

Collier County Community Redevelopment Agency

IMMOKALEE CRA

i The Place to Call Home !

**THE IMMOKALEE
LOCAL
REDEVELOPMENT
ADVISORY (CRA) BOARD
MEETING**

May 15, 2024

8:30 A.M.



Immokalee
Florida in the 21st century

IMMOKALEE

CRA Collier County Community
Redevelopment Agency


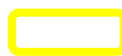


2024

CRA Meetings held every third Wednesday of the month.


MSTU Meetings held every fourth Wednesday of the month.

January							February							March							April						
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-  CRA Meeting
-  MSTU Meeting
-  Special Meeting
-  BCC Joint Workshop
-  Joint Meeting
-  Cancelled
-  No Meeting

All meetings held at CareerSource SWFL located at 750 South 5th Street, Immokalee FL unless otherwise noted.

All meetings are held at the CareerSource SWFL Conference Room located at 750 South 5th Street, Immokalee, FL 34142 unless otherwise noted. CRA Meetings are held every third Wednesday of the month. MSTU Meetings are held every fourth Wednesday of the month.

 Hybrid Remote Public Meeting

Some of the Board Members and staff may be appearing virtually, with some Board Members and staff present in person. The public may attend either virtually or in person. Space will be limited.

CRA Board

Commissioner
William McDaniel Jr.
Co-Chair
District 5

Commissioner
Dan Kowal
Co-Chair
District 4

Commissioner
Burt L. Saunders
District 3

Commissioner
Chris Hall
District 2

Commissioner
Rick LoCastro
District 1

CRA Advisory Board

Mark Lemke
Chairman

Anne Goodnight
Vice-Chair

Mike Facundo
Andrea Halman
Frank Nappo
Estil Null

Edward "Ski" Olesky
Yvar Pierre
Lupita Vazquez Reyes

MSTU Advisory Committee

Andrea Halman
Chairman

Bernardo Barnhart
Vice-Chair

Christina Guerrero
Norma Garcia
Cherryle Thomas
David Turrubiarz Jr.

CRA Staff

Christie Betancourt
Program Manager

Yvonne Blair
Project Manager

Yuridia Zaragoza
Administrative
Assistant

**Meeting of the Collier County Community Redevelopment Agency
Immokalee Local Redevelopment Advisory Board.**

AGENDA

Hybrid Remote Public Meeting

(*Please see details below)

Immokalee CRA
750 South 5th Street
CareerSource SWFL
Immokalee, FL 34142
239.867.0025

May 15, 2024 – 8:30 A.M.

- A. Call to Order
- B. Pledge of Allegiance and Prayer
- C. Roll Call and Announcement of a Quorum
- D. Voting Privileges for Board Members via Zoom (*Action Item*)
- E. Approval of Agenda (*Action Item*)
- F. Approval of Consent Agenda (*Action Item*)
 - 1. Minutes
 - i. Joint CRA & MSTU Advisory Board Meeting for April 17, 2024 (Enclosure 1)
 - 2. Budget Reports (Enclosure 2)
 - 3. Code Enforcement Report (Enclosure 3)
 - 4. Staff Reports
 - i. Program Manager Report (Enclosure 4)
 - ii. Project Manager Report (Enclosure 5)
 - iii. Community Meetings (Enclosure 6)
- G. Announcements
 - 1. Public Comment speaker slips
 - 2. Communications Folder
 - 3. Collier County Public Schools (CCPS), Chad Oliver (Enclosure 7)
 - 4. New CRA Director, John Dunnuck
- H. Other Agencies
 - 1. FDOT updates
 - 2. Collier County Parks & Recreation (Enclosure 8)
 - 3. Other Community Agencies
- I. Community Presentations
 - 1. Immokalee One-Stop Mixed Use (MPUD), Peninsula Engineering (Enclosure 9)
- J. Old Business
 - 1. Brief Staff project update
 - i. First Street Corridor Pedestrian Safety Project (Enclosure 10)
 - 2. Land Development Code (LDC) update
 - i. Summary Handout (Enclosure 11a)
 - ii. Draft LDC Amendment Language (Enclosure 11b)
- K. New Business
- L. Citizen Comments

M. Next Meeting Date

The **CRA Board** will be meeting on Wednesday, *June 19, 2024*, at 8:30 A.M. at CareerSource SWFL

N. Adjournment

*** Hybrid Remote Public Meeting**

Some Advisory Board members and staff may be appearing remotely, with staff present in person. The public may attend either virtually or in person.

If you would like to provide public comment, participate, and/or attend the meeting, please contact Yuridia Zaragoza via email at Yuridia.Zaragoza@colliercountyfl.gov by May 14, 2024, at 4:00 P.M.

You may attend the meeting in person on May 15, 2024, at the CareerSource SWFL Conference Room, 750 South 5th Street, Immokalee, FL 34142.

The public is reminded that the CDC and Department of Health recommend social distancing and avoiding public gatherings when possible.

All meetings will be publicly noticed in the W. Harmon Turner Building (Building F), posted at the Immokalee Public Library, and provided to the County Public Information Department for distribution. Please contact Yuridia Zaragoza at 239.867.0025 for additional information. In accordance with the American with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact Christie Betancourt at least 48 hours before the meeting. The public should be advised that members of the CRA/MSTU Advisory Committee are also members of other Boards and Committees, including, but not limited to: the Immokalee Fire Commission. In this regard, matters coming before the Advisory Committee/Board may come before one or more of the referenced Board and Committees from time to time.

MINUTES

Joint Meeting of the Collier County Community Redevelopment Agency Immokalee Local Redevelopment Advisory Board and the Immokalee MSTU Advisory Committee on April 17, 2024. The Advisory Board members, staff, and public appeared virtually and in person.

Hybrid Remote Public Meeting

CareerSource
750 South 5th Street
Immokalee, FL 34142

A. Call to Order.

The meeting was called to order by CRA Vice-Chair Patricia Anne Goodnight at 8:32 A.M.

B. Pledge of Allegiance and Moment of Silence.

Patricia Anne Goodnight led the Pledge of Allegiance and asked for a moment of silence.

C. Roll Call and Announcement of a Quorum.

Christie Betancourt opened roll call. A quorum was announced for the CRA Board. At 8:44 A.M. a quorum was announced for the MSTU Committee.

CRA Advisory Board Members Present in Person:

Patricia Anne Goodnight, Mike Facundo, Andrea Halman, Estil Null, Edward “Ski” Olesky, and Yvar Pierre.

CRA Advisory Board Members Present via Zoom:

Frank Nappo and Lupita Vazquez Reyes.

CRA Advisory Board Members Absent/Excused:

Mark Lemke.

MSTU Advisory Committee Members Present:

Andrea Halman, David Turrubiarz Jr., and Bernardo Barnhart (8:43 A.M.).

MSTU Advisory Committee Members Present via Zoom:

None.

MSTU Advisory Committee Members Absent/Excused:

Cherryle Thomas, Norma Garcia, and Christina Guerrero.

