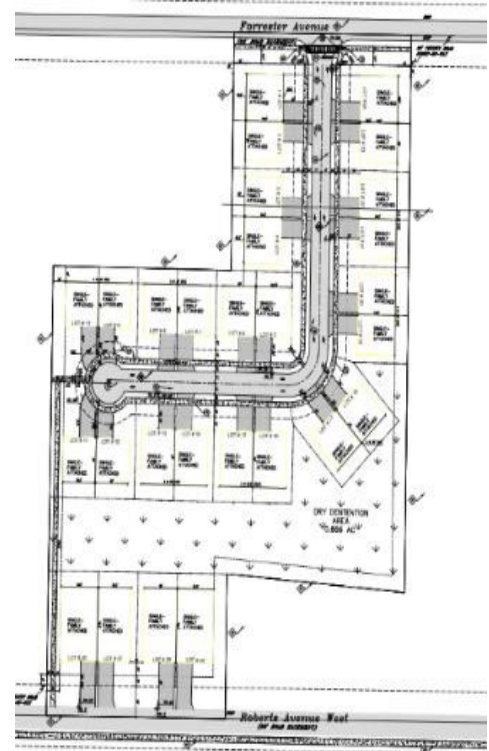
18. Sainvilus Subdivision (PPL): PL20250005829

Location: 1300 Roberts Ave. W. & 1215 Forrester Ave.

Current Zoning: Sainvilus Subdivision RPUD with ST/W-4 Wellfield Protection and Airport Overlays Owner: SAINVILUS, JAMES & FRANCESCA L JEAN CALIXTE & ELIAMENE SAINVILUS

Status: Pre-app meeting held on 6/17/2025. First applicant submittal on 7/15/2025. Additional documents submitted on 8/14/2025. Staff issued first comment letter on 9/19/2025 with comments requesting corrections to the plat and ensuring proper access to easements, who is responsible for maintenance, changes to notes and adding a legend, revisions to drives and roadways, and others.

Construction Plans and Plat for a 4.5-acre residential subdivision located at 1215 Forrester Ave. and 1300 Roberts Ave. W. The owner is proposing a new, safe, hurricane resistant, residential development of 27 single family attached (two family) homes including a new road, drainage and utility infrastructure.



Sainvilus Subdivision (PUDZ): PL20230016622

Status: First applicant submittal on 6/21/2024. Staff issued an incomplete letter on 6/28/2024. Second applicant submittal on 9/3/2024. Staff issued second comment letter on 10/3/2024. Third applicant submittal on 10/22/2024. Staff issued third comment letter on 11/27/2024. Canon Sandora Civil Engineering, Inc. presented to the CRA Board and held NIM on 12/11/2024. Fourth applicant submittal on 1/22/2024. Ordinance 2025-26 approved by BCC on 5/13/2025.

Rezone from RSF-3 to RPUD to allow increase from 13 units allowed per RSF-3 zoning (density of 3 units per acre) to 27 units allowed per the Medium Residential Subdistrict (density of 6 units per acre).

One deviation requested from Land Development Code (LDC) Section 6.06.01.N, which typically requires a minimum 60-foot-wide local street right-of-way. The approved deviation allows a 45-foot-wide right-of-way with 10-foot public utility easements on both sides for the internal subdivision street. There was no public opposition to the project during the planning commission process. Although a letter of support was initially discussed at a joint CRA/MSTU meeting in March 2025, the CRA Board chose not to act due to a lack of representation from the applicant and the need for clarification on the support requested. Nevertheless, the County determined the project was consistent with criteria for rezoning and deemed the deviation request reasonable for the proposed development.

19. Pepper Ranch Preserve (SDPA): PL20250003776*

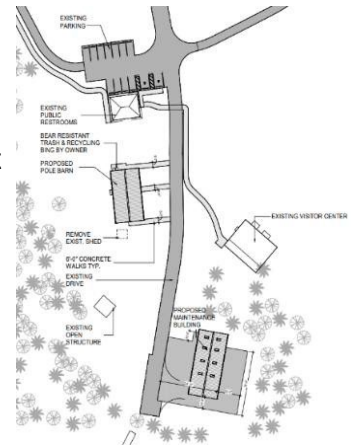
Location: 6315 Pepper Ranch Rd

Current Zoning: A-MHO

Owner: Collier County Facility Management

Status: Pre app meeting held on 4/29/2025. First applicant submittal on 6/13/2025. Additional documents submitted on 7/15/2025. Staff issued first comment letter on 8/6/2025. Second applicant submittal on 9/16/2025. Staff issued second comment letter on 10/8/2025 with comments requesting building numbers and meeting vehicular use standards. **Third applicant submittal on 10/23/2025.**

Amend Site Development Plan to add a larger maintenance building, approximately 2100 SF in size, along with pavement around it (no utilities) and replace the existing pole barn. The proposed pole barn will be replacing one of similar size.



