

# CENTRAL BUSINESS DISTRICT FORM-BASED GUIDELINES

## IMMOKALEE CRA

Community Redevelopment Agency  
iThe Place to Call Home!



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# I. INTRODUCTION

### INTRODUCTION

The Immokalee community has been recognized as a prime winter agricultural center serving the entire country. This reputation has been changing in recent years and although agriculture will continue to form an important part of the character of the community, it is important for Immokalee to reaffirm its character as a sustainable community housing a variety of cultures and traditions. These design guidelines are intended to reinforce that character through the design of the urban form and its buildings.

The Central Business District Form-Based Guidelines is a companion document to the Immokalee CRA Public Realm Plan (PRP). The PRP establishes a distinct “brand” for Immokalee through signature improvements to public spaces within an area defined as the Central Business District (CBD). These improvements consist of an updated streetscape design, new way-finding and signage recommendations, and two new public plazas. The CBD includes the Main Street/State Road 29 corridor from 9th Street to the east and East 2nd Street to the west, and the South 1st Street corridor from Pine Street on the north and the Seminole Casino on the south.

### PURPOSE

The intent of these design guidelines is to direct development within the Immokalee community toward creating a cohesive urban pattern of buildings and streetscapes that balances the pedestrian and traffic needs of residents, while protecting and enhancing the original pattern of development. These guidelines will provide a reference document for parties interested in infill development and redevelopment in the CBD and will be utilized in the creation of Immokalee-specific Land Development Regulations (LDRs).

The design guidelines are intended to be flexible in nature and encourage design diversity within a unified theme. While the County and the CRA promote economic growth and commercial development in areas with access to arterial and collector roadways, they also encourage protection of residential and rural interests from the impacts of non-residential development. Through the implementation of these design guidelines and subsequent LDRs, a framework for developing a vibrant, sustainable downtown will be created. In addition, these guidelines will allow for Crime Prevention Through Environmental Design (CPTED) strategies (Natural Surveillance, Territorial Reinforcement, Natural Access Control and Target Hardening) to be fostered by maximizing a pedestrian-friendly environment of connectivity and access throughout the overlay area. By encouraging infill development and greater use of the downtown through design such as, improvements in architectural guidelines, improvements in pedestrian and bicycle facilities, and the use of local materials, the CRA will be promoting smart growth principles and encouraging future growth to develop in a sustainable manner.

### APPLICABILITY

The design guidelines contained in this document will apply to all new construction or substantial redevelopment of non-residential, mixed-use and multi-family uses within the Central Business District Design Overlay. The guidelines will be implemented through the Immokalee-specific LDRs being currently developed and the creation of a special area zoning overlay.

For the purpose of this report, the proposed guidelines cover an area slightly greater than the defined CBD boundaries. This area is divided into three subdistricts: the South 1st Street Subdistrict, and the Main Street Subdistrict, which fall within the CBD, and the 15th Street Subdistrict, which is optional area that could eventually be incorporated in the CBD.

Figure 1: Central Business District Design Overlay



 Optional area that could be included within the CBD.

The 15th Street Subdistrict is more suburban in nature than the rest of the CBD; however, due to its proximity to the CBD and potential for future commercial and mixed-use development, it is included as a potential future expansion area. Each subdistrict contains design guidelines tailored to the unique character and existing conditions found in the area. See **Figure 1** for the location of the Main Street Subdistrict, the First Street Subdistrict and the Fifteenth Street Subdistrict.

The guidelines and the forthcoming LDRs are intended to create, over time, a distinctive pedestrian-friendly business district. The intent is not to require existing buildings to conform to these new regulations unless they are subject to substantial renovations. As property owners decide to renovate their buildings, they will be encouraged to conform to the guidelines contained in this document. **Figure 2** shows conceptual examples of minor façade improvements that would help reinforce the character of the Immokalee CRA.

Before

After



Figure 2: Opportunity for Façade Improvements within the Design Overlay

## II. THE IMMOKALEE DESIGN OVERLAY DISTRICT

The Immokalee Design Overlay District has an area of approximately 513 acres, comprised of 671 parcels. The Existing Conditions Report describes in detail the prevalent development patterns in the area. This section summarizes those findings and describes the character/image expected to be created with the implementation/enforcement of the standards contained in this report.

## A. SUMMARY OF EXISTING CONDITIONS

### 1. Main Street Subdistrict:

The portion that runs east-west (Main Street) from Second Street East and Hancock Street is characterized by a traditional urban commercial storefront development, with heavy pedestrian use and buildings close to the street. Most buildings are one story.



### 2. First Street Subdistrict:

The First Street corridor from Eustis Avenue to West Main represents a major entrance to the community and a connection between the Seminole Casino and the Main Street corridor. Development along this street is characterized by a mix of business, institutional and residential buildings typically close to the street.



### 3. Fifteenth Street Subdistrict(Optional) :

This sub district is an optional area that could eventually be incorporated within the CBD. area along Fifteenth Street between Hancock Street and 11th Street changes to a more suburban setting with buildings setback farther from the street, numerous

driveways along the south side of the street, and a more prominent presence of automobile-related uses.



The

area (curve) between 11<sup>th</sup> Street and Roberts Avenue is characterized by a suburban cross-section. The character of this area is dominated by a vehicular orientation, resulting in little to no pedestrian friendly features. Currently, there are no commercial buildings fronting on this street.

# CENTRAL BUSINESS DISTRICT FORM-BASED GUIDELINES

# II. THE IMMOKALEE DESIGN OVERLAY DISTRICT

The character of the corridor between Roberts Avenue and Immokalee Drive is not well defined, but instead is a mix between both the Main Street and First Street corridor characteristics. Some buildings have located close to the street, while others are behind parking areas.



## B. DESIRED IMAGE

In order to maintain and enhance the urban development character of downtown Immokalee, to maintain its existing pattern of development, and to reinforce the diversity of cultures in the Immokalee area, general design standards were created for new development and redevelopment within the design overlay district.

The following are development goals established for the specific subareas within the Design Overlay district. Development Standards were created to fulfill these goals.

### 1. Main Street Corridor:

- Goal 1:** Strengthen the pedestrian orientation of this area by ensuring the sidewalk/public activity areas are widened.
- Goal 2:** Encourage the development of storefront buildings along the Main Street corridor.
- Goal 3:** Encourage two story mixed-use buildings, while allowing for the smaller building types that have historically located along this corridor.
- Goal 4:** Require key architectural elements to create an identifiable cultural theme.

### 2. First Street Corridor:

- Goal 1:** Require new buildings to locate close to the street.
- Goal 2:** Encourage the development of storefront buildings along the 1st Street corridor.
- Goal 3:** Provide building continuity along the block to encourage pedestrian activity.
- Goal 4:** Emphasize the importance of architecture in creating a gateway into downtown Immokalee.

### 3. Fifteenth Street Corridor(Optional):

- Goal 1:** Transition the urban form to a less urban pattern of development by requiring new buildings to locate close to the street; however, allowing for more flexibility in the block/building continuity along the sidewalk.

### 4. Interior Streets:

All streets running perpendicular and parallel to the main corridors noted above.

- Goal 1:** Develop a pedestrian-oriented character by requiring new buildings to locate close to the street.
- Goal 2:** Allow narrower sidewalks than those along the main corridors in order to provide a transition between the prominent urban corridors of Main Street, First Street and Fifteenth Street to the more residential areas adjacent to the downtown.

# III. DEVELOPMENT STANDARDS

### A. BLOCK LAYOUT

The configuration of blocks and lots is very critical for corridors that are designed predominantly for foot traffic rather than vehicular traffic. To maintain and enhance the pedestrian-friendly urban character of the Main Street and First Street Subdistricts, as well as to achieve a balance between the automobile and pedestrian activities, it is important to preserve the current size of the blocks, rather than allowing the consolidation of smaller blocks into mega blocks. New development should not be allowed to vacate existing rights-of-way, including alleys, to form mega/super blocks. **Figure 3** shows the current block layout within the design Districts.

In the Fifteenth Street district, new development should consider the creation of new streets to improve vehicular and pedestrian connectivity in the area.

### B. BUILDING PLACEMENT

#### 1. Building Setbacks

Buildings should be located as close to the street as possible. However, it is important that sufficient width is preserved along the sidewalk to provide for adequate walking space. **Table 1** lists the required front/corner and side yard setbacks for new development within the various design subareas. Rear yard setbacks shall follow the requirements for the zoning district.

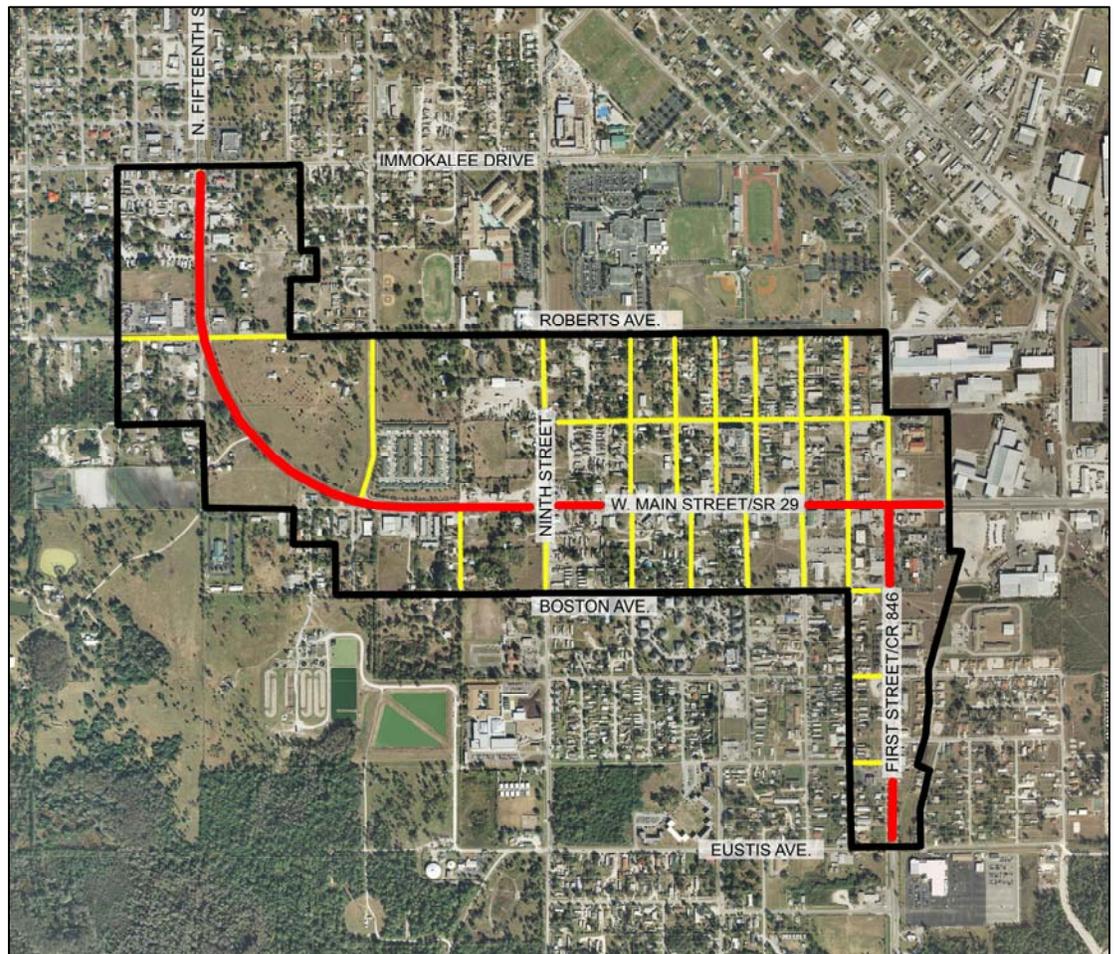


Figure 3: Existing Block Structure in Downtown Immokalee

Table 1: Immokalee Design Overlay Setbacks

Design District	Setback from the Street (front/corner)	Side Yard Setback
Main Street	0' from property line or 10' maximum from the back of the curb*, whichever is greater (see Fig. 4 & 5)	Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Fig. 7) Max. = 50% of lot width (both sides combined) (see Fig. 8)
First Street	0' from property line or 8' maximum from the back of the curb*, whichever is greater (see Fig. 4 & 5)	Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Fig. 7) Max. = 50% of lot width (both sides combined) (see Fig. 8)
Fifteenth Street	0' from property line or 8' maximum from the back of the curb*, whichever is greater (see Fig. 4 & 5)	Per LDC
All Other Streets	5' maximum for the first two stories, plus 5' additional setback for buildings over two stories; measured from property line (see Fig. 6)	Per LDC

\*Setback measured from the back of the curb at the sidewalk's narrowest segment within the same block (e.g. not including bump outs).