Others Present in Person:

Abra Horne, Kimberly Warren, Lauren Brooks, Misty Smith, James Klewicki, Tanya Williams, Gil Tabares, Lee Van Gelder, Stephen Thomas, Aristeo Alviar, Randi Swinderman, Victoria Peters, Armando Yzaguirre, Andrew VanValin, and Commissioner Bill McDaniel.

Others Present via Zoom:

Yvonne Merat, Andrew Cribbs, Cristina Perez, Dottie Cook, Dr. Jamie Khemraj, Kyle Pryce, Melissa Silva, and Sarah Harrington.

Staff Present in Person: Christie Betancourt, Yvonne Blair, and Yuridia Zaragoza.

D. Voting Privileges for Board Members via Zoom

Staff announced that they have CRA Board Members on Zoom.

CRA Action: Mr. Edward “Ski” Olesky made a motion to allow Board members on zoom privileges. Mr. Estil Null seconded the motion, and it passed by unanimous vote. 6-0.

MSTU Action: *No Action Taken.*

E. Approval of Agenda.

Staff presented the Agenda to the Boards for approval. Agenda was approved as presented.

CRA Action: *Mr. Estil Null made a motion to approve the Agenda as presented. Mr. Edward “Ski” Olesky seconded the motion, and it passed by unanimous vote. 8-0.*

MSTU Action: *Mr. David Turrubiardez Jr. made a motion to approve the Agenda as presented. Mr. Bernardo Barnhart seconded the motion, and it passed by unanimous vote. 3-0.*

F. Approval of Consent Agenda

1. Minutes
 - i. CRA Advisory Board Meeting for March 20, 2024 (Enclosure 1)
 - ii. MSTU Advisory Committee Meeting for March 27, 2024 (Enclosure 2)
2. Budget Reports (Enclosure 3)
3. Code Enforcement Report (Enclosure 4)
4. Staff Reports
 - i. Program Manager Report (Enclosure 5)
 - a. Redevelopment Plan Implementation (Enclosure 5a)
 - ii. Project Manager Report (Enclosure 6)
 - iii. Project Observation Field Report (Enclosure 7)
 - iv. Community Meetings (Enclosure 8)

Staff presented the Consent Agenda to the Boards for approval. On Item F.4.i. on Packet Page 44, Ms. Christie Betancourt provided an update on the Unpaved Private Road Emergency Repair MSTU (Municipal Service Taxing Unit). She informed everyone in attendance that county staff reported that they are currently in the bidding process to secure a contractor for the repairs. Little League Road is included in the first round of this bid.

Consent Agenda was approved as presented.

CRA Action: *Mr. Edward “Ski” Olesky made a motion to approve the Consent Agenda as presented. Mr. Estil Null seconded the motion, and it passed by unanimous vote. 8-0.*

MSTU Action: *Mr. David Turrubiardez Jr. made a motion to approve the Consent Agenda as presented. Mr. Bernardo Barnhart seconded the motion, and it passed by unanimous vote. 3-0.*

G. Announcements.

1. Public Comments speaker slips
CRA Staff reiterated the public 3-minute speaker slip policy. The Board will give more time if they feel it necessary.

2. Communications Folder

Staff reviewed the communication folder with the board and members of the public. The folder included the public meeting for the Joint CRA & MSTU meeting, the updated 2024 Public Meeting Calendar for the Immokalee CRA and MSTU, pictures of the Neighborhood Cleanup in Immokalee, updates from Collier County Parks & Recreation Department on the Immokalee Parks, flyers for the Free Transportation with CAT, and the SR 29 PD&E Study handout.

H. Other Agencies

1. Other Community Agencies

Collier County Parks and Recreation, Randi Swinderman

Ms. Randi Swinderman provided updates. She informed everyone in attendance that the pathways near the baseball field at the Immokalee Community Park will be repaved starting April 19, 2024. Staff have also been redoing the restrooms at the Immokalee Community Park. They will continue to work on these improvements inside and outside of the restrooms. Ms. Swinderman also provided updates on the Immokalee Sport Complex. Staff have replaced the glass mirror that was broken in the fitness center. Staff have also been working on quoting the equipment. They are also registering for Summer Camp that will cover the 10 weeks that the children are out of school in the summer, which will be held at the Immokalee Community Park.

Mr. Aristeo Alviar asked if the restrooms near the softball field and concession stand are set to be updated as well as providing toilet covers for the men restroom. Ms. Swinderman followed up and said the restrooms are not under current renovation, but staff will put in toilet covers for the men's restroom.

Ms. Andrea Halman asked about the status of trimming the trees at the Immokalee parks.

Ms. Swinderman followed up and said that staff will trim the trees, however, it is one of the projects within the Facilities Department to redo the parking lot at the Immokalee Community Park and Immokalee Sports Complex. They will probably remove some of the oak trees due to the havoc that occurs underneath the concrete. An exact number can't be given but there are plans. In some cases, they do plan to replace those trees with other trees that do not have much of an impact.

Ms. Lupita Vazquez Reyes asked Ms. Swinderman if any arborist are used to decide on which oak trees or trees species get cut down or pruned.

Ms. Swinderman said that staff do consult arborist. Staff know that although trees provide a lot of shade, they also do a lot of disruption to the parking lots and sidewalks.

Ms. Reyes advocated for the trees and commented on the importance of having alternative plans and design so that shade is kept for community members.

Ms. Swinderman also reiterated on the importance of keeping areas shaded for the community.

Code Enforcement, Cristina Perez

Ms. Cristina Perez provided information on the Immokalee Clean up that occurred over the weekend. Staff collected 9.17 tons of materials. There was almost 5 tons of construction and demolition debris, 1.83 tons of yard waste, and 2.5 tons of tires collected. A total of 17 customers dropped off hazardous waste materials including, 790 pounds of paint, 40 gallons of oil, 11 televisions and 24 car batteries.

Ms. Andrea Halman asked Ms. Perez if she had information on when the signs will come down from the building on First Street.

Ms. Perez said there is no cooperation from the business owner, so the case is going to be prepped for hearing and it will be on the next month's code enforcement agenda. Ms. Perez said that she will keep Ms. Halman posted on this case.

FDOT, Victoria Peters

Ms. Victoria Peters informed everyone in attendance that she will be leaving District One. She was promoted and will be moving to Fort Lauderdale. She said that Immokalee is a great community, and she has enjoyed working with everyone. Her supervisor, Mr. Wayne Gaither, is working to get a temporary and permanent replacement for her position and he knows that Immokalee is an important community. She will be in District 4 with FDOT and said that her contact information is expected to be the same, so she hopes that members stay in touch. She complimented Ms. Christie Betancourt and wished everyone success.

Ms. Andrea Halman complimented Ms. Peters for all that she has done.