20. A&H Invest Multi-Tenant Commercial Building (SDP): PL20250007607*

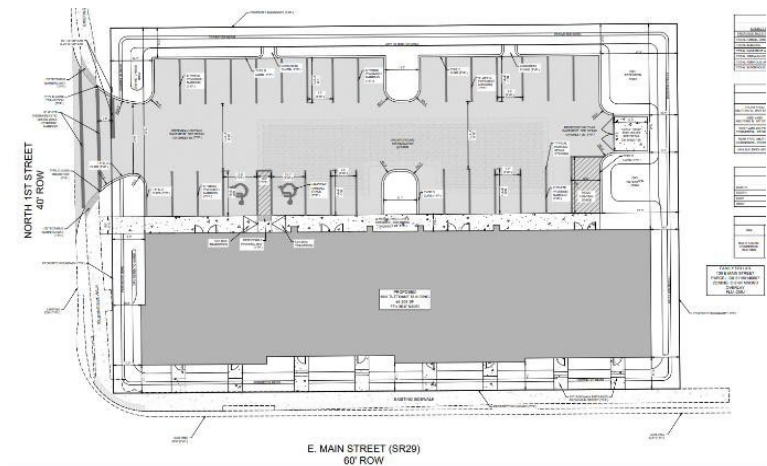
Location: 104 N 1st St (northeast corner of 1st & Main)

Current Zoning: C-5-MSOSD with ST/W-4 Wellfield Protection and Airport Overlays

Owner: A&H Invest of Immokalee Inc.

Status: Pre-app meeting held on 7/23/2025. First applicant submittal on 7/23/2025. Staff issued incomplete submittal letter on 8/1/2025 and 8/4/2025. Additional submittal documents submitted on 8/7/2025. Staff issued first comment letter on 9/3/2025. Second applicant submittal on 9/10/2025. Staff issued second comment letter on 10/10/2025 with comments on landscaping, irrigation and transportation. **Third applicant submittal on 10/22/2025.**

Site Development Plan for a +/-8,208 SF multi-tenant commercial building, paving, grading, underground stormwater management system and utility connections to support the overall development. The project will be accessed from N. 1st Street.



21. Immokalee Sports Complex (SDPA): PL20230003411

Location: 505 Escambia St.

Current Zoning: P, Public Use with ST/W-4 Wellfield Protection and Airport Overlays

Owner: Collier County c/o Real Property Management

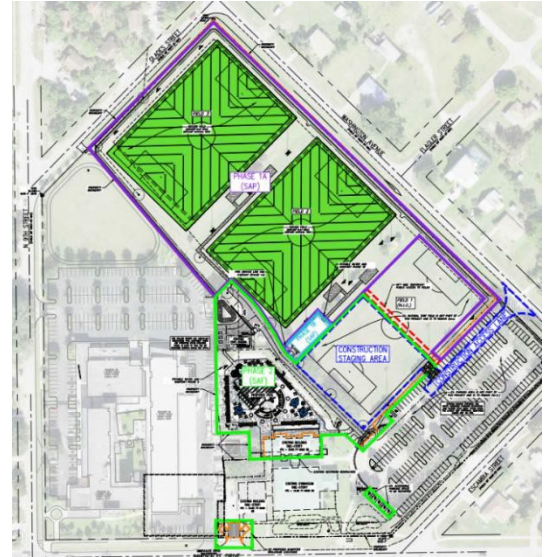
Status: First application submittal on 5/12/2023. Staff issued first comment letter on 6/30/2023.

Second application submittal on 5/7/2025. Staff issued second comment letter on 6/9/2025. Third applicant submittal on 8/29/2025. Staff issued third comment letter on 9/29/2025 with comments regarding parking summaries, location of trash enclosures, building codes and landscape buffers.

Improvements and renovations will include on-site repairs and renovation of the competition pool and kid's activity pool and immediate surrounding pool decks, the equipment/pump building, potential soccer pitch regrading and a turf field, existing restroom facilities renovations, new restroom facilities, supporting utilities, lighting, landscape, maintenance access, parking renovations, signage and wayfinding, project stormwater outfall & stormwater management.

Immokalee Sports Complex Construction Plan Phasing (CPP): PL20250005940

Status: First applicant submittal on 5/19/2025. Staff issued an incomplete letter on 5/21/2025. Applicant submitted additional documents on 6/2/2025. Phasing Plan approved on 7/9/2025.



The Immokalee Sports Complex Site Development Plan (SDP) was originally permitted by Collier County under permit application No. SDP-93-105, and the Site Development Plan Amendment (SDPA) is currently under review, application no. PL20230003411. This request is to allow the project to install and receive partial site acceptance, as follows:

- Phase 1A – The installation and Site Acceptance Partial (SAP) of athletic fields 2 and 3; stormwater management, including the underlying field drainage and stormwater outfalls; and the fire line and associated fire hydrant. At the time this phase is anticipated to be closed out, the athletic field restroom may or may not be under construction. Therefore, public access will need to be maintained to the existing restrooms.
- Phase 1B – The installation and SAP of the athletic field restrooms, storage, pavilion and the associated potable water and sanitary utility infrastructure.
- Phase 2 – Site Acceptance Final (SAF). Installation of the aquatics facility, mechanical room and associated stormwater and utility infrastructure. Emergency fire access will be installed under this phase, as well as the internal locker room restroom renovations. Field 1 will be restored to pre-construction conditions. Installation of two (2) dumpster enclosures and restriping of existing accessible parking stalls. The construction phasing plan addresses the construction access and staging for the duration of the project. Additionally, it addresses public and emergency access to fields 2 and 3 at the completion of Phase 1A.