Figure 4: General Building Setbacks Plan View

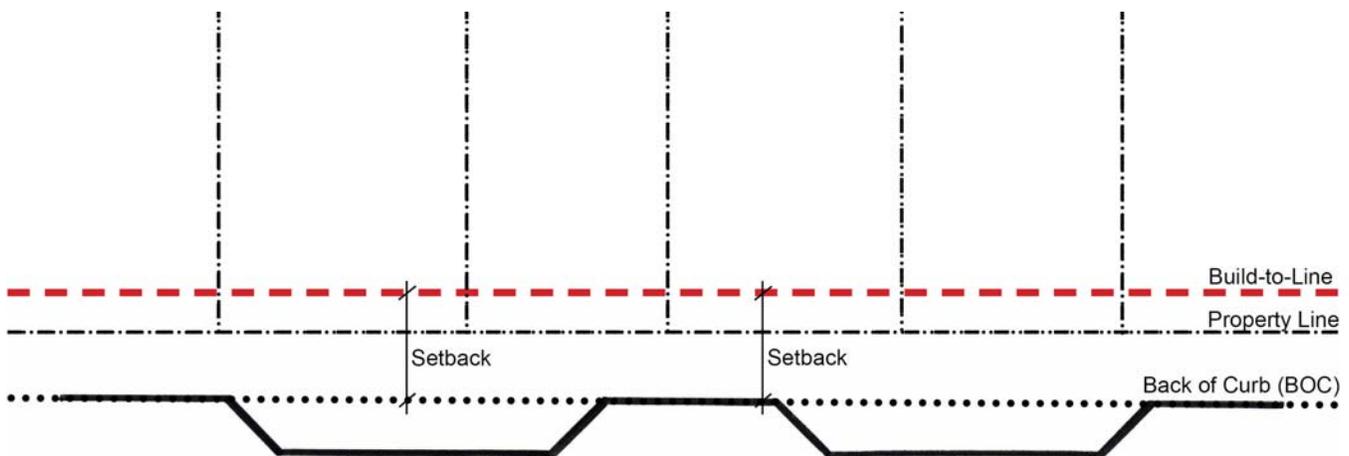


Figure 5: General Building Setbacks Cross Sections

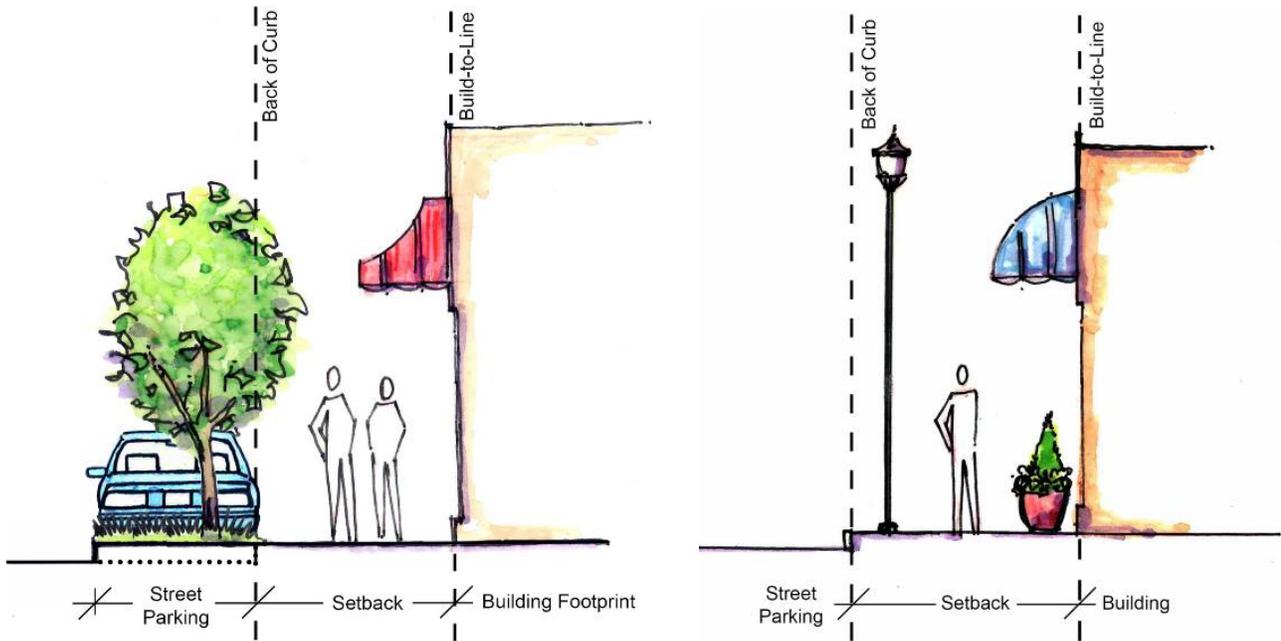


Figure 6: Setback Requirements along Side Streets

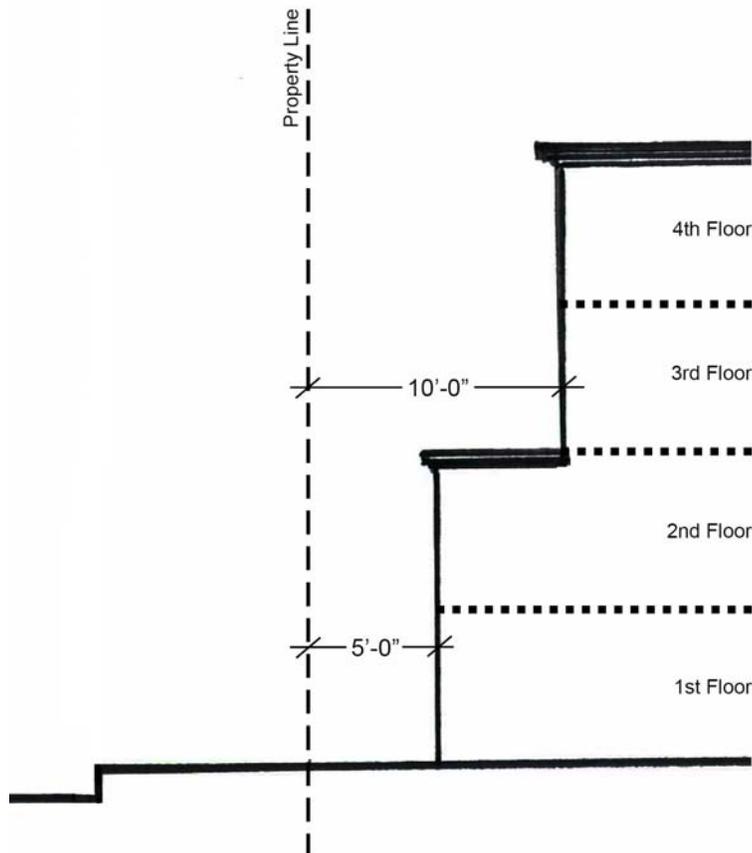


Figure 7: Side Yard Setback Requirements – Alternative 1

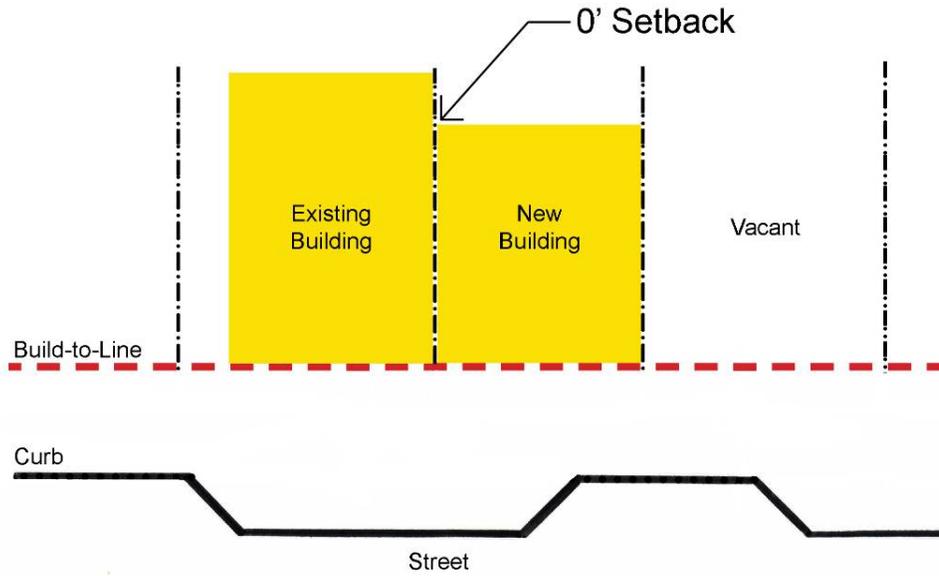
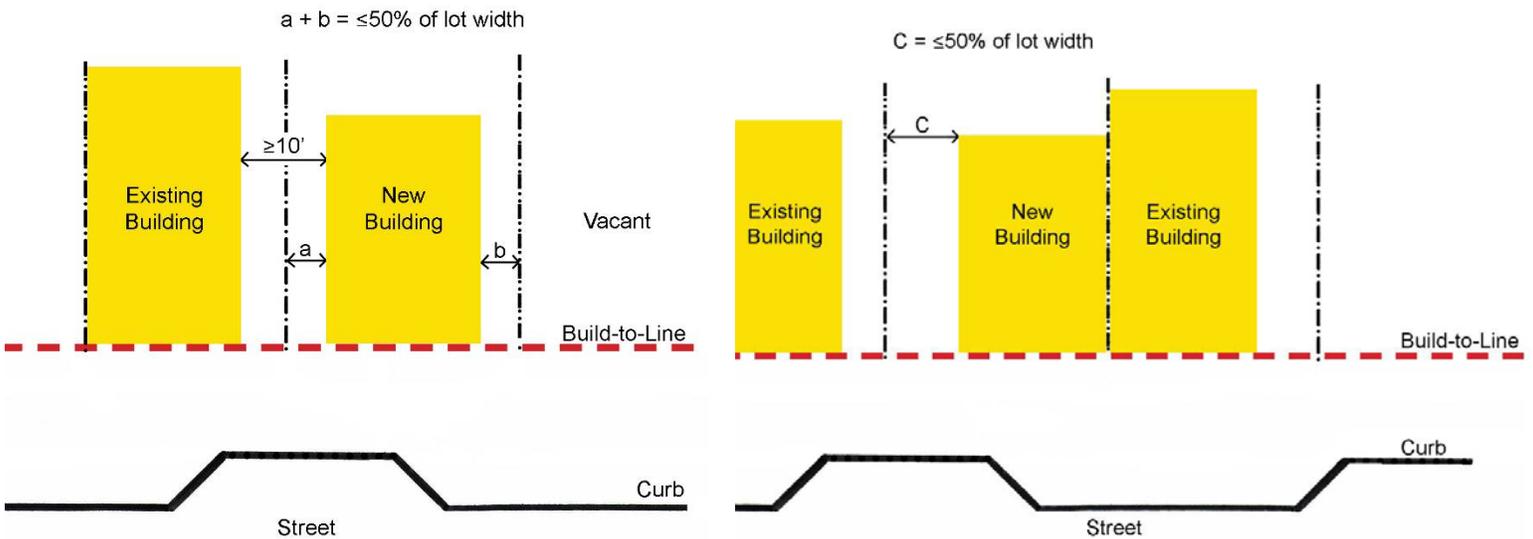


Figure 8: Side Yard Setback Requirements – Alternative 2



## 2. Exceptions to Building Setback Requirements

**Public Space:** The street setback may be permitted to extend up to thirty (30) feet if pedestrian courtyards, plazas, cafes, fountains or other public gathering places are provided in front of the recessed portion of the building (see **Fig. 9 & 11**). For building greater than 40 feet in width, the increased setback area shall not exceed fifty (50) percent of the building frontage and shall incorporate a street wall along the original setback line.

**Arcades:** The use of arcades is encouraged and therefore allowed to extend up to the property line (see **Fig. 10 & 11**). They may have enclosed space, balconies or verandas above them. Arcades should be open and non-air conditioned.