I. Community Presentations

1. FDOT – SR29 PDE Project Update

Ms. Abra Horne introduced herself. She works with District One with the Environmental Management Office. She informed everyone in attendance that this study has been going on for some time, but it has been for a good reason so that they could come up with solutions that are acceptable to the community as well as respond to the comments that have been given.

She provided a brief background on the video presentation and informed everyone that a public hearing was held in 2018. She said that the purpose of this presentation, office hours at the Immokalee Library, and virtual office hours on April 23, 2024, is to inform others on the requirements that will occur.

Ms. Horne presented a 7-minute video presentation, The video presentation provided information on the Project Overview, Design Refinements, Previous Engagements, and the Next Steps.

* *Presentation is attached for the record.*

* *Video link is available here: [SR 29 Presentation Final with Subtitles.mp4](#)*

- **Project Overview**
FDOT began the PD&E study on June 2, 2007, to increase capacity and improve traffic flow for approximately 17 miles on State Rd 29, between Oil Well Road and SR 29. FDOT evaluated several different alternatives to widen the existing 2 lanes to 4 lanes and a new roadway.
- **Design Refinements**
The design requirements take place in the northern section of the project from County Road 846 or Immokalee Rd to SR 82. There have been no refinements made South of County Road 846 (Immokalee Road). Many of the project alternatives that were considered were eliminated based on in-depth environmental and engineering analysis and community input. This project was included in the Moving Florida Forward Infrastructure Initiative. Refinements include a 12-foot shared use path, 10-foot shared use path, roundabouts, widen lane by one foot, design speeds, and nine pond sites. FDOT anticipates completion of this PD&E Study in Summer 2024.
- **Previous Engagements**
FDOT offered multiple opportunities for the community to provide input during the project. Project Newsletters were sent to community members within the study area, as well as to other interested parties. Seven newsletters have been sent overall. FDOT is required to advertise in a variety of other ways for each public meeting.
- **Next Steps**
A public meeting for the design segments is tentatively scheduled for 2025.

Ms. Andrea Halman commented on the number of advertisements made to spread the information to others. She said that there's not much of a target audience to where the advertisements are made. She asked if the information on the upcoming meeting at the library can be posted on social media such as Facebook.

Ms. Abra Horne said that this can be shared by anyone in the community if they'd like. However, FDOT staff would need to get permission and they have policies and procedures. Ms. Horne said she will share the comment to their design team as they move forward to make sure they are reaching out to everybody. She also said that information is mailed to those who own property along the projects.

Mr. Bernardo Barnhart commented on the mail outs that have been handed to community members who have businesses down New Market Road. Many have notified him that they have received the information on this study, they are excited to see how this project moves along. He complimented FDOT staff in their efforts to provide information to the community members.

Ms. Christie Betancourt commented on the concerns she has received regarding the mailouts. She understands that the mailouts are provided to those who are within the project area, however, with the magnitude of this project, this information should have been sent to the whole Immokalee Area. Ms. Horne followed up and said that FDOT staff will look into the ideas that have been made on advertising.

Ms. Anne Goodnight provided a comment and said that staff should take notice and be sure that the roundabouts and roadways are convenient enough for Semi-Trucks to come in and out to pick up their produce.

Ms. Horne provided information on a software called Auto Term that is used by FDOT. The software helps staff evaluate what type of vehicles can make it through the roundabout and help how to design it appropriately.

Ms. Lupita Vazquez Reyes commented on the current PD&E study phase and asked on the environmental impacts such as noise pollution. She asked if homeowners on Madison Avenue are set to have any incentives for noise barrier. She also asked on the impact on the shallow watershed.

Ms. Horne followed up and said that staff looked at the engineering analysis, and a good amount of time is spent on the environmental analysis including noise. She will ask Mr. Jeffrey James to contact Ms. Reyes so that he can provide more information on the noise. As for the water quality, Ms. Horne said she will set up a meeting with Ms. Reyes to discuss into further detail.

Ms. Christie Betancourt welcomed everyone to attend the informational meeting at the library to know more on the SR29 PD&E Study.

2. Pulte Family Charitable Foundation – Nuestra Senora de la Vivienda Community Foundation - Andrew VanValin

Mr. Andrew VanValin provided updates on the current progress of the project with Pulte Family Charitable Foundation and Nuestra Senora de la Vivienda Community Foundation. They received a rezone approval in October 2023. Mr. VanValin said that they have decided on a name for the residential community. The name decided on is Monarca with the symbol being the Monarch butterfly. They were able to speak with several residents in the community and the name and symbol of the butterfly was the overwhelming favorite.

The PUD is a Mixed PUD, they received an approval for an early education center and 250 horizontal multi-family units. The plan has come out to 179 single family homes and town homes. The one-story is a 3-bedroom unit, two-story is a 4-bedroom unit, and the townhome building which is 4 units in the building is 2 bedrooms.

Mr. VanValin presented the site plan. There will be available space for residents in the community to utilize for oversized vehicles. As for the Early Education Center, they have been in conversation with a local education center about potentially wanting to expand into the space. The Pulte Family Charitable Foundation and the Nuestra Senora de la Vivienda will not be involved in the development of the 3 Acres.

They are currently submitting a Site Development Plan (SDP) to Collier County for Phase 1, which includes 64 units, the community center building, playground, storm water, lake, and pathway around it. Mr. VanValin is unsure if there will be a Phase 2 or Phase 2 and Phase 3. This will be determined on how Phase One and funding goes.

Ms. Christie Betancourt asked if the base infrastructure will be done for the whole property for the underground utilities.

Mr. VanValin informed Ms. Betancourt that the utilities and streets will be stubbed out. Mr. VanValin presented the information on the 3-bedroom homes, 4-bedroom homes, two-bedroom townhomes, and rendering of the leasing office. The State of Florida updated the Florida Housing Finance Corporation numbers. The goal of the project is to help as many families as possible that are low income. Mr. VanValin presented the income and rent limits. The project timeline was presented and showed the current progress of the development.

Ms. Andrea Halman complimented Mr. VanValin and said that he has listened to the input of board and community members.

Mr. Bernardo Barnhart also complimented Mr. VanValin approach in listening to community members concerns and needs in a home, especially with the idea of having an outdoor shower for those who would like to keep their family safe from chemicals that come from their workplace.

Ms. Lupita provided a comment online and asked why the developments are only rental and not home ownership. Mr. VanValin reiterated that the main goal is to help families that are at the real low end of the income spectrum and help provide a more stable, secured, and safe home.

** Presentation is attached to the minutes for the record.*

J. Old Business.

1. Lease Amendment (Enclosure 9)

Staff provided Enclosure 9, which is the lease amendment. Staff would like to secure office space. Staff have looked for other spaces just in case the current building they're in sells since the owners have moved forward with the rezone and the building is currently up for sale. Staff would like to move forward and do a third renewal until a new location is found.

Ms. Andrea Halman said she has concerns that the current building staff is using is up for sale and commented on the need to find space.