22. Onda Rose Multi-Family (SDP): PL20240013511*

AKA: Wave at Rose

Location: Northeast intersection of Rose Ave. & School Dr.

Current Zoning: C-5-AOSD (*Agribusiness Overlay Subdistrict*) and Airport Overlay

Owner: Peninsula Improvement Corp.

Status: Pre-app meeting held on 12/12/2024. Staff issued incomplete addressing verifications requirements letter on 3/31/2025. Staff issued an incomplete submittal letter on 03/31/2025.

First application submittal on 5/28/2025. Staff issued an incomplete submittal letter on 6/6/2025.

Additional documents submitted on 6/26/2025. Staff issued first comment letter on 7/22/2025.

Second applicant submittal on 8/8/2025. Staff issued incomplete letter on 8/11/2025. Additional documents submitted on 8/14/2025. Staff issued second comment letter on 9/16/2025 with comments regarding unit numbers, corrections to the preserve area and revisions to drives and roadways. Third applicant submittal on 9/30/2025. **Staff issued third comment letter on 10/15/2025 with comments pertaining to easements and fire apparatus road accessibility to every building. Fourth applicant submittal on 10/28/2025.**

Site Development Plan for proposed affordable housing development on 11.5± acres, proposed to include: **Buildings:** Three 4-story buildings with a total of 230 build-to-rent multi-family units (46, 92, and 92 units per building) per the Live Local Act. **Amenities:** A playground, clubhouse, pool, lake (pond), and two access points (one at the Rose Ave/ School Drive intersection and one at 13th Street SE).

Infrastructure Improvements: Parking, sidewalks, utilities, and stormwater management.

Staff stipulated that a Right-of-Way (ROW) must be reserved and conveyed to the County for connecting Weeks Terrace to 12 Street future roadway. A 60-foot wide ROW Reservation is shown on Civil Plans.

293 Rose Ave (ZLTR): PL20250012065*

Status: Initial applicant submittal on 10/16/2025. Zoning Verification letter issued on 10/28/2025.

Applicant (Zion Zoning) requested to confirm current zoning, permitted uses, approvals, and violations. Staff verified the site is eligible for multifamily affordable housing through the Live Local Act, and there are no open code enforcement violations.

Wave at Rose - Affordable Housing (APR): PL20250011207

Status: Initial applicant submittal on 10/01/2025. Application approved as of 10/29/2025.

Applicant is requesting a reduction in parking requirements due to two transit stops within ¼-mile radius of the site accessible by existing pedestrian infrastructure. Approval granted for reducing the parking by 66 spaces, or 15% pursuant to Florida Statute Section 125.01055.

00116640008 (ZLTR): PL20250004213

Status: Initial applicant submittal on 4/7/2025. Zoning Verification letter issued on 5/22/2025.

Applicant is requesting a zoning verification letter to confirm the current zoning, confirm max allowable build height, max density and design exceptions as well as development standards applicable to Live Local Standards.

23. Florida Army National Guard Readiness Center Project

(SDPA): PL20230000984*

Location: 165 Airpark Blvd.

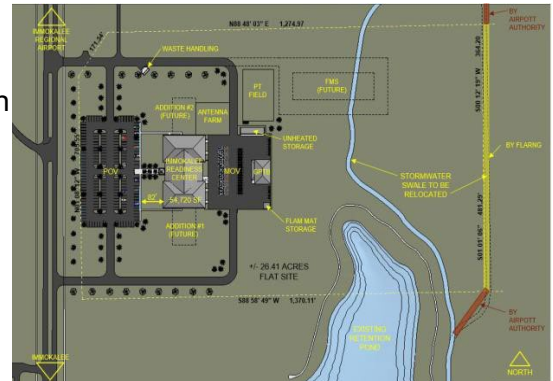
Current Zoning: Airport Operations PUD (AOPUD) with ST/W-4 Wellfield Protection and Airport Overlays

Owner: Collier County

Status: Pre app meeting held on 2/15/2023. First applicant submittals on 10/4/2023 & 12/19/2023. First applicant submittal on 4/18/2025 and 5/16/2025, additional documents and plans submitted on 6/6/2025. Staff issued first comment letter on 7/30/2025. Second applicant submittal on 9/23/2025. Staff issued second comment letter on 10/10/2025 with comments requesting a recent survey and transportation.

Third applicant submittal on 11/4/2025.

This is a new construction project being proposed at the Immokalee Airport. This project will include a General-Purpose Training Bay (GPTB), all utility services, information systems, roads, walkways, curbs, gutters, storm drainage, parking areas, and site improvements. Physical security measures for anti-terrorism and force protection will be incorporated into the design to include maximum feasible standoff distances. Energy conservation measures will also be incorporated into design where feasible. On February 5, 2025, a Groundbreaking Ceremony was held for the Immokalee Readiness Center.