Figure 9: Setback Exception for Public Space

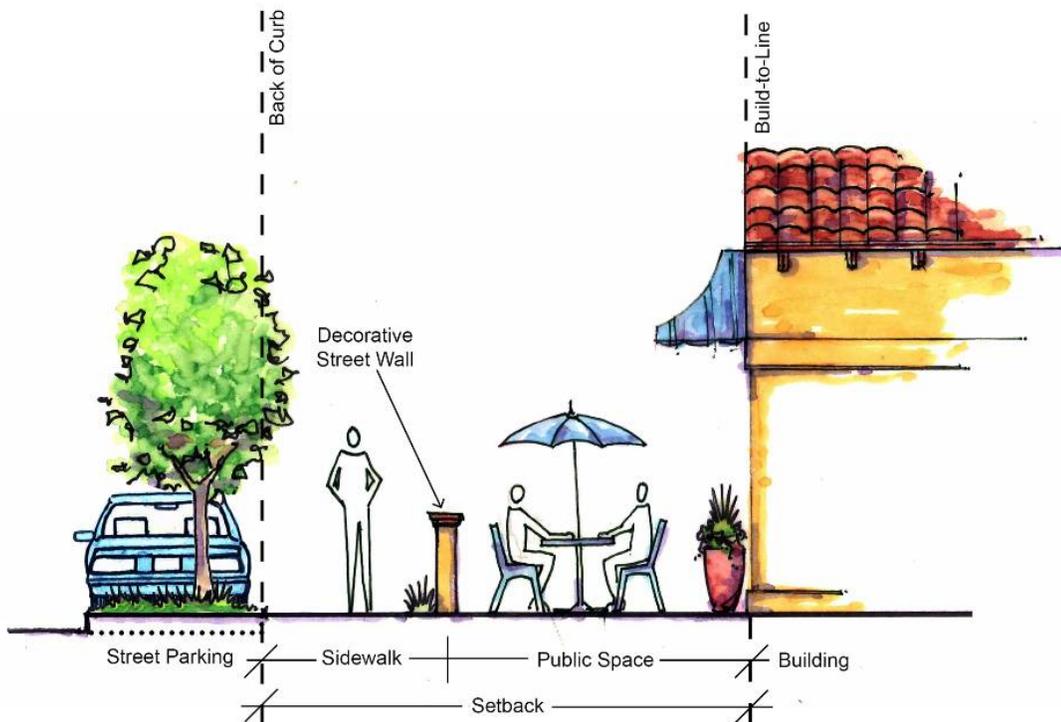
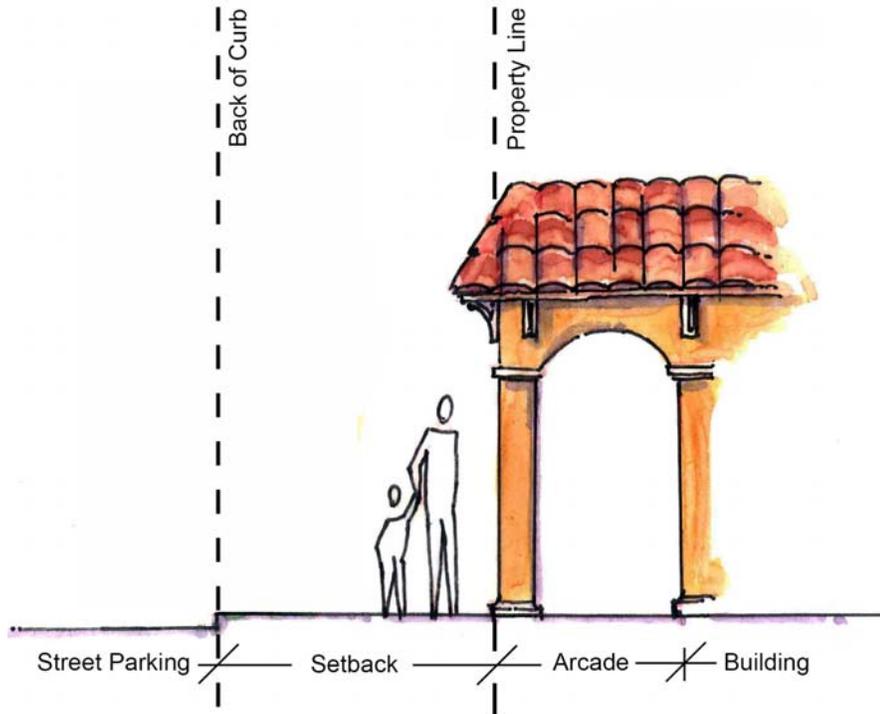


Figure 10: Setback Exception for Arcades



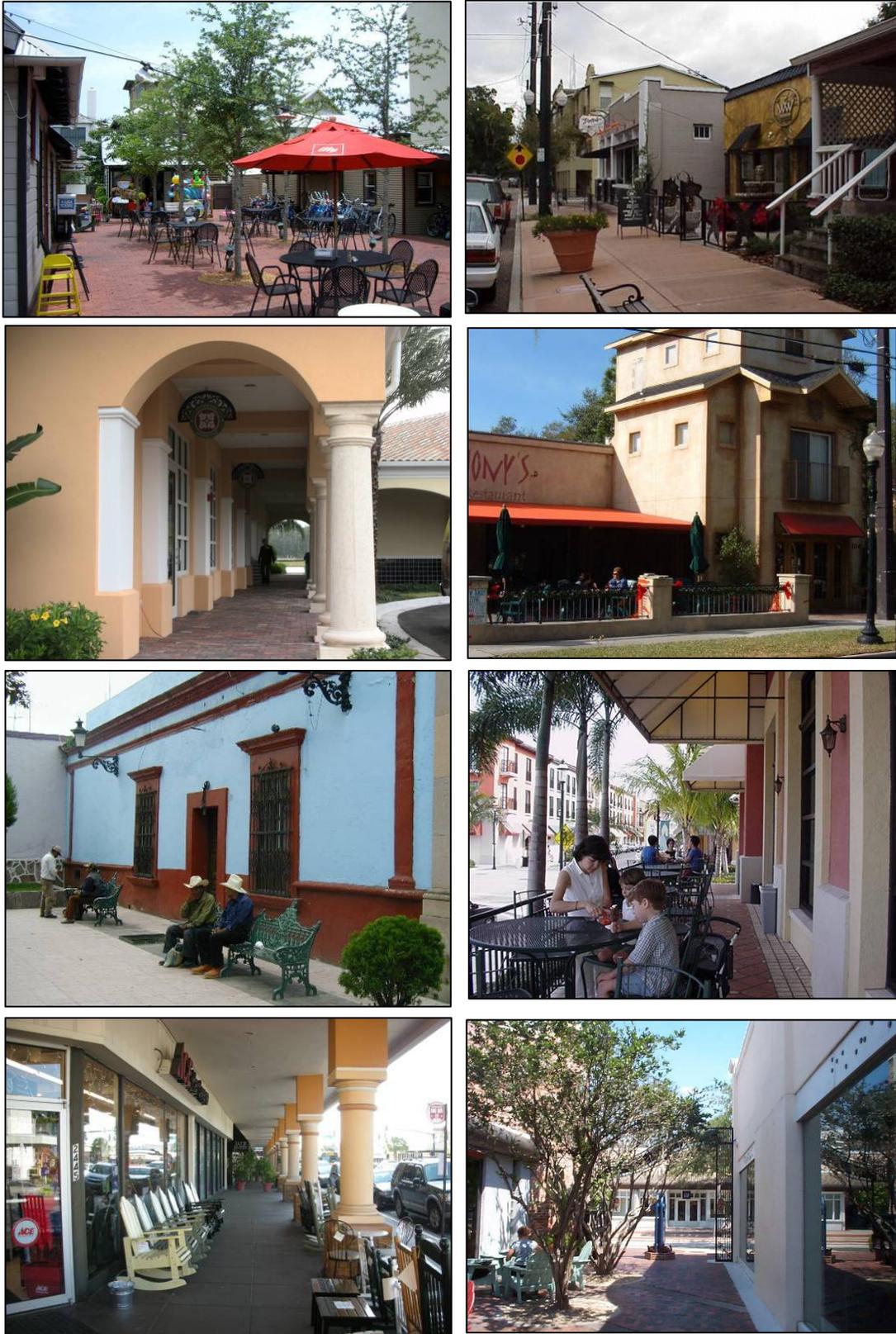


Figure 11: Examples of Public Gathering Spaces

### 3. BUILDING ORIENTATION

Building orientation refers to the location of the primary, secondary and rear façades and entrances to a building. The placement and orientation of a building on a site has a major impact on the appearance of the built environment. The orientation of the front façade is important for the pedestrian viability of an area. Buildings that turn perpendicular to the public right-of-way or only have access from rear parking lots create an environment along the public right-of-way that is unfriendly for pedestrians.

- New buildings should be located parallel to the right-of-way they front.
- New buildings should orient the primary façade to the public right-of-way (see **Fig. 12**). If the building fronts on more than one public-right-of-way, all the facades facing the public right-of-way shall be designed consistent with the front façade.
- Parking and stormwater shall be located in the rear of the site. In the event that parking or stormwater extend to the side of the building, it shall be screened from public rights-of-way by a street wall (See **Section I: Walls and Fences**)

### 4. BUILDING ARCHITECTURE

Buildings should complement the historic and architectural heritage of an area. According to Census data, the Hispanic population in Immokalee represents 82% of the total population in the area (81% being of Mexican ancestry), 9% is of Haitian ancestry, and 9% West Indian. With the many cultures represented in Immokalee, the architecture should reflect this cultural variety.

The main type of building present along the Main Street corridor is the “commercial storefront” building. This type of building is expected to continue dominating the architecture along the Main Street corridor. It is currently not as prominent along First Street, and not present along Fifteenth Street, but should be encouraged in all three districts. Commercial storefront buildings are typically rectangular in form. Their façades are comprised of three main elements (see **Fig. 13**): the *storefront* (entrance and display windows); the *upper façade*, which consists of transom windows, awnings and/or a sign, or in the case of two-story buildings, it consists of a second floor with evenly spaced windows; and the *building “top”*, which typically consists of a parapet with a cornice (hiding a flat or gabled roof).

Figure 12: Façade Orientation to the Public Right-of-Way

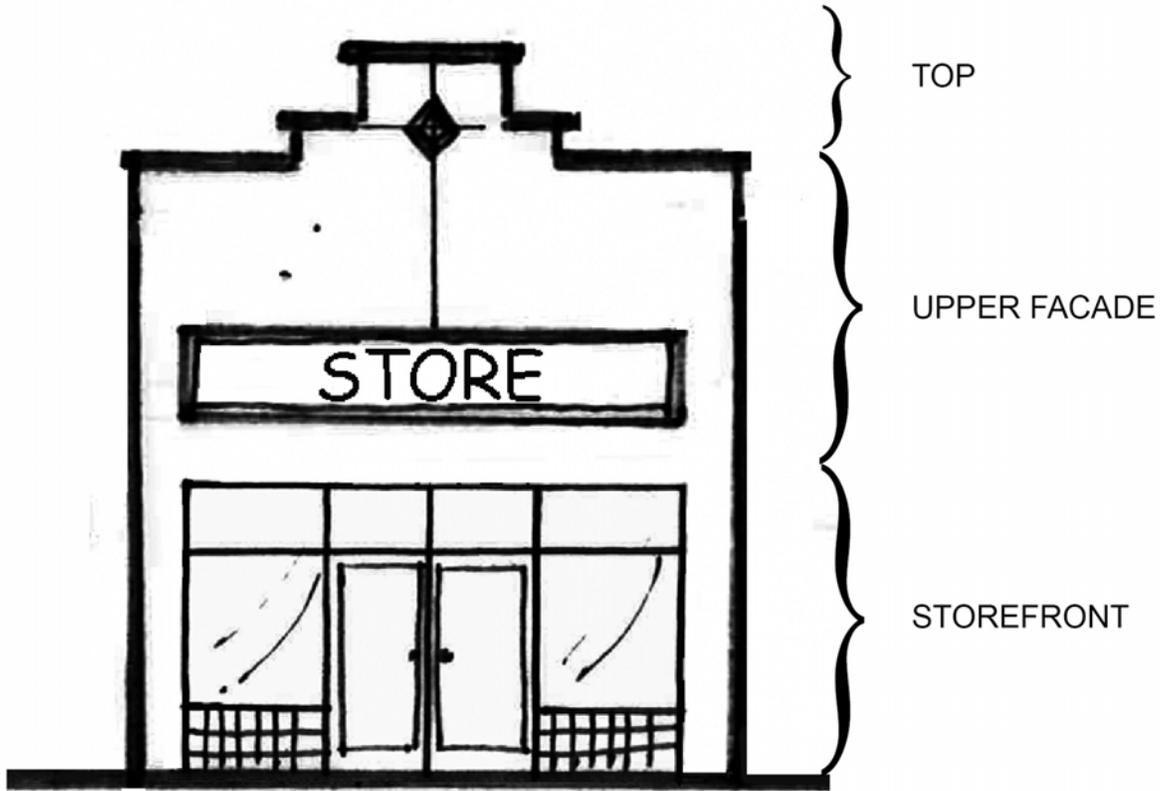


Recommended



Prohibited

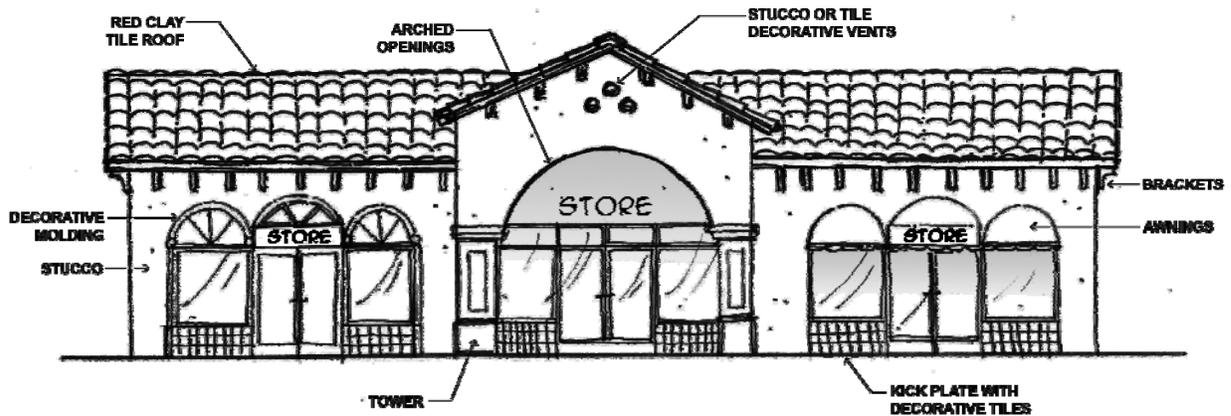
Figure 13: Typical Storefront Building Elements



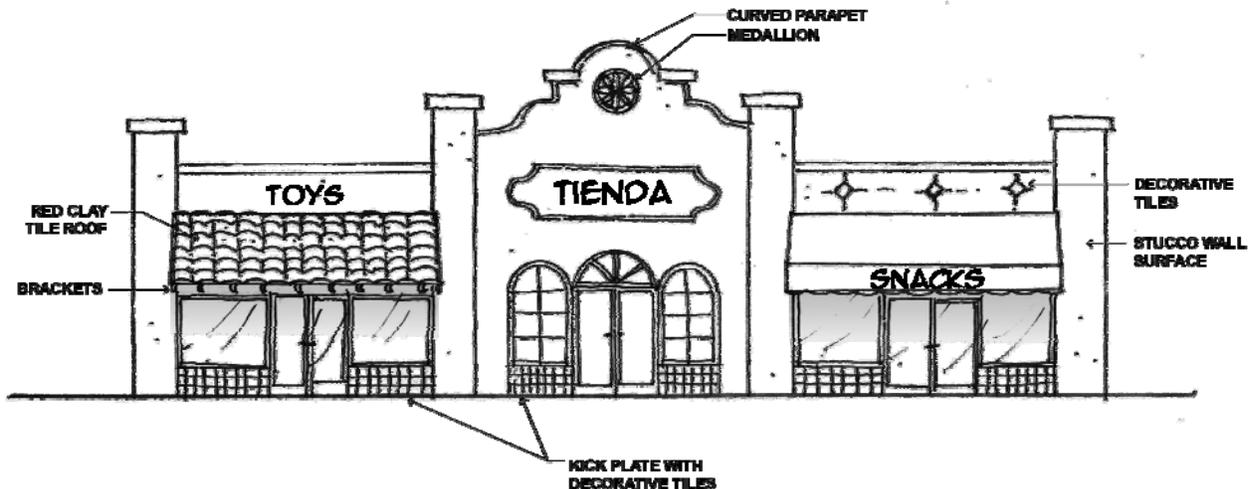
Throughout the United States, the style of “storefront” buildings has evolved over the years, as buildings have adopted architectural embellishments to reflect particular architectural styles (e.g. Craftsman, Italianate, Victorian, etc.). Given the strong Hispanic and Caribbean influence in the Immokalee community, all new buildings within the design overlay district, including storefront buildings, are required to adopt architectural elements that celebrate the following types of architecture (See Appendix [A](#) : Architectural Styles for detailed descriptions and characteristics of each style):

### 1. Spanish Vernacular:

- A. **Mediterranean Style:** Also known as Spanish Eclectic or Spanish Colonial Revival. Characteristics include red tile, low-pitched roofs usually with little or no overhang, parapets, arches, stucco and asymmetrical façades.