Commissioner McDaniel provided a comment to staff and said that they should move forward with the lease renewal. He provided brief information on the idea to remodel the government facility over by the Sheriff's Office, however, he's unsure if this is in the upcoming budget cycle. After brief discussion, the board made a motion.

CRA Action: Ms. Andrea Halman made a motion to approve the First Amendment to Lease Agreement with Southwest Florida Workforce Board to provide office space for the Community Redevelopment Agency staff in Immokalee. Mr. Estil Null seconded the motion, and it passed by unanimous vote. 8-0.

2. Advisory Board

i. CRA Application

a. Yvar Pierre (Enclosure 10)

Staff provided Enclosure 10, which is Ms. Yvar Pierre application. Staff said that the other two were renewed at the last meeting. This application is also for a board member reappointment.

CRA Action: Mr. Estil Null made a nomination to reappoint Yvar Pierre to the Immokalee Local Redevelopment Advisory (CRA) Board. Ms. Andrea Halman seconded the motion, and it passed by unanimous vote. 8-0.

ii. MSTU Advisory Board Vacancy update

Staff provided an update on the vacancy for the MSTU Advisory Board. If anyone has recommendations, members are welcomed to share the information to staff. Applicants must be a registered voter with Collier County.

3. Contractor Maintenance Reports

i. A&M Property Maintenance Report & Schedule (Enclosure 11)

Staff provided Enclosure 11, which is the look ahead for May and work that has been completed for April and March. Staff informed board members that they have finished a solicitation draft for the Zocalo maintenance. Mr. Armando Yzaguirre is doing it in the interim until a solicitation goes out. Staff are attempting to do a three year with two one-year renewable term, which will be a five-year contract. Staff also commented on the help they have received with the Sheriff's office and the issues of the water fountain that is located at the Zocalo Plaza. Staff are considering removing the fountain, but no decision has been made.

A&M Staff, Mr. Armando Yzaguirre, provided updates. A schedule has been done for the Panther Welcome Sign. As for the homeless situation, he said that the homeless have made some progress in leaving the area before A&M staff arrive. The light poles will be painted, and he hopes to have an update at the next meeting. He also commented that the water bill will be much higher since the dry season has started.

Ms. Christie Betancourt provided a commented on the importance of participation for the MSTU Walking Tour.

4. Brief Staff Project update

i. Land Development Code (LDC) update

Staff provided an update on the Land Development Code (LDC). The LDC is currently with Legal. The Neighborhood Company will be presenting in May.

ii. Lake Trafford Rd. Corridor Lighting update

Staff provide background on the lighting design that Jacobs Engineering is work on for the Lake Trafford Rd. Corridor. Jacobs advised that the County's sidewalk project along Lake Trafford Road and Carson Road will impact the lighting design project. The end date is of concern, so Jacobs requested a Stop Work Notice on the lighting design project. Jacobs is currently pursuing a Change Order for the sidewalk project that includes the relocations of up to 7,500 LF of water and wastewater utility and up to 25 water connections to private service. As a result of the changes to the sidewalk project, there will be potential conflict on designing the location for the street lighting poles on the lighting design project. Staff issued to Jacobs a Stop Work Notice.

iii. Strategic Planning Program update

Staff will be presenting the Strategic Planning Program at an upcoming meeting as a presentation.

Ms. Betancourt also provided brief staff updates on other CRA items.

The County has made an offer for a director. Staff will provide an update at the next meeting.

Staff also informed everyone in attendance that they were conditionally awarded \$600,000 for the First Street Pedestrian Safety Project. Staff did not take the 1.2 million due to the completion timeline of the project. Staff provided information on a plan to use Main Street funds to finish the First Street Project and to apply for a different project for the short funds that staff have received for construction.

K. New Business.

No new business.

L. Citizen Comments

Commissioner McDaniel commented on the neighborhood cleanups and said that there are plans to have these cleanups at least twice a year. He thanked all those who volunteered for the neighborhood cleanup.

Ms. Lupita Vazquez asked if staff could extend the hours on the neighborhood cleanups.

Ms. Christie Betancourt followed up and said that the neighborhood cleanup is set to be done earlier due to the hours of operation at the Transfer Station and the need to make sure all trash is picked up on the property.

Commissioner McDaniel said that this is a great suggestion and would look into it. He hopes that if it becomes regular, then that would help balance the timing and the need for individuals to help clean their areas.

He also provided comment on the FDOT PD&E study for SR29 and told everyone in attendance to spread the word to others on the informational meeting that will be held at the Immokalee Library on April 18, 2024.

Ms. Anne Goodnight said she will not be attending the meeting in June.

M. Next Meeting Date

The **CRA Board** will be meeting on Wednesday, **May 15, 2024**, at 8:30 A.M. at CareerSource SWFL.

The **MSTU Committee** will be meeting on Wednesday, **May 22, 2024**, at 8:30 A.M. at CareerSource SWFL.

N. Adjournment

Meeting adjourned at 10:11 A.M.

** Zoom Meeting chat is attached to the minutes for the record.*

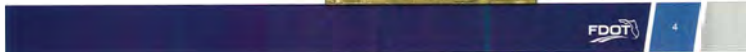


Agenda

- Project Overview
- Design Refinements
- Previous Engagement
- Next Steps



Project Location Map



Design Refinements

Refinements have only been made to the

Purple Segment

and the

Blue Segment.





MOVING FLORIDA FORWARD
Infrastructure Initiative



Design Refinements

- 12-foot shared use path (blue)
- 10-foot shared use path (purple)
- Roundabouts at
 - CR 846
 - Gopher Ridge Road
 - New Market Road
- Widen lanes by one foot (12 feet)
- Design speeds
 - 45-55 miles per hour (blue)
 - 55 miles per hour (purple)
- Nine pond sites



How to Participate

Due by
May 3, 2024

In Person Office Hours

April 18, 2024
12 – 4 p.m.

Immokalee Branch
Library

417 N 1st Street
Immokalee, FL 34142

Online Office Hour

April 23, 2024
6 – 7 p.m.

GoTo Webinar

<https://bitly.ws/3fFYL>

Project Webpage:

<https://www.sr29collier.com/>

By Email:

Kimberly.Warren@dot.state.fl.us

By Mail:

FDOT District One
Attn: Kimberly Warren
801 N. Broadway Ave
Bartow, FL 33830

Completion of Study



Naples Daily News
PART OF THE USA TODAY NETWORK

Previous Public Meetings

- Agency Purpose and Need Scoping Meeting October 18, 2007
- Public Purpose and Need Scoping Meeting October 18, 2007
- Corridor Public Workshop August 7, 2008
- Alignments Public Workshop June 23, 2009
- Public Alternatives Scoping Meeting February 17, 2010
- Agency Alternatives Scoping Meeting February 18, 2010
- Stakeholder Advisory Committee Meetings 2007 – 2004
- Alternatives Public Workshop #1 April 3, 2014
- Alternatives Public Workshop #2 November 9, 2017
- **Public Hearing** **November 15, 2018**

Project Newsletters

2024

SR 29 PD&E Study
PART OF THE USA TODAY NETWORK

Project Overview
The Florida Department of Transportation (FDOT), District One, is currently in the process of updating the SR 29 PD&E Study. This study is an ongoing project that will help to improve the safety and efficiency of SR 29 in Collier County. The study is currently in the planning phase and will involve a series of public meetings and workshops to gather input from the community. The project is expected to be completed by the end of 2024.