24. Pulte Foundation - Monarca Phase 1 (SDP): PL202300009497

Location: 2135 Westclox St; Phase 1 also connects to Carson Road

Current Zoning: PFCF/ NSV IMMOKALEE MPUD (Ord. 2023-44) with ST/W-3 and W-4 Wellfield Protection and Airport Overlays

Owner: PFCF IMMOKALEE LLC

Status: First applicant submittal on 7/1/2024. Staff issued first comment letter on 9/05/2024. Second applicant submittal on 2/27/2025. Staff issued a second comment letter on 4/03/2025. Second applicant submittal on 7/1/2025. Staff issued an incomplete letter on 7/22/2025. Additional documents submitted on 7/28/2025. Staff issued third comment letter on 8/28/2025.

The Nuestra Señora de la Vivienda Community Foundation and the Pulte Family Charitable Foundation propose up to 250 single-family homes for rent and an early education center for 250 students. The foundation first presented at the CRA meeting on September 21, 2022, and again on January 18, 2023, followed by a Neighborhood Information Meeting on June 7, 2023. The project was presented to the Collier County Planning Commission on August 17, 2023, and on October 10, 2023, the Board of County Commissioners approved a rezoning ordinance for the PFCF/NSV Immokalee MPUD by Ordinance 2023-44, allowing up to 250 units (170 affordable) and an early education center on 50± acres.



The ICRA Advisory Board requested an update after receiving comments from the County. The Foundation provided updates at the ICRA Meeting on April 17, 2024. The community will be named Monarca, symbolized by the Monarch butterfly. A revised site plan includes space for oversized vehicles, and they are in discussions with a local education center about expanding into the early education center. The Foundation will not be involved in developing the 3-acre space.

Phase 1 includes 64 units, a community center, playground, stormwater management, lake, and pathway. Phases 2 or 3 will depend on Phase 1's progress and funding.

Mr. VanValin presented income and rent limits and the project timeline, emphasizing the goal of providing stable, affordable housing for low-income families. At the January meeting, Ms. Yolanda Flores spoke on the Build a Better Life program being organized by Nuestra Señora de la Vivienda Community Foundation.



25. Budget Inn Immokalee (SDP): PL20220001200

Location: 504 E Main Street (northeast corner of Jefferson Ave and E Main Street)

Current Zoning: C-5-AOSD with Airport Overlay

Owner: Shanta LLC

Status: Pre-application meeting held on 3/16/2022.

Budget Inn (CU): PL20220001199

Status: Approved by Hearing Examiner Decision 2024-40 on 8/7/2024.

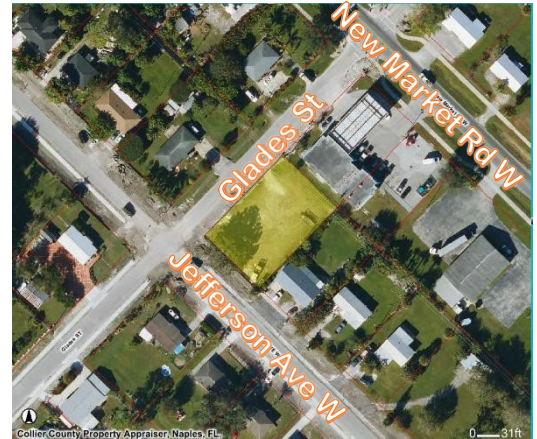
Conditional Use approval granted to allow razing the existing 15-unit motel and constructing a 3-story hotel with 38 rooms on the 1-acre site.



26. 418 Jefferson Ave W (AVA): PL20250010332

Location: 418 Jefferson Ave W
Current Zoning: RMF-6 and Airport Overlays
Owner: Isabel Ramirez Rios
Status: Initial applicant submittal on 9/10/2025 and
9/18/2025. Administrative Variance approval letter issued
on 10/17/2025.

Administrative variance for a duplex that encroaches approximately 2.5 feet into the required 25-foot yard setback.



**27. Little Ceasars Immokalee (SDPA):
PL20220006843**

Location: 525 N 15th St.
Current Zoning: C-4-SR29COSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: LC Investment Group LLC.
Status: Pre-app meeting held on 11/16/2022. First applicant submittal on 5/7/2025. Staff issued first comment letter on 6/25/2025. Second applicant submittal on 9/9/2025. SDPA Approval letter issued on 10/8/2025.