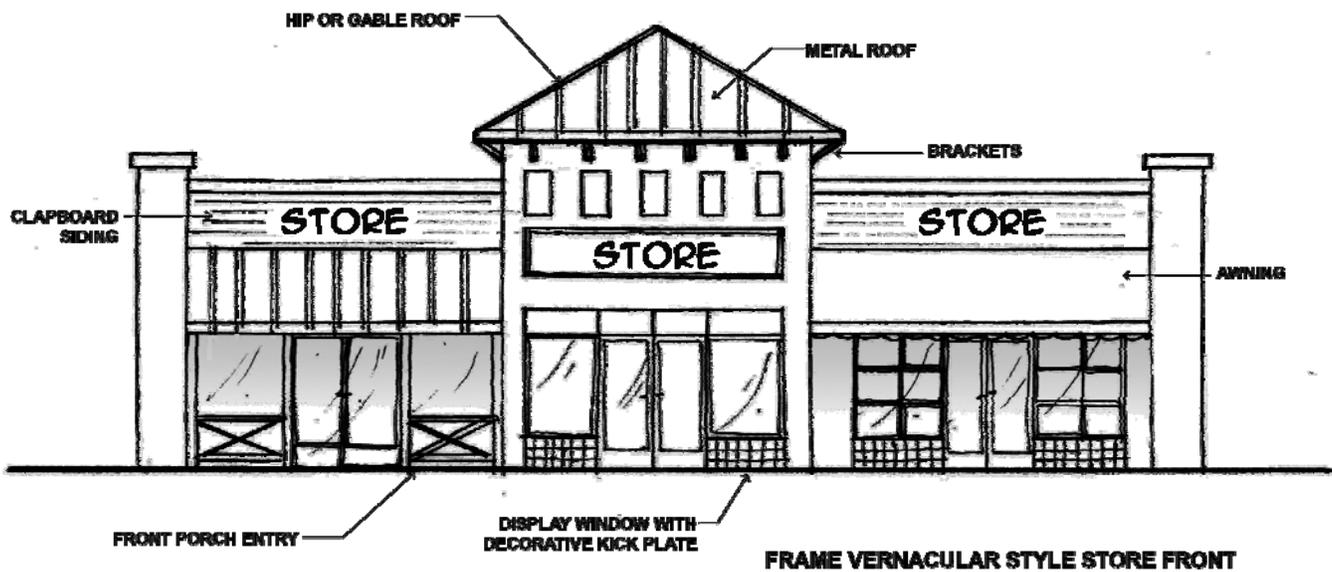
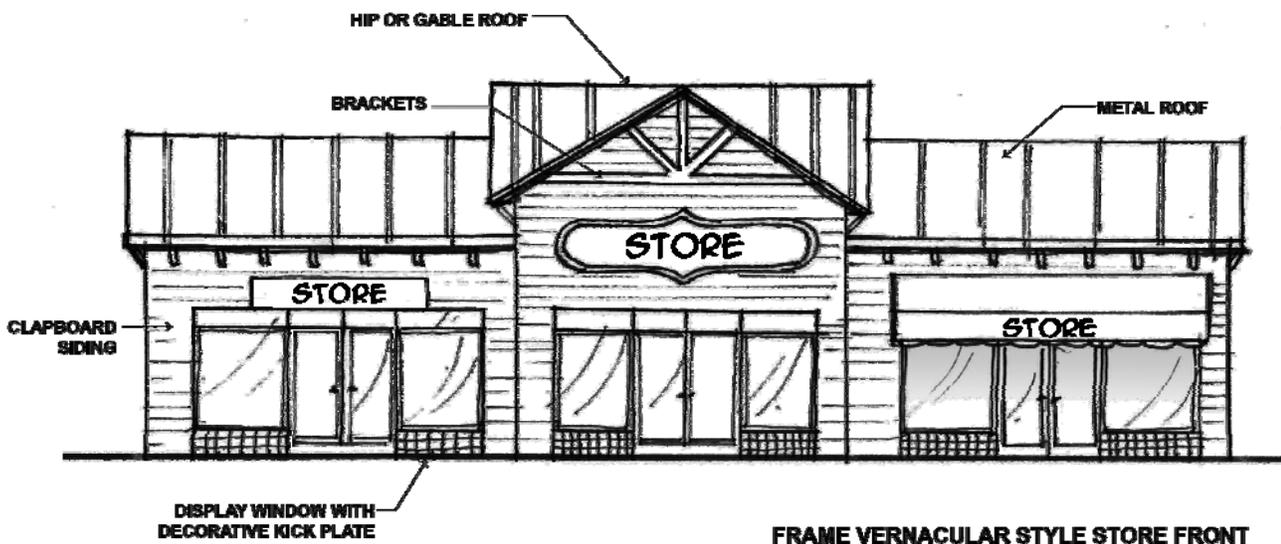
- B. **Mission Style:** Influenced by the Spanish Colonial Style. Characteristics include red barrel clay tile roofs, arches, earth tone colors, and asymmetrical façades finished in stucco. Similar to the Mediterranean Style, but exhibiting much less ornamentation and detailing.



### 2. Frame Vernacular:

Also known as Florida Cracker or Key West Style. Some frame vernacular buildings in Florida exhibit a Caribbean influence, while others are more utilitarian or rural in nature. Most familiar elements of this style are the use of horizontal siding for façade finish, elaborate wood balustrades, large porches, and metal roofs.

For a building to be considered designed in a particular style, there are certain characteristics that need to be present. Appendix A: Architectural Styles outlines those elements for each style. All the elements that comprise a building, including the building form, should also be consistent with the style of architecture selected.



### E. BUILDING FORM/COMPOSITION

Buildings are the most important component of the urban streetscape form. They set the mass, scale and tone of the built environment. As such, all of the various elements of a building's architectural makeup are important in putting together a complete composition. Elements such as materials, colors, surface details, texture, doors, windows, and roof shape contribute to a well-designed urban fabric. The following section ensures adequate building composition and structural form relevant to all architectural styles. Thus, these regulations are to be used in conjunction with the specific details that define a particular style as outlined in section D. Building Architecture, and described in Appendix A: Architectural Styles.

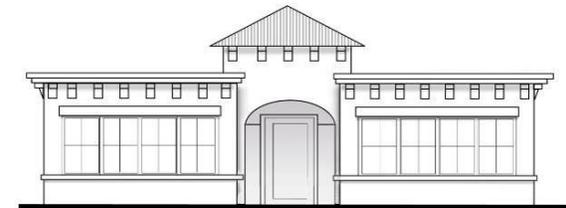
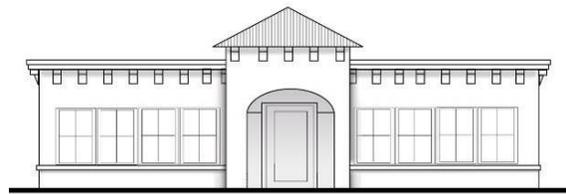
#### 1. Massing

- Buildings shall not extend for more than fifty (50) horizontal feet without a major volume shift or a substantial break in volume. Such break may be achieved with an architectural volume that projects up and out (a tower, bay or similar element), and/or a substantial recess into the building. The difference in plane should be a minimum of three (3) feet.
- The width of the projection/recess shall be no less than twenty (20) feet.
- Changes in mass must be related to entrances, the integral structure and the organization of interior spaces and activities, and not merely for cosmetic effect.

#### 2. Façade Design

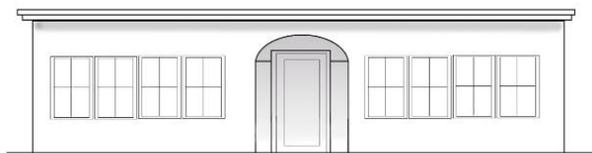
Buildings shall have architectural features and patterns that provide visual interest from the perspective of the pedestrians and motorists. All additions and alterations shall be compatible with the principal structure in design, color and materials.

Figure 14: Building Massing



**Allowed**

(Appropriate Massing: tower, variation in roof height)



**Not Allowed**

(Not Enough Massing, inappropriate massing. No variation, changes in plane)

### A. Façade Variation

The design of the primary façade is critical for the atmosphere that will be created along the street front. Primary building façades shall be enhanced by the use of vertical and horizontal elements. The design of secondary and rear façades shall be consistent with the front façade. See **Figure 15** for representations of these elements in architectural styles applicable to Immokalee.

- Primary façades shall not exceed twenty (20) horizontal feet and ten (10) vertical feet, without three (3) of the following elements. When selecting these elements, there shall be a combination of vertical and horizontal elements in order to create variation in the façade.
  - ◊ A change in plane, such as an offset, reveal, or projecting rib (columns, built in planters, arches, voids, etc.). Such plane projections or recesses shall have a width of no less than twenty (20) inches, and a depth of at least six (6) inches.
  - ◊ Awnings
  - ◊ Arcades/colonnades
  - ◊ Balconies
  - ◊ Complementary change in material/texture
  - ◊ Doors and/or windows
  - ◊ Decorative architectural elements (tiles, medallions, etc.)
  - ◊ Raised bands/cornices
- Secondary façades shall include at least two (2) elements from the primary façade list above. In addition to the list above a mural or wall art may be substituted for (2) façade elements. The mural or wall art is to be approved by the CRA and follow the guidelines established in Section K.2. Murals and Wall Art.
- Major architectural treatments, such as cornices, arches, exposed brackets, overhangs, and architectural details, should be continued around all sides of the building.
- Facades located at the side property line are exempt from the requirements of this section.

Figure 15: Examples of Façade Variation Elements



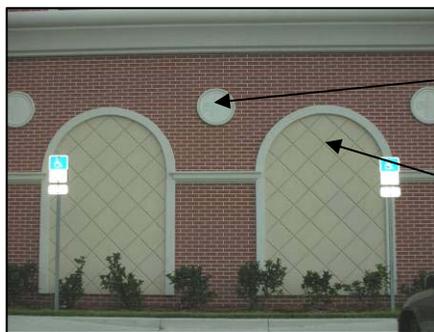
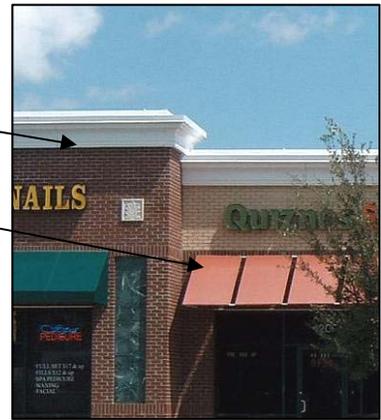
Columns  
Change in material/  
texture  
Balconies



Arcade/Colonnade



Raised Bands/  
Awnings



Decorative Tiles/  
Medallions  
Decorative Arches



### B. Multiple Frontage Lots

Buildings on lots with more than one street frontage shall incorporate façade elements on all façades facing a street.

Lots at major intersections (Main Street and First Street, Main Street and Ninth Street, Fifteenth Street and Roberts Road, Fifteenth Street and Immokalee Drive, Fifteenth Street and Lake Trafford Road) shall be designed with architectural embellishments to emphasize their location. These buildings shall include at least one (1) of the following embellishments:

- Corner entrance
- Corner tower
- Clock/bell tower
- Pedestrian plaza with artwork or fountains at the corner
- Other similar design features/elements

Figure 16: Corner Buildings



**Allowed**

**Not Allowed**

### C. Façade Continuity

*(Applicable to Main Street Only)*

Façades along Main Street should limit the number of building gaps along the block. If a gap is created between two buildings, the following should be provided:

- A pedestrian courtyard (connecting to rear parking areas or alleys) (see Fig. 17 & 18), or
- A decorative façade connecting the two buildings (see Fig. 17 & 19), or
- A low street wall along that portion of the lot along the right-of-way not devoted to pedestrian or vehicular access (see Fig. 17 & 20).