Design Refinements
• Update project and plan documents
• Update plan and plan documents
• Update design (2D and 3D) and layout
• Review the plan
• Update design to meet the needs of the project
• Update design to meet the needs of the project
• Update design to meet the needs of the project

Upcoming Office Hours
FDOT will hold a series of public meetings and workshops to gather input from the community. The meetings will be held on the following dates and times:
• Tuesday, April 23, 2024, from 6:00 a.m. to 7:00 p.m.
For more information, please visit the project website: www.fdot.com/sr29

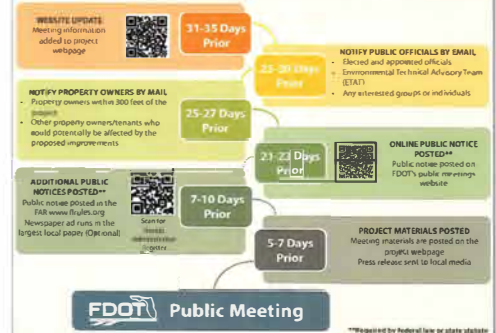
2007

2008

2010



Meeting Notification Guidelines



Next Steps

<https://www.swflroads.com/project/417540-5>

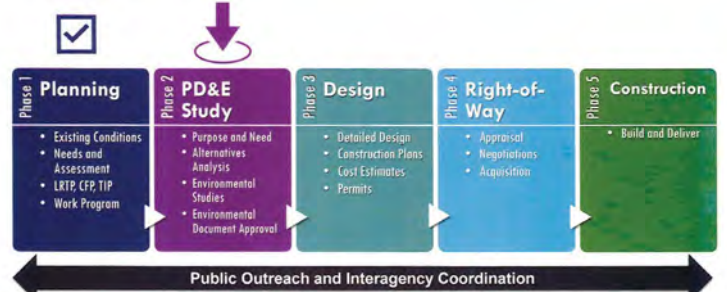


<https://www.swflroads.com/project/417540-6>



17

Transportation Project Development Process



18



Safety, Questions and Contact Information

Kimberly Warren
 FDOT Project Manager
 District 1
 (863) 808-0958
 Kimberly.Warren@dot.state.fl.us



SR 29 PD&E Study

From Oil Well Road to SR 82

Enclosure 1

FPID NO: 417540 | 22 01 / FAP NO: 3911 022 P



PROJECT UPDATE - Spring 2024

ACTUALIZACIÓN SOBRE EL PROYECTO - primavera de 2024

The Florida Department of Transportation (FDOT) invites you to participate in a Project Update for the State Road (SR) 29 Project Development & Environment (PD&E) Study from Oil Well Road to SR 82. This study is evaluating widening the road from two to four lanes to address future capacity needs. The purpose of this project update is to inform the public about recent design refinements and provide an opportunity for the public to ask questions and express their views.

For more details

about design refinements, see the inside of this newsletter and view the **project update video** we have prepared, either by scanning the QR code below or by visiting the project website: www.SR29Collier.com. You may also visit us in-person or online (see below).

IN-PERSON OFFICE HOURS

April 18, 2024

Anytime between 12 - 4 p.m.

Immokalee Branch Library

417 N 1st, Immokalee, FL 34142

Stop by to talk about the refinements with the project team.

ONLINE OFFICE HOUR

Register in advance:

<https://bitly.ws/3fFYL>

April 23, 2024

6 - 7 p.m.

This will include a viewing of the project video and a live question-and-answer component with the project team.



PROJECT VIDEO
scan to view

el video de actualización
sobre el proyecto
escanear para ver

El Departamento de Transporte de Florida (Florida Transportation Department, o FDOT) lo invita a participar en una actualización sobre el estudio del Proyecto de Medio Ambiente y Desarrollo (Project Development and Environment, o PD&E) de la carretera estatal (State Road, o SR) 29, desde Oil Well Road hasta SR 82. Este estudio tiene como fin evaluar la ampliación de la carretera de dos a cuatro carriles para abordar necesidades futuras de capacidad. El propósito de esta actualización sobre el proyecto es informar al público sobre los ajustes recientes en el diseño y brindar al público la oportunidad de hacer preguntas y expresar sus opiniones.

Para más detalles

sobre los ajustes al diseño, consulte el interior de este boletín y vea el video de actualización sobre el proyecto que hemos preparado; para verlo, puede escanear el código QR a continuación o visitar el sitio web del proyecto: www.SR29Collier.com. También puede visitarnos en persona o en internet (ver más abajo).

HORARIO DE ATENCIÓN EN PERSONA

18 de abril de 2024

Cuando desee, de 12 a 4 p. m.

Biblioteca de Immokalee

417 N 1st, Immokalee, FL 34142

Pase por la biblioteca para hablar de los ajustes con el equipo del proyecto.

HORARIO DE ATENCIÓN EN INTERNET

Regístrese de antemano: <https://bitly.ws/3fFYL>

23 de abril de 2024

De 6 a 7 p. m.

Incluye una presentación del video del proyecto y una sesión de preguntas y respuestas con el equipo del proyecto.

FDOT solicits public participation without regard to race, color, national origin, age, sex, religion, disability, or family status. People who require special accommodations under the Americans with Disabilities Act or who require translation services (free of charge) should contact Cynthia Sykes, District One Title VI Coordinator, at (863) 519-2287, or email at Cynthia.Sykes@dot.state.fl.us at least seven days prior to the event.

FDOT solicita la participación del público independientemente de su raza, color, origen nacional, edad, sexo, religión, discapacidad o estado familiar. Las personas que necesiten ser acomodadas conforme con la Ley para Estadounidenses con Discapacidades (ADA) o que necesiten servicios de traducción (gratuitos) deben comunicarse con Cynthia Sykes, coordinadora del programa del Título VI del Distrito Uno, al (863) 519-2287, o por correo electrónico a Cynthia.Sykes@dot.state.fl.us, al menos siete días antes del evento.

Project History

FDOT began this PD&E study in June 2007. Throughout the study, many alternatives were evaluated and eliminated based on in-depth environmental and engineering analyses and community input. Following the public hearing, held on November 15, 2018, Central Alternative #2 was selected as the Preferred Alternative. However, based on comments received at the hearing and further coordination with Collier County, a portion of this alternative was shifted to avoid impacts to the Immokalee Airport Park.

The northern portion of the project is funded for design. To meet current FDOT design standards, refinements were made to this section.