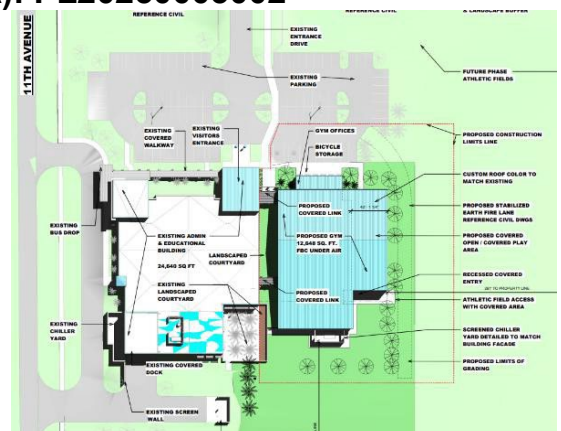
Amend the Site Development Plan to add a structure to the existing Little Ceasars for a drive-thru food service restaurant, as well as a second restaurant building with drive thru, and updating the associated site infrastructure.



28. Boys and Girls Club of Immokalee Gym (SDPA): PL20250005002

Location: 1155 Roberts Ave W
Current Zoning: R. Roberts Estates MPUD (Ord. 14-01)
with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Boys & Girls Club of Collier County Florida Inc.
Status: Pre app meeting held on 5/27/2025. First
applicant submittal on 6/20/2025. Staff issued an
incomplete letter on 7/1/2025. Additional documents
submitted on 7/22/2025. Staff issued first comment letter
on 8/18/2025. Applicant second submittal on 9/12/2025.
SDP Approval letter issued on 10/9/2025.

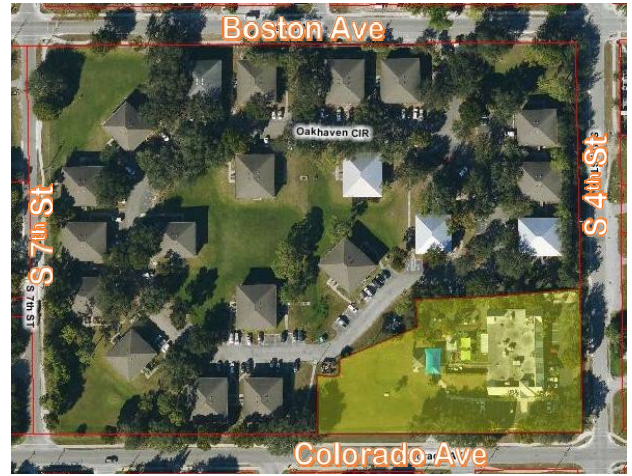
Amend Site Development Plan for a proposed gymnasium connected to the existing admin and classroom building. The gym was previously approved in PI 20170002137 but not was not constructed.



29. Pathways Early Learning Center, Immokalee (SDPI): PL20250009765

Location: 415 Colorado Ave
Current Zoning: VR - CU "2" with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Immokalee Child Care Center Inc
Status: First applicant submittal on 8/29/2025. Staff issued first comment letter on 9/22/2025. Applicant second applicant submittal on 9/22/2025. SDPI Approval letter issued on 10/3/2025.

Request for an insubstantial change to install new playground equipment and shade structures at the child development center previously approved SDP 91-140. The improvements include age – appropriate play structures and fabric shade coverings to enhance safety and comfort in outdoor play areas. All installations will comply with safety and accessibility standards. The work remains within the scope of the original SDP approval and does not alter site layout, building footprints, or access.



30. Immokalee Airport GFTS Parcel A South Aircraft Hangar (SDPI): PL20250009794

Location: 110 Airpark Blvd
Current Zoning: AOPUD (Ord. 10-07) with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Collier County
Status: First applicant submittal on 8/28/2025. SDPI approval letter issued on 9/23/2025.

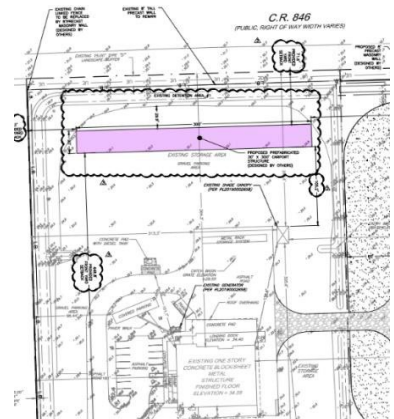
Request for an insubstantial change to revise the water management summary table. The updated plan shows the revised and correct FEMA and finished floor elevations.



31. Lee County Electrical Co-op Immokalee Warehouse (SDPI): PL20250008531

Location: 2060 Global Dr
Current Zoning: Industrial and Airport Overlay
Owner: Lee County Electric Cooperative Inc.
Status: First applicant submittal on 7/29/2025. SDPI approval letter issued on 8/18/2025.

Insubstantial change to the Lee County Electrical Co-Op Immokalee Warehouse SDP-2006-AR-9510, SDPA PL20240016917, to add a 30' x 300' shade structure/carport over existing gravel pavement on lot 2 of the development. No increase to the air-conditioned floor area, impervious area or modifications to the existing landscaping. No proposed utilities or additional vehicle trips.



32. Crestview Park Apartments (ZLTR): PL20250008198

Location: 715 Crestview Dr

Current Zoning: Arrowhead MPUD with ST/W-3 & W-4 Wellfield Protection Overlay

Owner: Tralee Crestview Owner LLC

Status: First applicant submittal on 7/20/2025. Staff issued an incomplete submittal letter on 7/21/2025. Applicant submittal on 8/4/2025. Zoning Verification Letter issued on 8/28/2025.