The buildings are close together creating a continuous block front

Figure 17: Continuity in Façade Plan View Example



Figure 18: Pedestrian Courtyard



Figure 19: Decorative Façade

Decorative façade creates building continuity along block filling in the gap between buildings



Figure 20: Low Street Wall



### 3. Entrances

- The following are design standards for entrances to multi-family and non-residential developments:
- Corner buildings along the Main Street, First Street or Fifteenth Street corridor shall orient the primary entrance to the principal street.
- All primary entrances shall have a protruding front gable, pilasters, columns, a stoop or other projection or recession in the building footprint that clearly identifies the entrance.

Figure 21: Well-Defined Entrances



- In addition, every primary entrance shall have two (2) other distinguishing features from the list below:
  - ◊ Variation in building height;
  - ◊ Canopy or portico;
  - ◊ Raised cornice or parapet over door;
  - ◊ Arches/columns;
  - ◊ Ornamental and structural architectural details
- Protection from the sun and adverse weather conditions for patrons should be considered for the entranceways. Protection methods may include awnings, canopies, colonnades, porticoes or similar treatments meeting the intent of this section.

#### 4. Fenestration

The arrangement of windows and doors should be consistent with the architectural style of the building. Windowless façades facing the public right-of-way are prohibited. Transparency requirements include the following:

- The ground floor building wall facing the street shall contain windows and doors occupying at least fifty (50) percent of the first floor façade. The first floor windows shall be located between three (3) and eight (8) feet measured from ground level. All other floors and elevations shall contain at least 25% fenestration.
- Clear glass (88% light transmission) should be installed on the first floor. Tinted glass allowing a minimum of fifty percent (50 %) light transmission should only be allowed on second floor windows and above. Stained or art glass is allowed only if it is in character with the style of the building, such as in a church.
- Multi-family residential and office uses shall have front exterior walls containing a minimum of twenty-five percent (25%) transparent or translucent materials on each story. The side exterior walls (facing the street) shall each con-

Figure 22: Transparency Examples



Appropriate



Inappropriate

tain a minimum of fifteen percent (15%) transparent or translucent materials on each story.

- Transparent materials on walls that are not parallel or approximately parallel to the public right-of-way and on doors shall not be counted toward the minimum transparency requirement.
- Garage or service bay doors shall not be included in the transparency/ translucency calculation.

### 5. Building Materials

Building materials have a strong visual effect on building design. Materials should be selected on the basis of compatibility with the building style and district character (see Appendix A for specific roof types typical of each architectural style). The following guidelines apply to all styles.

#### A. Façade Materials

- Building materials should reflect quality and stability in terms of durability, finish and appearance.
- To establish a unified design theme unique to Immokalee, decorative ceramic tiles may be used in conjunction with any architectural style.
- Corrugated and smooth concrete block, if determined to be appropriate for a building, may only be allowed for up to thirty-three (33%) percent of the façade area.
- Cedar shakes, unfinished block, corrugated or reflective metal panels, textured plywood, and plastic siding are not permitted.
- Mirrored glass and glass walls are prohibited.
- The exterior façade material for an addition or renovation shall either be the same as the existing building, a material that simulates the original material, or a combination of the two.
- The CRA may approve an alternative material for building additions if it is shown to be compatible with the materials used on the existing structure.

Figure 23: Prohibited Façade Treatments  
(Corrugated Metal, Mirrored Glass)



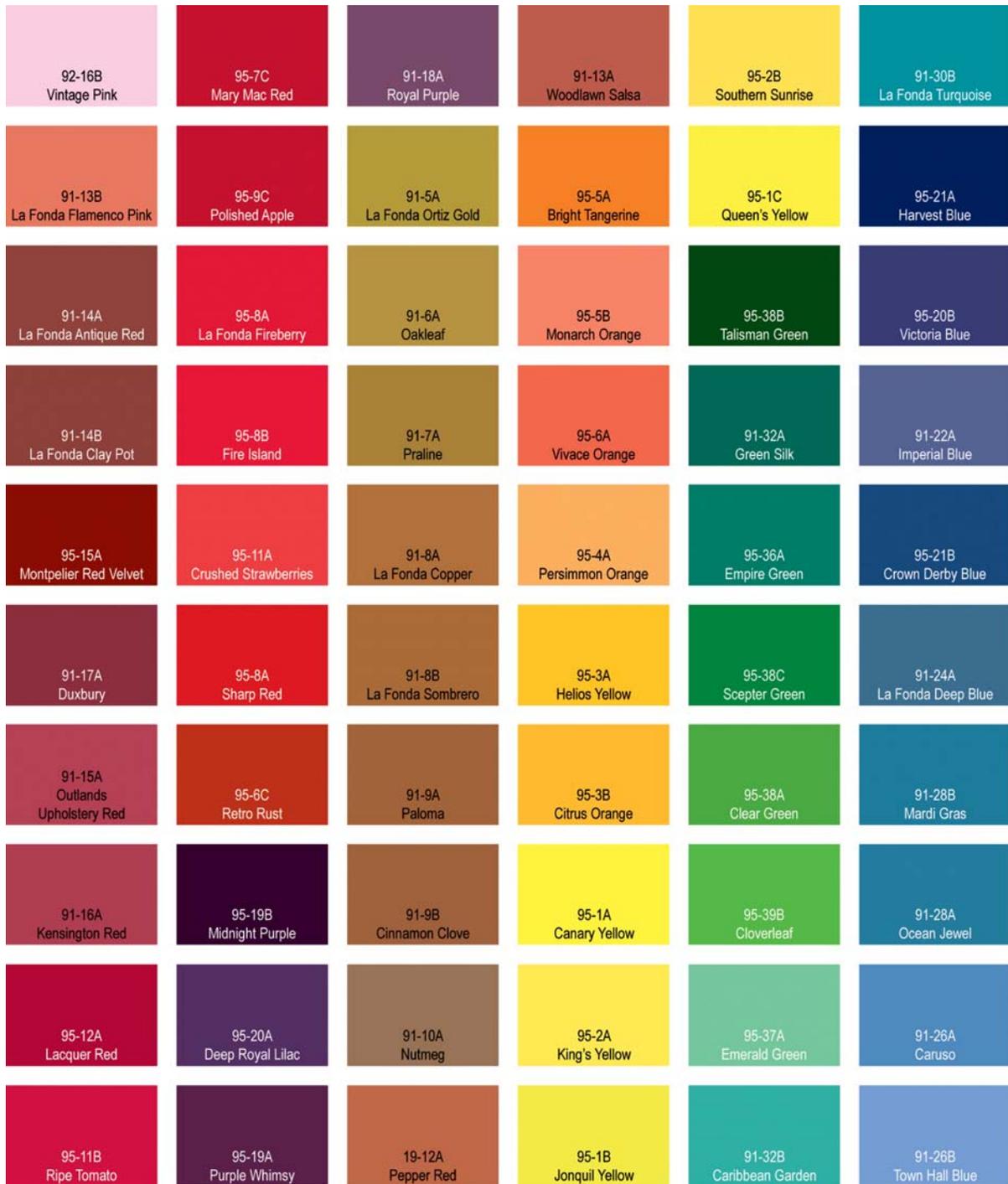
Figure 24: Basic Color Wheel



### 6. Color Palette

- Intense, deep colors are appropriate for creating a Spanish influenced architectural character. Building trims (window sills, door frames, ornamental features, etc.) should be highlighted with a different color from that of the building body color.
- In contrast, the Frame Vernacular architectural style reflects less intense, softer color shades highlighting architectural details in bright white.
- Specific building color shall be selected from the Immokalee Design District Color Palette, shown below as **Figure 25**. Note that due to variations in printed materials these swatch samples are for listing purposes only. True color swatch samples are available at the Immokalee CRA office (for viewing only) and from a Valspar authorized dealer using the name and number of the desired swatch from this list. Any brand of paint may be used as long as the color matches the district colors.
- **Figure 26** illustrates examples and recommendations for color combinations appropriate for downtown Immokalee and the selected architectural styles.
- No more than three (3) different colors or color shades should typically be used on a single building.
- Colors used on a building should not be used to advertise the business. Clashing trim colors will not be permitted.
- A solid color band or color stripes shall not be used for architectural detail, unless the band is consistent with the style and the color of the building.

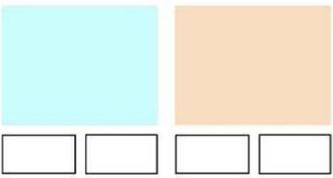
Figure 25: Central Business District Design Overlay Color Palette



'AMERICAN TRADITION' BY VALSPAR

**Note:** Color variations may occur due to printing or scanning. True color swatches may be obtained from the Immokalee CRA office and/ or a Valspar authorized dealer. Swatches should be referred to by name and listed reference number.

Figure 26: Suggested Color Combinations by Architectural Style

<p>Body Color</p>	<p><b>Spanish Vernacular Color Palette</b></p> <ul style="list-style-type: none"> <li>• deep, dark colors</li> <li>• rich, intense hues</li> </ul>	 
<p>Trim Color</p>	<p>Accent Color</p>	 
<p><i>Color Sample Legend</i></p>		
	<p><b>Masonry Vernacular Color Palette</b></p> <ul style="list-style-type: none"> <li>• traditionally earth tones</li> <li>• bright colors encouraged</li> </ul>	  
		  
	<p><b>Frame Vernacular Color Palette</b></p> <ul style="list-style-type: none"> <li>• soft, pastel colors</li> <li>• trim in bright white</li> </ul>	 
		 

### 7. Roof Design

The style of the roof must be consistent with the style of the building and shall adhere to the following requirements:

#### A. Flat Roofs:

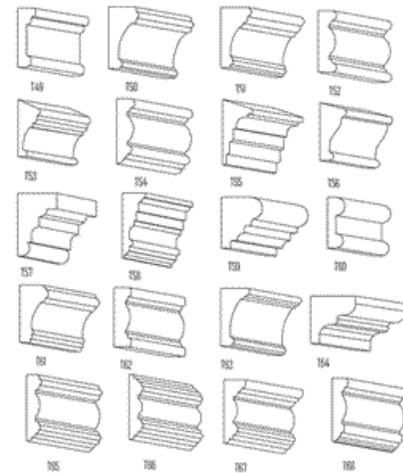
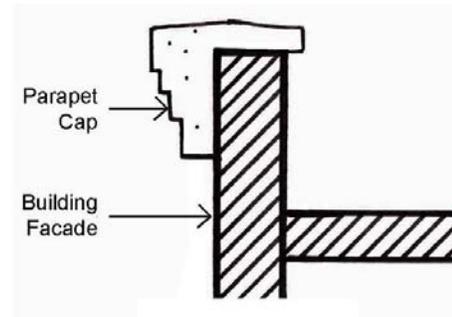
- Flat roofs shall be concealed behind a parapet of no less than three (3) feet in height.
- Parapets used to screen mechanical equipment shall be no less than the maximum height of the equipment.
- Parapet height shall not exceed one-third of the height of the supporting wall.
- Flat roofs shall not exceed 50 feet in width without variation in height (e.g. tower, steps or curves) (see Fig. 27).

Figure 27: Variation in Parapets



- Parapets shall be capped with a three-dimensional cornice (see **Fig. 28**). They may include straight or curved moldings, and should not exceed twenty-four (24) inches in width; twelve (12) inches in height, and a minimum of three (3) vertical changes in plane.

Figure 28: Cornice Example (Allowed)



### B. Sloped Roofs:

- Sloping roofs shall not exceed the average height of the supporting walls (see **Fig. 29**).
- Sloped roofs shall not extend for more than fifty (50) feet along a façade without a roof design variation (see **Fig. 30**).
- Roofs shall have a minimum overhang of two (2) feet beyond the building wall. Roof support brackets are encouraged if consistent with the building style (see **Fig. 31**).
- Pitched roofs should be enhanced by the addition of dormers, belvederes, chimneys, cupolas, clock towers and similar elements.
- Acceptable materials for sloping roofs include metal (standing seam, 5V crimp), terracotta tiles and architectural asphalt shingles, depending on the building style.
- False mansard roofs shall be prohibited (see **Fig. 32**).