Project Refinements

The refinements below only apply to the northern portion (from County Road 846/Immokalee Road to SR 82) of the project. The northern portion has been split into two segments for design.

- Blue segment: CR 846 to SR 29 Bypass Junction
- Purple segment: south of New Market Road to SR 82

Refinements since the public hearing include:

- A 12-foot shared use path for the entire blue segment (both sides of the road)
- A 10-foot shared use path for the entire purple segment (both sides of the road)
- Revising the following intersections to a roundabout design:
 - CR 846
 - Gopher Ridge Road
 - New Market Road
- Widening the travel lanes for a portion of the blue segment by one foot (from 11 to 12 feet)
- Because of wider lanes, design speeds on the blue segment are increased to 45-55 miles per hour and unified on the purple segment to 55 miles per hour
- Adding nine pond sites - necessary for stormwater runoff

Additional Information

FDOT is sending notices to property owners, business owners, interested persons and organizations within 300 feet of the project to provide the opportunity to give comments to FDOT regarding this project.

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried out by FDOT pursuant to 23 U.S.C. §327 and a Memorandum of Understanding dated May 26, 2022 and executed by FHWA and FDOT.

Historial del proyecto

FDOT comenzó este estudio de PD&E en junio de 2007. Durante el estudio, muchas alternativas se evaluaron y se eliminaron. Después de la audiencia pública celebrada el 15 de noviembre de 2018, se seleccionó la Alternativa Central Nro. 2 como la Alternativa Preferida. Sin embargo, al considerar los comentarios recibidos en dicha audiencia y tras coordinar con el condado de Collier, parte de esta alternativa se desplazó para evitar impactar en el Parque del Aeropuerto de Immokalee.

El diseño de la parte norte del proyecto está financiado. Para cumplir con las normas de diseño actuales, se efectuaron ajustes a esta sección. Los detalles de estos ajustes se encuentran en la página interior.

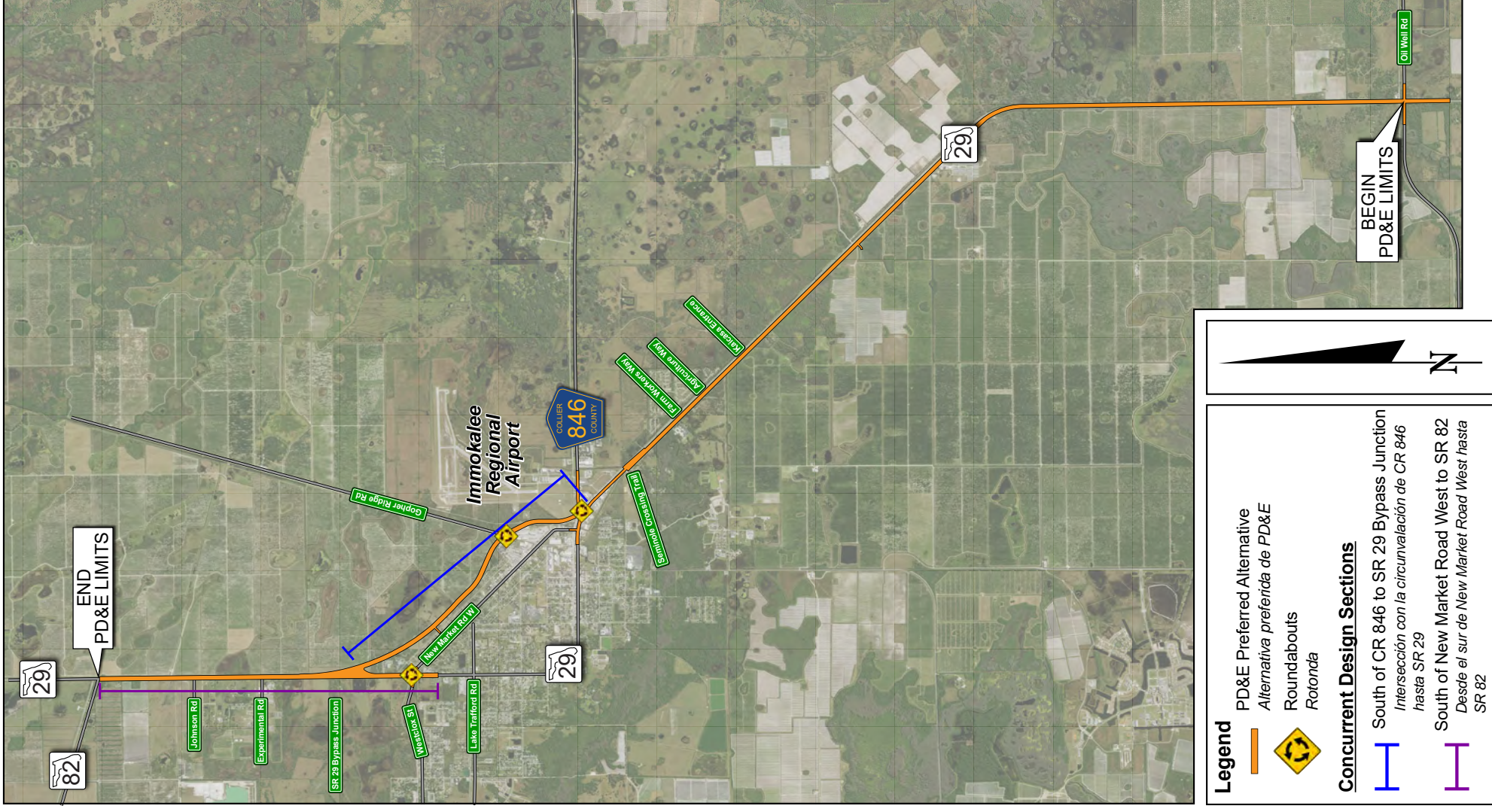
Ajustes al proyecto

Los ajustes a continuación solo aplican a la parte norte, desde la carretera del condado (County Road, o CR) 846/Immokalee Road hasta SR 82. En el diseño, la parte norte se ha dividido en dos segmentos.

- Segmento azul: Intersección con la circunvalación de CR 846 hasta SR 29
- Segmento morado: Desde el sur de New Market Road hasta SR 82

Los ajustes realizados desde la audiencia pública incluyen:

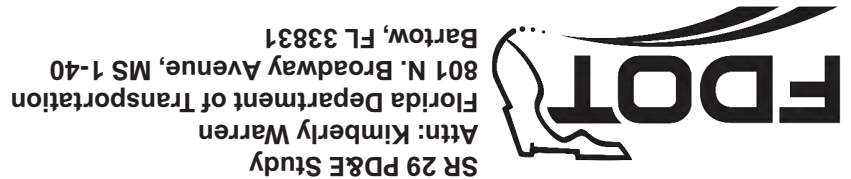
- Una vía de uso compartido de 12 pies para todo el segmento azul (ambos lados de la carretera)
- Una vía de uso compartido de 10 pies para todo el segmento morado (ambos lados de la carretera)
- El cambio a un diseño de rotonda vial a las siguientes intersecciones:
 - CR 846
 - Gopher Ridge Road
 - New Market Road
- Ampliación de un pie (de 11 a 12 pies) de los carriles viales en parte del segmento azul
- Debido a los carriles más anchos, las velocidades especificadas en el diseño del segmento azul se aumentarán a 45-55 millas por hora y en el segmento morado se unificarán a 55 millas por hora
- Se agregarán nueve sitios de estanques de retención, necesarios para recoger la escorrentía de aguas pluviales



Información adicional

FDOT está enviando avisos a los propietarios, empresarios, personas interesadas y organizaciones dentro de 300 pies del proyecto para brindarles la oportunidad de compartir sus comentarios con el FDOT en relación con este proyecto.