Staff verified the current permitted use is multi-family and there are no current building, zoning, or fire code violations.



33. Heckman Commercial Center - Rear Setback Yard Encroachment (AVA): PL20250007473

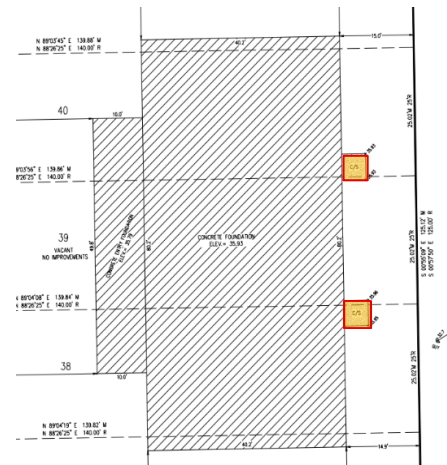
Location: 308 N 1st St

Current Zoning:

Owner: Keith Heckman

Status: Initial applicant submittal on 6/30/2025. Staff issued Administrative Variance on 7/21/2025.

The applicant is requesting a rear yard variance for the 0.10-ft encroachment. The rear setback is 15-ft - foundation survey shows a 14.9-ft setback from rear property line. The constructed CBS walls encroach into required setback. The finished CBS walls will also have a stucco siding finish on the exterior and will encroach even more. Encroachment will not exceed 6 inches.



34. 120440003 (ZLTR): PL20250007590

Location: 925 E Delaware Ave

Current Zoning: MH and Airport Overlay

Owner: Keith T Heckman Jr.

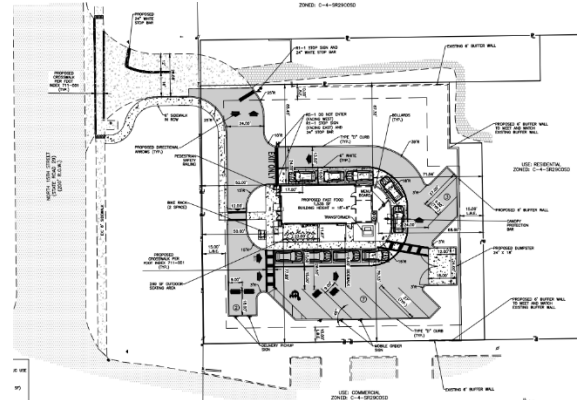
Status: Initial applicant submittal on 7/2/2025. Staff issued Zoning Verification letter on 7/15/2025.

Staff verified permitted uses in the MH (Mobile Home) zoning district include mobile homes and modular homes and subject to additional standards: family care facilities, educational plants, and wireless communication facilities.



35. 830 N 15th St (SDP): PL20240003652

Location: 830 N 15th St.
Current Zoning: C-4-SR29COSD with ST/W-4 Wellfield Protection and Airport Overlays
Owner: TCW Enterprises LLC
Status: Initial submittal on 7/31/2024. Second applicant submittal on 10/31/2024. Staff issued an incomplete submittal letter on 11/6/2024. Third applicant submittal on 1/21/2025. Staff issued comment letter on 2/27/2025. Fourth applicant submittal on 3/18/2024. SDP approval letter issued on 4/4/2025. Pre construction documents submitted on 7/23/2025. Construction started on 9/2/2025.



Demolition of the existing car wash and the construction of a 1,495 square foot Wendy's fast food restaurant with drive-thru, outdoor seating, and associated parking and infrastructure.

36. Immokalee CAT Transfer Facility (SDPI): PL20250007174

Location: 155 Immokalee Dr
Current Zoning: RSF-3 (CU) with ST/W-4 Wellfield Protection and Airport Overlays
Owner: Collier County
Status: First applicant submittal on 6/20/2025. Staff issued SDPI approval letter on 6/27/2025.

Insubstantial change to remove a covered passenger waiting area from the original stamped approved plans for Immokalee CAT Transfer Facility (SDPA), PL20220004362.

37. Immokalee Foundation Learning Lab 18-home subdivision (PPL): PL20190000473

Location: Foundation Way
Current Zoning: RMF-6 with ST/W-4 Wellfield Protection and Airport Overlays
Owner: CDC Land Investments Inc.
Status: Construction ongoing.

The Immokalee Foundation Learning Lab 18-home subdivision is currently under construction. Collier Enterprises donated the 8.3 acres of land for a housing subdivision that will serve as a hands-on learning laboratory for students in the foundation's program Career Pathways: Empowering Students to Succeed. BCB Homes, is serving as the general contractor. On July 13, 2021, BCC meeting (Agenda item 16.F.10) the Board approved a recommendation to direct staff to develop a workforce development grant agreement with The Immokalee Foundation, to offset development costs on the housing subdivision for the Career Pathways Learning Lab, in the amount of \$500,000. The new homes will be sold at market price to support the construction of the other home in the subdivision. The Foundation sold its first home in December 2021 and closed on another home in October 2024. In December the Esperanza (Hope) Model was completed and available for purchase. To date 11 homes have been completed.