Figure 29: Roof Height

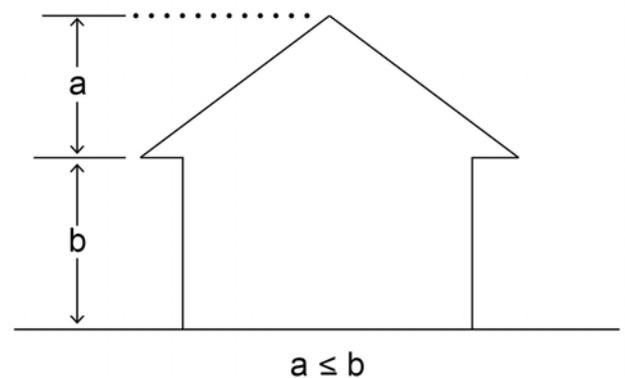
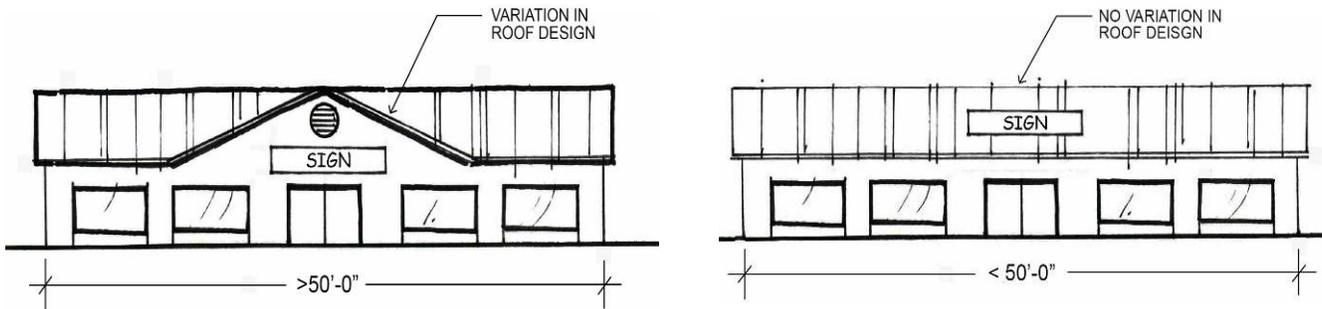


Figure 30: Example Variation in Sloped Roofs



Appropriate



Inappropriate

Figure 31: Examples of Appropriate Roof Brackets

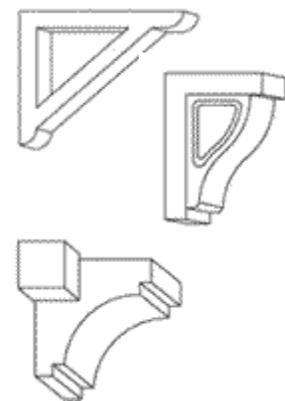
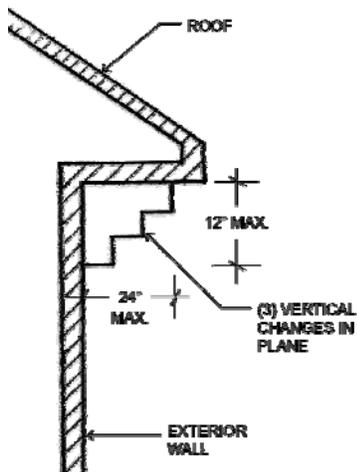


Figure 32: Examples of Prohibited False Mansard Roofs



F. SPECIFIC USES

1. Corporate Trademark Design

Corporate franchises should not be allowed to create visual clutter and to use architecture and building colors to act as signage. Therefore, exceptions to these guidelines shall not be made for corporate franchises. National corporate chains that typically design their buildings to read as signage have been known to modify their designs to blend with the character of a district or neighborhood (see Fig. 33: Corporate Design Standards). These examples shall be used as models for future corporate design and development within the Central Business District Design Overlay.

Figure 33: Corporate Design



No Design Guidelines

With Design Guidelines

### 2. Civic and Institutional Buildings

Many communities are recognizable by their public squares, plazas and civic structures. Civic structures often become landmarks and public gathering places that participate in establishing an identity for the community through distinguishing architectural design.

Civic buildings contain uses of special public importance, such as municipal services, churches, libraries, schools, recreation facilities, and places of assembly. Civic uses should be placed in central locations as highly visible focal points. Where feasible, they should be close to transit stops for ease of use by pedestrians. Civic structures should not be located within storefronts, shopping centers or malls and should not blend with adjacent developments, but rather they should stand out. They are monuments to be recognized as landmarks and appreciated by residents and visitors alike. These types of structures are intended to break the continuity of the streetscape. However, the design, materials and colors should be tasteful and not garish.

### 3. Drive-Through Establishments

Drive-through facilities shall be prohibited along Main Street, and First Street in the CRA because of the potential conflicts with pedestrian traffic, and the interruption of façade continuity necessary for vehicular access. In all other areas, the following standards shall apply:

- ◊ Only one drive-through window per business, with stacking for 3 cars, shall be allowed.
  - ◊ Drive-through windows shall be oriented to the side or the rear of the site so that they are not directly visible from the public right-of-way.
  - ◊ Drive-through lanes must be designed with pedestrian safety as the first priority.
  - ◊ Drive-through structures must have the same detail, materials and roof design of the principal structure.
- A dense hedge of evergreen shrubs shall be provided for the entire length of the drive-through queuing or stacking area in the following manner to screen drive-through windows from the public right-of-way:

Figure 34: Example of Civic Uses



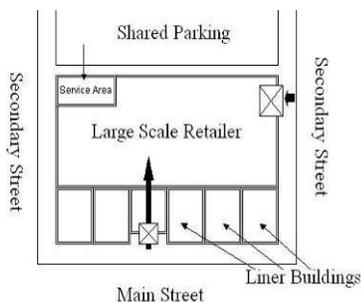
- ◇ At initial planting and installation, shrubs shall be at least thirty (30) inches in height and shall be planted thirty-six (36) inches or less on center.
  - ◇ Within one (1) year of initial planting and installation, shrubs shall have attained, and be maintained at, a minimum height of four (4) feet and shall provide an opaque vegetative screen between the street and the drive-through.
- A pass-through lane shall be required for all drive-through facilities. The pass-through lane shall be constructed adjacent to the stacking lane(s) in order to provide a way out of (or around) the stacking lane(s).

### 4. Big Box Development

Anchor stores that exceed 30,000 square feet have been referred to in the past as “big box” developments. The nickname resulted from many of the buildings designing their stores in the shape of a box with no architectural style and very little detail.

To prevent this box appearance, smaller retail shops (or liner buildings) shall be located close to the street facing the public right-of-way. The liner buildings could be subdivided into several small shops or simply have the appearance of several small shops with window-shopping opportunities. The liner buildings provide a transition from the street to the larger anchor store.

Figure 35: Example Liner Buildings



### G. SITE ACCESS, CIRCULATION, AND PARKING

The following standards are intended to guide the design of access, parking and circulation system to achieve both safety and functionality, and to enhance vehicular connectivity throughout the district.

#### 1. Pedestrian Access and Circulation

- The Immokalee CRA supports the use of alternative modes of transportation to provide access for all residents, including the elderly, youth and physically-impaired. Safe, comfortable and consistent pedestrian connections are required.
- Sidewalks are required on both sides of all streets .
- Sidewalks/walkways shall be provided to connect the primary building to public streets, external sidewalks and outparcels.
- Pedestrian walkways within the development shall be differentiated from the driving surface through a change in material and color.
- Sidewalks within private developments shall be a minimum of five (5) feet wide.

- To increase pedestrian safety, sidewalks and walkways shall be slightly raised at a different grade than the vehicular parking lot, and shall be landscaped and have pedestrian scale lighting.
- Whenever feasible, walkways should be shaded by canopy trees, arbors, awnings or a combination of these.

Figure 36: Pedestrian Walkways



### 2. Vehicular Access, Circulation and Surface Parking

The following standards are intended to avoid large expanses of asphalt and increase the coordination between property owners to achieve a continuous and safe environment for both automobile and pedestrians.

- Not more than ten (10) continuous parking spaces may be allowed without a landscape island of 200 square feet minimum .
- Each landscaping island shall have one (1) acceptable canopy tree or three (3) understory trees, five (5) shrubs and grass cover.
- Parking should be located behind the front building façade to prevent it from dominating the image of the site. Where this is not possible due to site conditions and the parking use extends to the side of the building, a street wall will be required to screen the parking area.

Figure 37: Surface Parking Examples

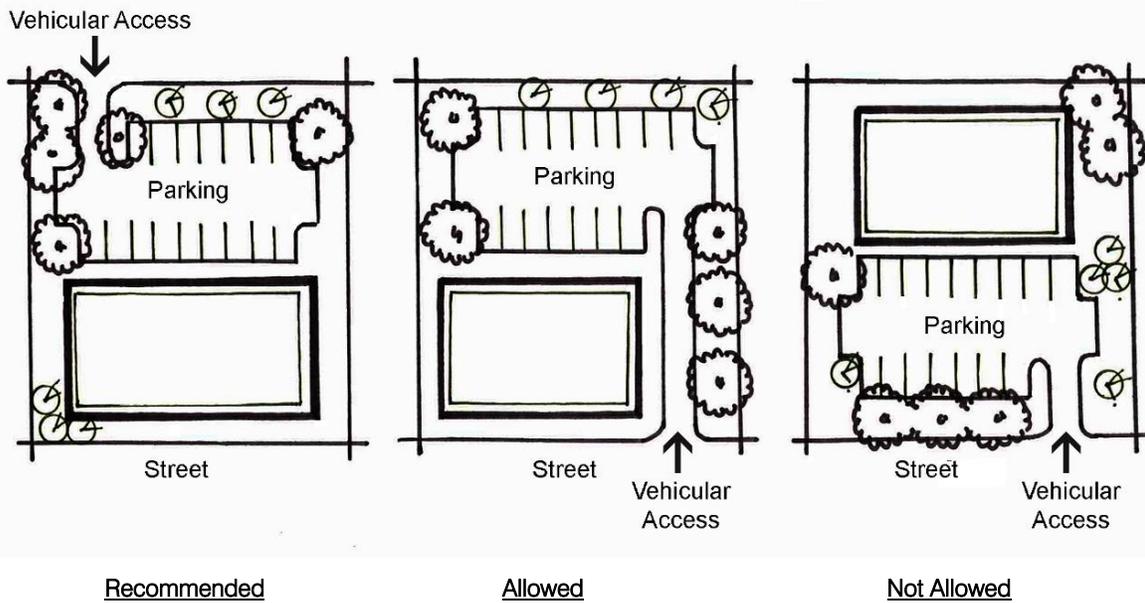


Appropriate



Inappropriate

Figure 38: Parking Lot Placement Examples

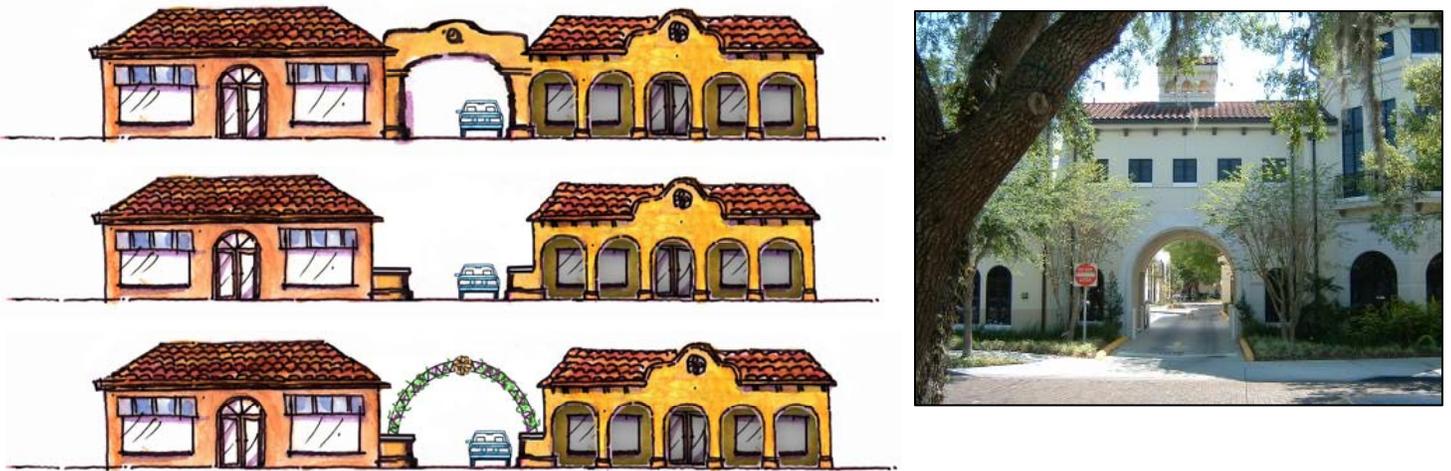


Recommended

Allowed

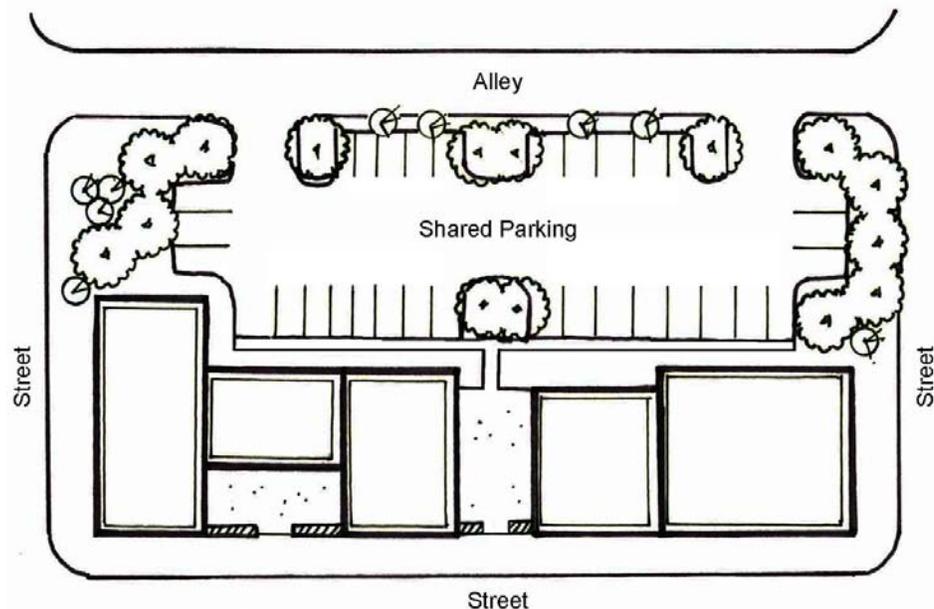
Not Allowed

Figure 39: Vehicular Access to Parking behind a Building Façade



- The use of joint access easements is required between sites to reduce the number of access points and driveway area, and to increase the amount of landscaping.
- Access driveway width should be limited to fifteen (15) feet for one-way driveways and twenty-four (24) feet for two-way driveways.
- When it is feasible to provide vehicular access to a commercial site from a secondary street, without negatively impacting single-family residential uses, it shall be required.
- Should a vehicular access from the main road be necessary due to the lack of access to rear parking from a side street, an alley, or an adjacent property (shared use agreement necessary), the driveway width in this case should not exceed twelve (12) feet and a streetwall, gateway, arch or similar feature should be provided to preserve the block continuity.
- Trailers and boat parking shall be located behind the buildings and shall be fully screened from the view of adjacent properties and roadways.