La evaluación ambiental, consultas y otras medidas requeridas por las leyes ambientales federales aplicables a este proyecto se están o han sido llevadas a cabo por el FDOT conforme con el Código de EE.UU. 23 U.S.C. §327 y un Memorandum de Entendimiento fechado el 26 de mayo de 2022, formalizado por la Administración Federal de Carreteras (Federal Highway Administration, o FHWA) y el FDOT.



Questions?

Please call FDOT Project Manager, Kimberly Warren, at (863) 808-0958.

¿Tiene alguna pregunta?

Por favor llame a la representante del proyecto, de FDOT, Karina Della Sera, al (863) 519-2750.

To submit feedback on the project

By Mail:
Kimberly Warren, FDOT Project Manager
Florida Department of Transportation
801 N. Broadway Avenue, MS 1-40
Bartow, FL 33830

OR
Email: Kimberly.Warren@dot.state.fl.us

OR
Through the project website
www.SR29Collier.com

Para comentar sobre el proyecto

Por correo, a la directora del proyecto:
Kimberly Warren, FDOT Project Manager
Florida Department of Transportation
801 N. Broadway Avenue, MS 1-40
Bartow, FL 33830

OR
Correo electrónico:
Kimberly.Warren@dot.state.fl.us

OR
A través del sitio web del proyecto
www.SR29Collier.com

Si ou ta renmen resevwa enfòmasyon sa-a an Kreyòl, tanpri kontakte Jimmy Vilce nan Depatman Transpòstasyon Eta Florid, nan (863) 519-2293 ni Jimmy.Vilce@dot.state.fl.us.

Agenda Item: I.2. Pulte Family Charitable Foundation - Nuestra Senora de la Vivienda Community Foundation - Andrew VanValin



1



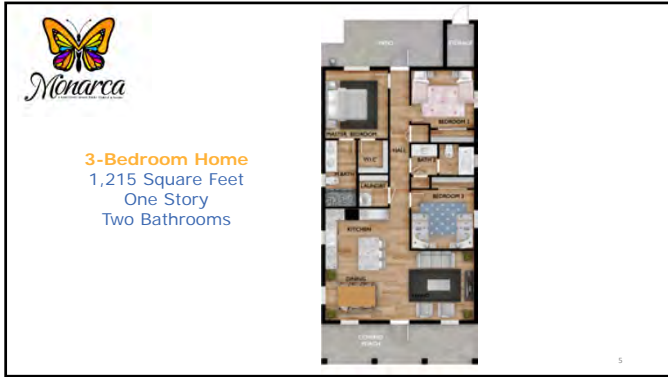
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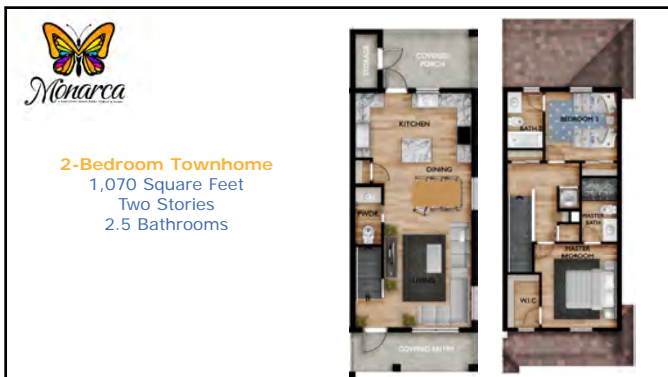
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7



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10

The Numbers Income and Rent Limits

Household Income Limits			
% of AMI	Family of 3	Family of 4	Family of 5
30% AMI	\$28,170	\$31,290	\$33,810
50% AMI	\$46,950	\$52,150	\$56,350
60% AMI	\$56,340	\$62,580	\$67,620
80% AMI	\$75,120	\$83,440	\$90,160

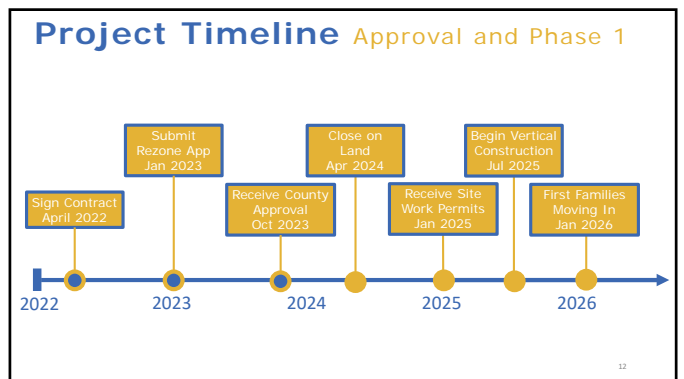
Unit Mix		
% of AMI	# of Units	% of Units
30% AMI	92	51.4%
50% AMI	46	25.7%
60% AMI	12	6.7%
80% AMI	20	11.2%
Market	9	5.0%
TOTAL	179	

Monthly Rent Limit			
% of AMI	2BR Units	3BR Units	4BR Units
30% AMI	\$704	\$813	\$907
50% AMI	\$1,173	\$1,356	\$1,512
60% AMI	\$1,408	\$1,627	\$1,815
80% AMI	\$1,566	\$2,170	\$2,420

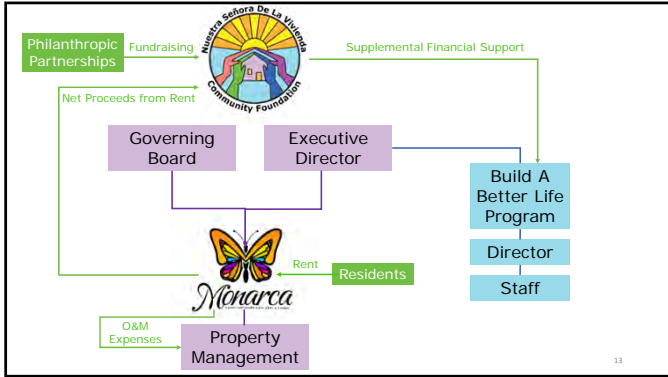
- Collier County AMI: \$104,300
- Immokalee Median Income: \$35,000