38. Immokalee Fair Housing Alliance (IFHA)(CPP): PL20240013145

Location: 2070 Corazon De La Comunidad Cir
Current Zoning: Immokalee Fair Housing Alliance Inc.
RPUD (Ord. 2020-23) with Airport Overlay
Owner: Immokalee Fair Housing Alliance Inc.
Status: Under construction.



The Immokalee Fair Housing Alliance (IFHA) housing development consists of eight buildings, each with 16 apartments, totaling 128 units. Construction is being completed in phases. The units include two- and three-bedroom apartments ranging from approximately 750 to 950 square feet. Land clearing for the site began in September 2021. IFHA has partnered with The Shelter for Abused Women & Children to reserve 16 apartments for program graduates. The second building, which will house individuals from this partnership, is expected to break ground soon. In response to this development, IFHA has amended its construction phasing plan to prioritize the installation of a children's playground. They have initiated a fundraising effort to support this amenity. At the April 9, 2024, Board of County Commissioners (BCC) meeting, the Board approved an Immokalee Impact Fee Installment Payment Plan Agreement with IFHA. This agreement allows \$195,160.96 in impact fees to be paid over 30 years as a special assessment for the 16 affordable multi-family rental units within the IFHA Residential Planned Unit Development (RPUD).

A Move-In Celebration for Building 1 was held on August 23, 2024. As of February 2025, 12 tenants have begun moving in, with a few finalizing their paperwork.

Construction is progressing steadily:

- The second building's second-floor walls are up.
- The slab for the first floor of Building 3 is scheduled to be poured soon.
- The children's playground has been completed.
- IFHA is currently awaiting permitting to begin construction of the community center.



Dr. Arol I. Buntzman expressed optimism about the project's momentum and overall progress.

Link to [IFHA Wink News story](https://www.ifha.info/) For more information, please visit <http://www.ifha.info/>.

39. Kaicasa Phase One (PPLA): PL20220000198

Location: Kaicasa Lane

Current Zoning: Kaicasa RPUD (Ord. 2023-12) with Airport Overlay

Owner: Habitat for Humanity of Collier County

Status: Under construction

Kaicasa is located at the Southeast corner of Immokalee, on State Road 29 as you enter the agricultural village from the south. The new affordable community sits adjacent to the existing Farm Workers Village (subsidized housing built in the 1970s for local and migrant farm workers that is often criticized for its conditions). Many Habitat Collier partner families have lived there prior to purchasing their homes. Once complete, this neighborhood will have 280 homes, making it one of the largest Habitat subdivisions in the country. Construction started in August 2022 and the first homes closed in June 2023. Approximately 32 homes have closed since the summer. There are currently 12 homes under construction. The minimum income to apply is \$35,000 and the maximum up to 80% AMI. Habitat is accepting applications for this development.

For more information, please visit

<https://www.habitatcollier.org/communities/kaicasa/>



40. Casa San Juan Diego (SDP): PL20230018133

Location: 976 Boston Ave.

Current Zoning: RMF-6 with ST/W-2 & W-3 Wellfield Protection and

Airport Overlays Owner: Trinity Enterprise Holdings

Status: SDP approved on 5/12/2025. Construction started on 9/22/2025.

The Casa San Juan Diego Multi-Family affordable housing development is a partnership between the National Development of America, Inc., and the Diocese of Venice to develop 80 affordable rental units on 9.6 acres adjacent to Our Lady of Guadalupe Church. The project consists of two buildings, a club house, a multi-use play field, and a multi-use court.

National Development of America, Inc., received funding from Florida Housing and applied for Collier County grant funding in February 2024. Project updates were presented at the February 21, 2024, CRA Advisory Board Meeting. Bowman Consulting presented project updates at the February 19, 2025, and requested a letter of support from the CRA. The Board approved providing a letter of support for the project.



41. LGI Homes (SIP): PL20220001238

Location: 1249 Bush St W

Current Zoning: Arrowhead MPUD (Ord. 2008-36)

Owner: LGI Homes

Status: Construction ongoing.

LGI is offering new homes for sale in Immokalee at Arrowhead Reserve. They are one of the largest new home builders in Immokalee.

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42. Williams Farm RPUD (PUDZ): PL20210001434

Location: south side of Lake Trafford Road (Property ID# 00113600106 & 0011360009)

Current Zoning: Williams Farm RPUD (Ord. 2023-23)

Owner: James E Williams Jr Trust

Status: First application submittal on 11/4/2021. Staff issued first comment letter on 1/6/2021.

Second applicant submittal on 4/6/2022. Staff issued second letter on 5/5/2022. Third applicant submittal on 7/8/2022. Staff issued third comment letter on

8/10/2022. Daniel Delisi held an information meeting on 8/30/2022 and presented to the CRA on 9/21/2022. Fourth applicant submittal on 10/24/2022. Staff issued fourth comment letter on 11/23/2022. Fifth applicant submittal on 12/23/2022. Ordinance 2023-23 approved by BCC on 5/23/2023.