Figure 40: Shared Parking



### H. LANDSCAPING AND BUFFERS

Landscaping helps create a unified urban appearance; define outdoor spaces; buffer from sun, sound and weather; screen from view; reduce heat island effect; and accentuate building elements and vistas.

Existing native trees shall be maintained to the extent possible and shall be protected during construction, as outlined in LDC 3.05.07, Preservation Standards. When possible, service and utility easements shall be located away from mature trees (eight (8) inch DBH or larger) that can be saved.

Landscape design shall enhance architectural features, visually screen dissimilar uses and unsightly views, reduce noise impacts from major roadways, create barriers between incompatible uses, strengthen important vistas, and reinforce neighboring site design and architecture. Buffers shall not be required in front of the buildings within the design district.

Wherever possible, Florida-friendly landscape techniques and water-saving irrigation practices shall be used to promote green design and sustainability.

### I. WALLS AND FENCES

Walls and fences must meet the following standards:

- Posts and columns should be incorporated into the design of the fence and shall be spaced at six (6) to twelve (12) foot intervals depending on the material and overall length of the wall or fence.
- Posts or columns may include a cap piece extending up to twelve (12) inches above the allowable fence height.
- Chain link and lattice fences are not permitted anywhere in the district.

#### 1. Privacy Fences and Walls

- Fences and walls shall be constructed of brick, vinyl, masonry, stone, or other decorative materials.
- All fences shall have their finished side facing outward.

Figure 41: Examples of Privacy Fences

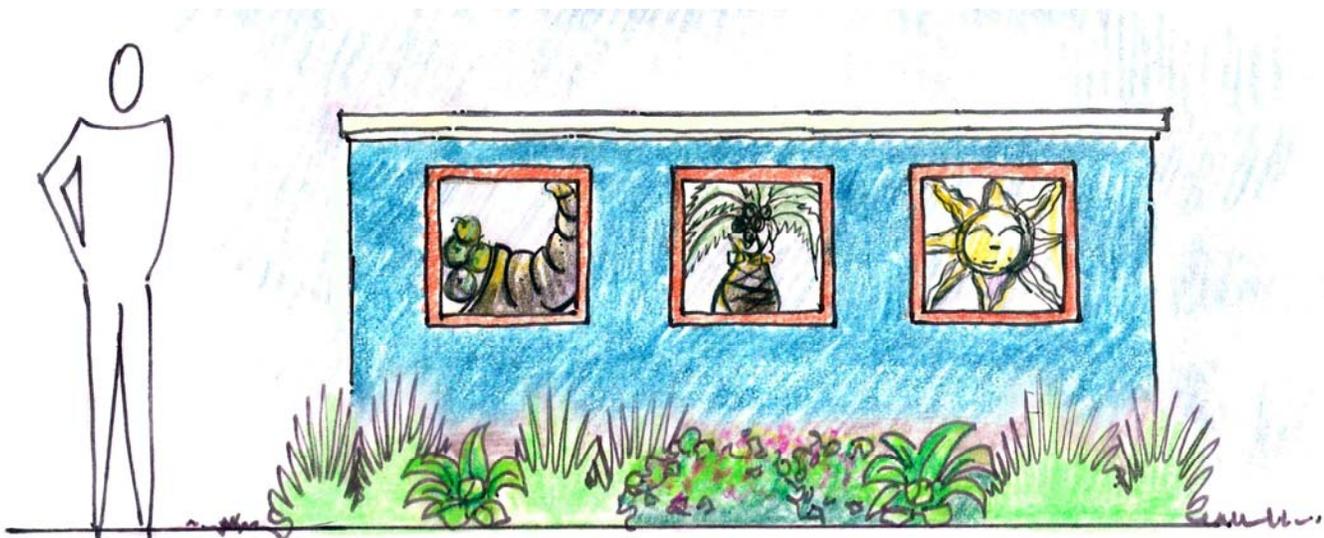
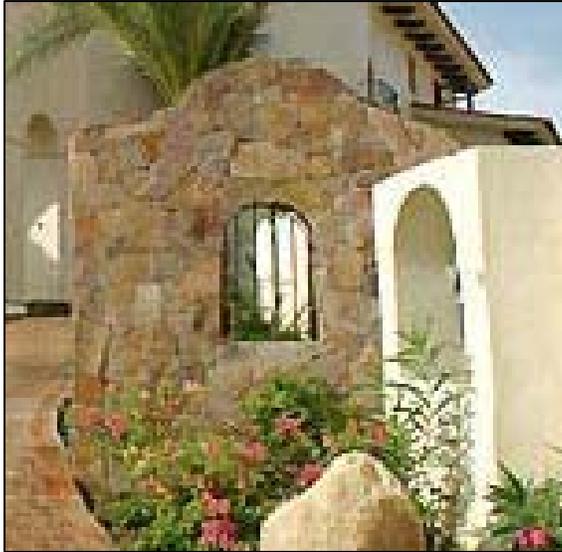
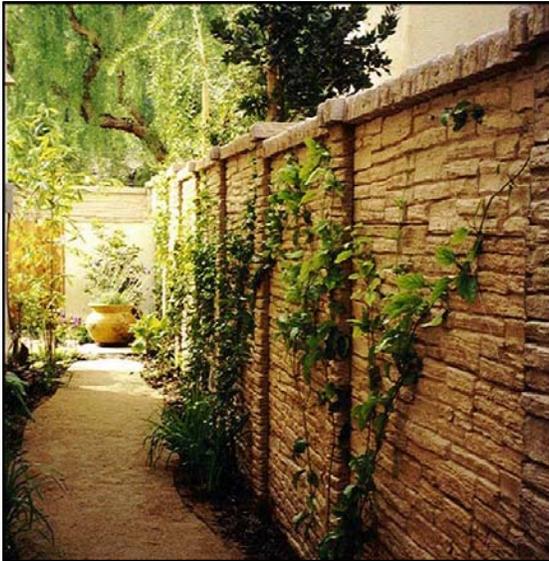


Figure 42: Examples of Privacy Fences



### 2. Streetwalls

- Streetwalls are required to screen off-street parking facilities (spaces or driveways) from the right-of-way.
- Streetwalls shall be a minimum of three (3) feet and a maximum of five (5) feet in height. Streetwalls greater than three (3) feet in height above grade shall be no more than fifty (50) percent solid. (See **Fig. 43**)
- Streetwalls should be designed to complement the principal building style, materials and colors.

Figure 43: Streetwall Height

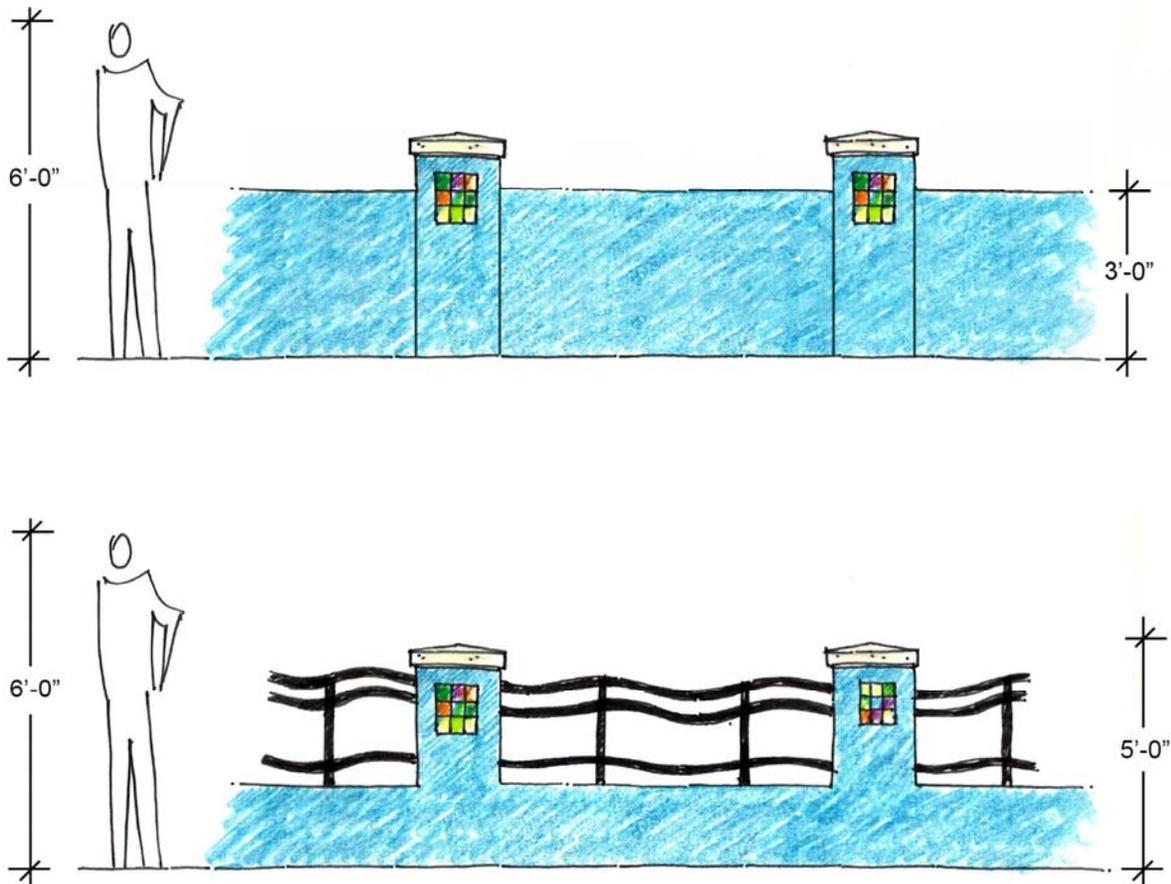


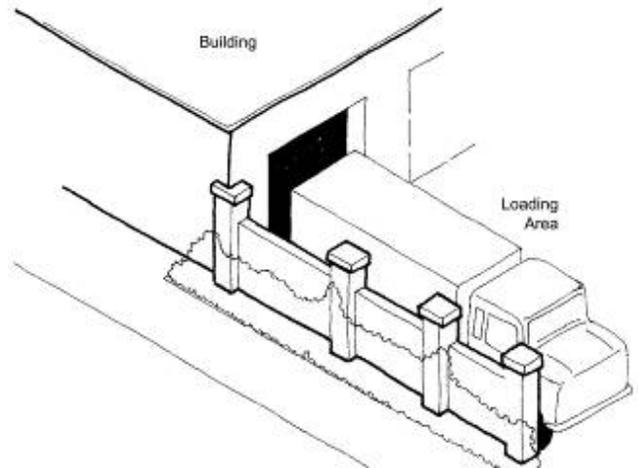
Figure 44: Examples of Streetwalls



### 3. Utilities/Service Areas

- Accessory structures shall have the same architectural detail, design elements and roof design as the primary structure.
- Rooftop mechanical equipment should be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables, parapets or similar features. Plain boxes as the only screening mechanism are not acceptable.
- Equipment installed at ground level shall be screened by low walls or landscaping.
- Areas for outdoor storage, trash collection, and loading shall be incorporated into the primary building design. The materials used shall be of comparable quality and appearance as those of the primary building.
- Loading areas or docks, outdoor storage, waste disposal, mechanical equipment, satellite dishes, truck parking, and other service support equipment shall be located behind the building line and shall be fully screened from the view of public rights-of-way.

Figure 45: Support Service Screening



### J. SIGNS AND MURALS

#### 1. Signs

In addition to LDC Section 5.06.00, the following regulations shall apply to all businesses within the Immokalee CRA Design Overlay district. If any of the provisions noted in this chapter conflict with the current sign code, the most restrictive shall apply.

##### a. Freestanding Signs

- Ground signs are allowed if the building is set-back more than fifteen (15) feet from the front property line, regardless of the site width. This would apply to non-conforming uses such as a gas station within the CBD.
- The design of the ground sign shall be architecturally compatible with the style, composition, materials, colors and level of detail of the principal structure.

##### b. Attached Signs

- Signs shall not cover architectural detailing, windows or building ornamentation
- Pedestrian signs placed under a canopy or arcade perpendicular to the street shall be exempt from signage requirements as long as they do not exceed eight (8) square feet in area. (current restrictions on under canopy or arcade signs?)
- Where possible, signs located on buildings within the same block shall be placed at the same height in order to create a unified sign band.
- Wall signs shall not exceed seventy-five (75) percent of the width of the wall where they are placed, and shall not exceed 10% of the square footage of the façade where the sign is placed.
- The copy area of canopy or marquee signs should not exceed seventy-five (75) percent of the canopy or awning face vertically or horizontally.
- Awning signs shall not be placed on the curved or diagonal portion of the awning. The width of the sign shall not exceed seventy-five (75) percent of the width of the awning.

Figure 44: Example Murals and Wall Art



- Marquee signs shall be erected only within the face of the marquee and shall not extend outside the edge of marquee.

#### 2. Murals and Wall Art

One (1) mural may be allowed per building subject to the following standards:

- The mural shall be placed only on walls with no doors or windows or architectural details/ornamentation. They require approval from the CRA to ensure the artwork does not constitute a sign otherwise permitted or prohibited and that the artwork complements the design of the building in color, shape and location.
- The mural area shall not exceed the square footage of the façade.

## K. PUBLIC SPACE AMENITIES

When public space amenities are grouped together or chosen based on like attributes, such as materials, styles or colors they can create a particular aesthetic or strengthen and unify a design theme. Public space amenities for Immokalee such as fountains, pottery, benches, trash receptacles, public art, etc. can create the rich cultural aesthetic encouraged in Immokalee. The following are examples of public amenities in styles and colors relevant to Immokalee. For full recommendations see the Immokalee Public Realm Report, which can be requested from the CRA office.

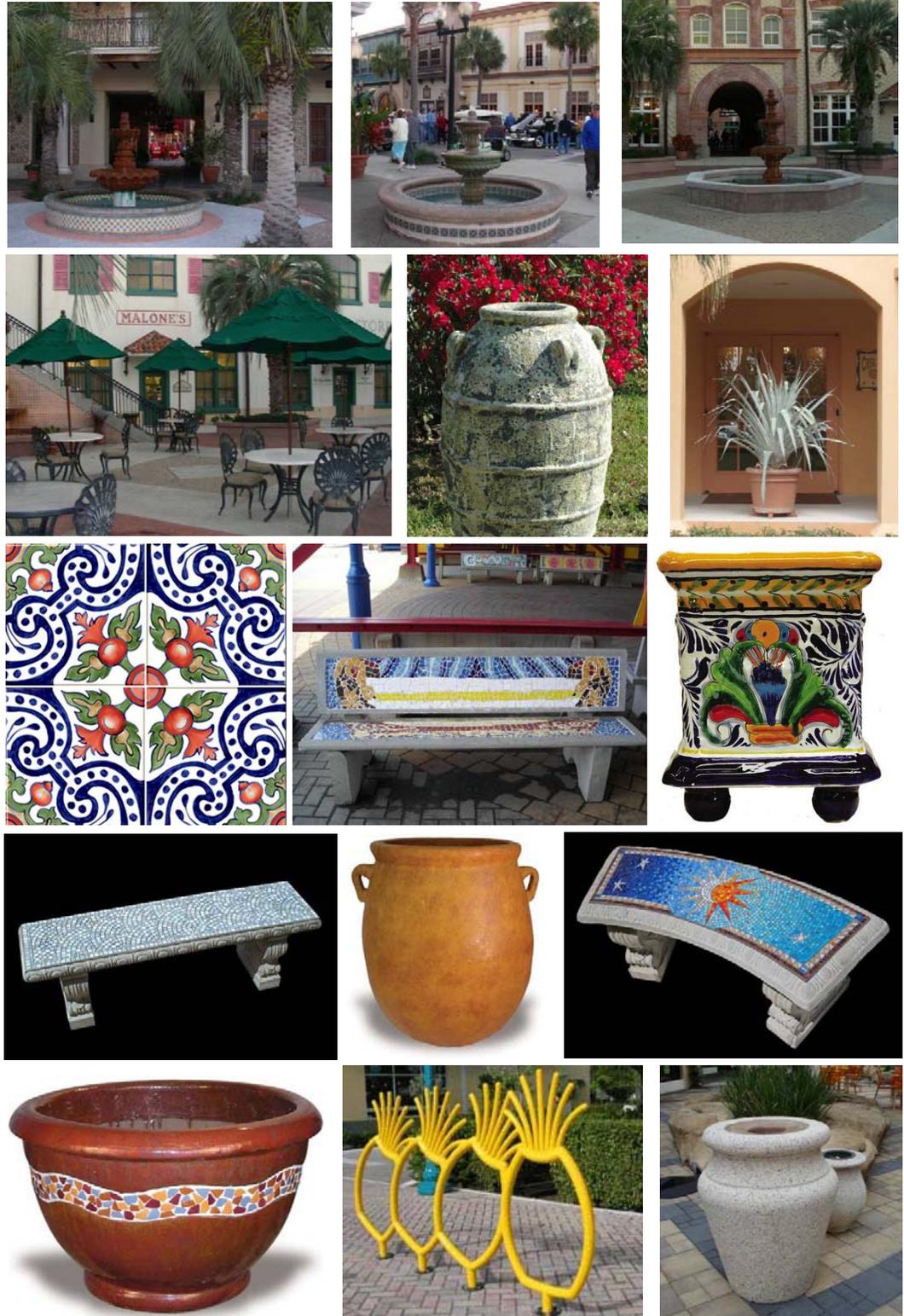


Figure 46:  
Examples of Public  
Amenities Appropriate for  
Downtown Immokalee

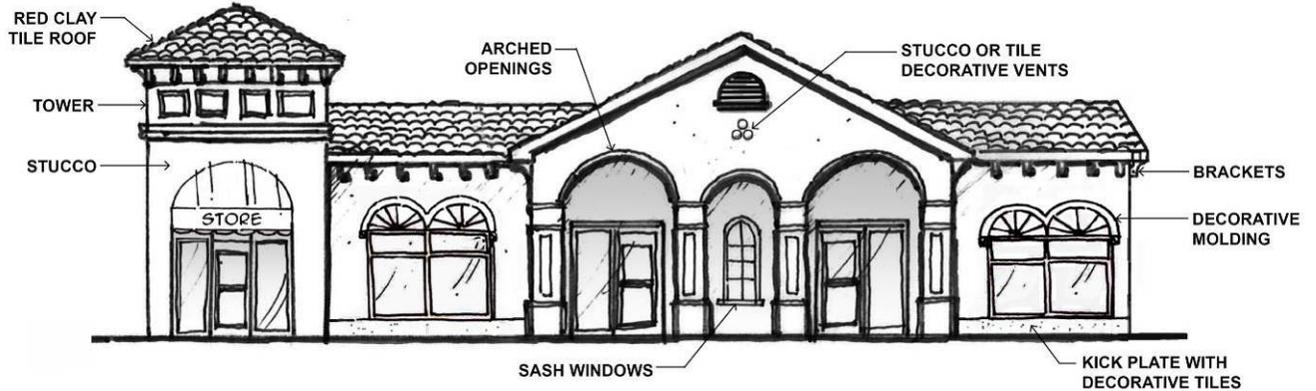
# Appendix: ARCHITECTURAL STYLES

## ARCHITECTURAL STYLES

The following table outlines the main characteristics of each architectural style chosen for the Immokalee Design District. For a building to be considered of a particular style, the elements highlighted in red text, at minimum, shall be used. The following sections show examples of the elements mentioned below.

	Spanish Vernacular		Frame Vernacular
	Mediterranean	Mission	
Roof Types	<i>Multi-level roofs</i> Gable Hip Pent/Visor Parapets	<i>Flat roof with curvilinear parapets are most common</i> Gable and Hip also used Pent/Visor	Gable Hip Pent/Visor Dormers
Roof Materials	<i>Red Clay Barrel Tile (half cylinders) or Spanish Tile (s-curved shape) in red and earth tones.</i>	<i>Red Clay Barrel Tile (half cylinders) or Spanish Tile (s-curved shape)</i>	<i>Metal roof (5v panels or narrow standing seam)</i>
Façade Materials	<i>Stucco with sand finish or hand troweled</i>	<i>Stucco with sand finish or hand troweled</i>	<i>Lapped siding with corner boards (wood or vinyl)</i> Vertical board & batten siding Pattern shingles (for accent)
Windows	<i>Arched windows (some triple-arched)</i> Vertical in proportion Half round transom above windows Sashed	Vertical Half round transom Sashed	Tall and narrow proportion Sashed Window and door trim projects out from wall cladding
Building Color	Typically earth tones; however, due to heavy influence from Central & South America brighter colors are encouraged	Typically earth tones; however, due to heavy influence from Central & South America brighter colors are encouraged	Typically pastel colors with white trim/accent; however, due to heavy influence from Central & South America brighter colors are encouraged
Ornamentation	Arcades Balconies  <i>Full arches</i> Wrought iron, wood or cast stone railings  <i>Patterned tiles or single tiles used for accent</i> Carved stone work Wood or iron window grilles Tile vents	Arcades Balconies  <i>Full arches</i> Wrought iron, wood or cast stone railings Patterned tiles or single tiles used for accent Carved stone work Wood or iron window grilles Tile vents	Porches Columns, spindles (square or  <i>Gable end or eave brackets</i> Shutters  Transom windows
Fences	Combination of masonry and wrought iron	Combination of masonry and wrought iron	Wood picket fences

## A. SPANISH VERNACULAR ARCHITECTURE 1. Mediterranean Style Architecture



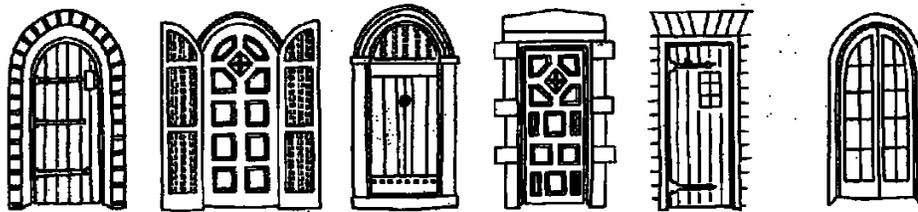
Clay Tile



Patterned Tile



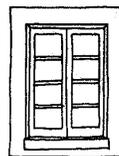
Arches



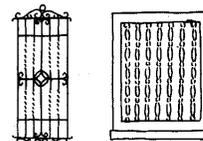
Typical Doors  
and Door  
Moldings



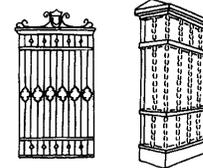
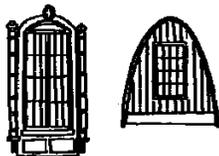
Focal Windows



Casement Windows



Window Grilles



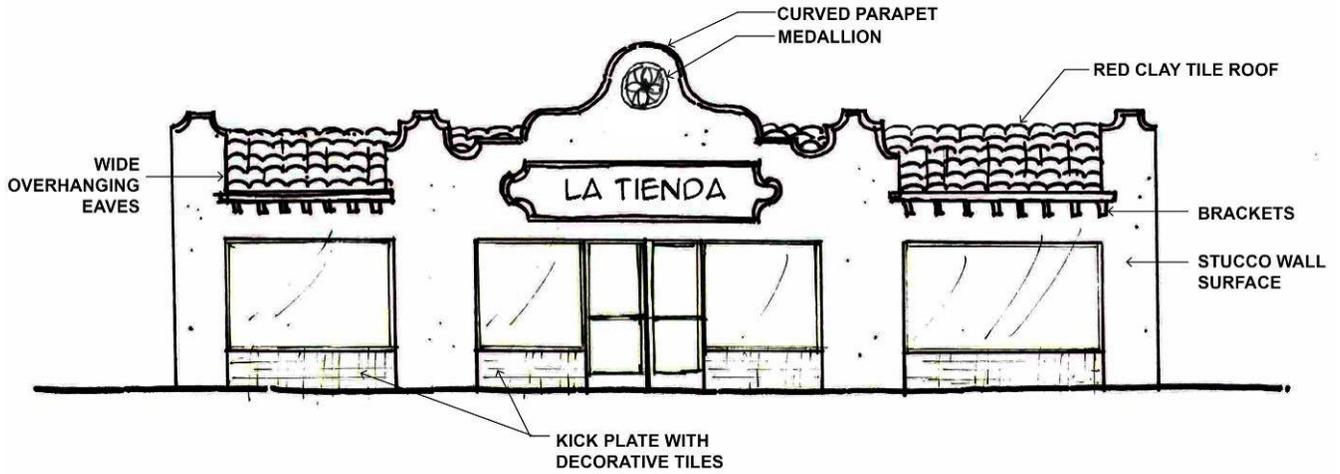
## Streetwalls



## Examples of Mediterranean Buildings



## 2. Mission Style Architecture



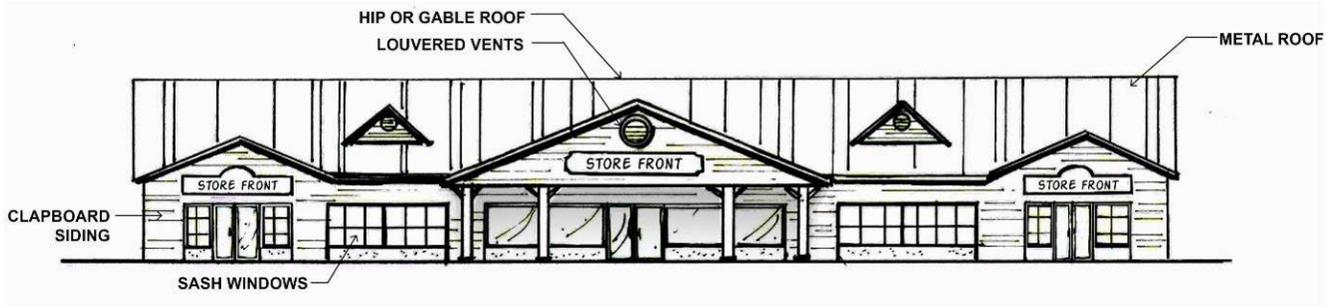
### Streetwalls



### Examples of Mission Buildings



## B. FRAME VERNACULAR ARCHITECTURE



Streetwalls



Examples of Frame Vernacular Buildings