Approved for 336 single family homes. On 9/18/2025 Collier County purchased the 2,247-acre property for \$20.77 million with plans to use the land for parks and affordable housing.



43. Immokalee Airport GFTS Parcel A South Aircraft Hangar (SDPA) : PL20230012330

Location: 165 Airpark Blvd

Current Zoning: AOPUD with ST/W-3 and Airport Overlays

Owner: Collier County

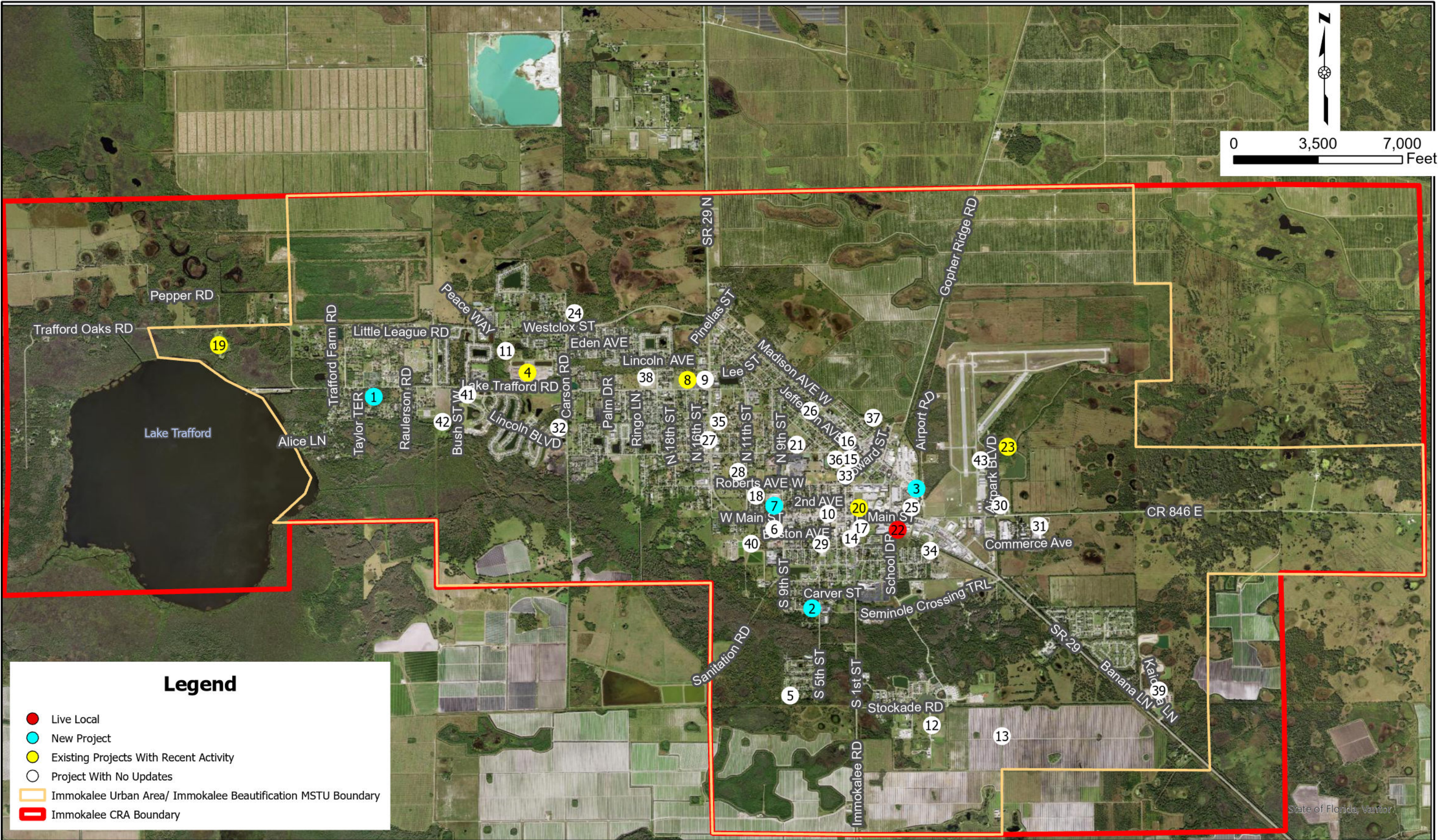
Status: SDPA approved on 4/29/2024. Under construction.

Construction of 4 hangars, pavement and necessary utility infrastructure to support the project.





0 3,500 7,000 Feet



Legend

- Live Local
- New Project
- Existing Projects With Recent Activity
- Project With No Updates
- Immokalee Urban Area/ Immokalee Beautification MSTU Boundary
- Immokalee CRA Boundary



Immokalee CRA
Collier County, Florida



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2122 JOHNSON STREET
FORT MYERS, FLORIDA 33902-1550
PHONE (239) 334-0046
E.B. #642 & L.B. #642

November 2025
Development Report

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
November 2025	25007811	-	As Shown	21 of 21