Income and Rent Limits from 2024 Florida Housing Finance Corporation for Collier County 11

11



12



13



14

Fund 1025 Immokalee Community Redevelopment Agency

04/30/24

C.C. 1025-138324

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI			122,921.20	350,015.52-	227,094.32
1025000000 IMMOKALEE REDEVELOPMENT			122,921.20	350,015.52-	227,094.32
REVENUE Sub Total	1,318,000.00-	1,318,000.00-		1,243,806.37-	74,193.63-
REVENUE - OPERATING Sub-Total	7,200.00-	7,200.00-		25,406.37-	18,206.37
361170 OVERNIGHT INTEREST				20,670.34-	20,670.34
361180 INVESTMENT INTEREST	7,200.00-	7,200.00-		4,621.03-	2,578.97-
364410 SURPLUS FURNITURE FIXTURES EQUIP SALE				115.00-	115.00
CONTRIBUTION AND TRANSFERS Sub-Total	1,310,800.00-	1,310,800.00-		1,218,400.00-	92,400.00-
410001 TRANSFER FROM 0001 GENERAL FUND	993,000.00-	993,000.00-		993,000.00-	
411011 TRANSFER FROM 1011 UNINC AREA MSTD GENERAL	225,400.00-	225,400.00-		225,400.00-	
487999 REIMBURSEMENT INTERDEPARTMENTAL	92,800.00-	92,800.00-			92,800.00-
489900 NEGATIVE 5% ESTIMATED REVENUES	400.00	400.00			400.00
EXPENSE Sub Total	1,318,000.00	1,318,000.00	122,921.20	893,790.85	301,287.95
PERSONAL SERVICE	258,900.00	258,900.00	7,497.50	142,380.00	109,022.50
OPERATING EXPENSE	400,000.00	400,000.00	115,423.70	208,710.85	75,865.45
631400 ENGINEERING FEES			31,678.00	13,282.00	44,960.00-
634210 IT OFFICE AUTOMATION ALLOCATION	16,300.00	16,300.00	4,075.00	12,225.00	
634211 INFO TECH BILLING HOURS ALLOCATION	200.00	200.00	50.00	150.00	
634970 INDIRECT COST REIMBURSEMENT	27,700.00	27,700.00		27,700.00	
634980 INTERDEPT PAYMENT FOR SERV	168,000.00	168,000.00		62,898.00	105,102.00
634999 OTHER CONTRACTUAL SERVICES	21,300.00	21,300.00	53,857.63	33,447.01	66,004.64-
639967 TEMPORARY LABOR	50,000.00	50,000.00			50,000.00
640300 OUT OF COUNTY TRAVEL PROFESSIONAL DEVEL	7,000.00	7,000.00		4,900.30	2,099.70
640410 MOTOR POOL RENTAL CHARGE	6,600.00	6,600.00			6,600.00
641230 TELEPHONE ACCESS CHARGES	200.00	200.00		63.04	136.96
641400 TELEPHONE DIRECT LINE	6,000.00	6,000.00	1,159.26	4,840.74	
641700 CELLULAR TELEPHONE	3,000.00	3,000.00	2,206.35	793.65	
641950 POSTAGE FREIGHT AND UPS	200.00	200.00			200.00
641951 POSTAGE	100.00	100.00			100.00
643100 ELECTRICITY	3,000.00	3,000.00	1,868.73	1,131.27	
643400 WATER AND SEWER	5,000.00	5,000.00	2,598.46	1,201.54	1,200.00
644100 RENT BUILDINGS	38,500.00	38,500.00	12,936.22	25,490.08	73.70
644620 LEASE EQUIPMENT	3,000.00	3,000.00	761.25	1,065.75	1,173.00
645100 INSURANCE GENERAL	1,800.00	1,800.00	450.00	1,350.00	
645260 AUTO INSURANCE	500.00	500.00	125.00	375.00	
646180 BUILDING R AND M ISF BILLINGS				2,716.43	2,716.43-
646430 FLEET MAINT ISF LABOR AND OVERHEAD	400.00	400.00		186.00	214.00
646440 FLEET MAINT ISF PARTS AND SUBLET	100.00	100.00		105.41	5.41-
647110 PRINTING AND OR BINDING OUTSIDE VENDORS	2,500.00	2,500.00			2,500.00
648160 OTHER ADS	200.00	200.00	200.00		
648170 MARKETING AND PROMOTIONAL	5,200.00	5,200.00		5,445.00	245.00-
649030 CLERKS RECORDING FEES ETC	200.00	200.00			200.00
649100 LEGAL ADVERTISING	1,000.00	1,000.00	2,000.00	1,316.00	2,316.00-
649990 OTHER MISCELLANEOUS SERVICES	500.00	500.00			500.00

C.C. 1025-138324

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
651110 OFFICE SUPPLIES GENERAL	3,000.00	3,000.00	98.50	1,185.19	1,716.31
651210 COPYING CHARGES	3,500.00	3,500.00	1,017.30	2,482.70	
651910 MINOR OFFICE EQUIPMENT	1,000.00	1,000.00			1,000.00
651930 MINOR OFFICE FURNITURE	1,000.00	1,000.00			1,000.00
651950 MINOR DATA PROCESSING EQUIPMENT	10,000.00	10,000.00			10,000.00
652110 CLOTHING AND UNIFORM PURCHASES	500.00	500.00			500.00
652210 FOOD OPERATING SUPPLIES	1,500.00	1,500.00		970.91	529.09
652490 FUEL AND LUBRICANTS ISF BILLINGS	1,000.00	1,000.00		539.12	460.88
652920 COMPUTER SOFTWARE	600.00	600.00			600.00
652990 OTHER OPERATING SUPPLIES	2,000.00	2,000.00		13.98	1,986.02
652999 PAINTING SUPPLIES	500.00	500.00			500.00
654110 BOOKS PUBLICATIONS AND SUBSCRIPTIONS	500.00	500.00			500.00
654210 DUES AND MEMBERSHIPS	4,000.00	4,000.00	342.00	2,667.88	990.12
654310 TUITION	1,000.00	1,000.00			1,000.00
654360 OTHER TRAINING EDUCATIONAL EXPENSES	600.00	600.00			600.00
654370 ORGANIZATIONAL DEVELOPMENT	800.00	800.00		168.85	631.15
CAPITAL OUTLAY	63,400.00	63,400.00			63,400.00
763100 IMPROVEMENTS GENERAL	63,400.00	63,400.00			63,400.00
TRANSFERS	542,700.00	542,700.00		542,700.00	
911026 TRANSFER TO 1026 IMM CRA CAPITAL	542,700.00	542,700.00		542,700.00	
RESERVES	53,000.00	53,000.00			53,000.00
991000 RESERVE FOR CONTINGENCIES	53,000.00	53,000.00			53,000.00

Fund 1629 Immokalee Beautification MSTU

C.C. 1629-138324

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI			318,638.64	355,775.73-	37,137.09
1629000000 IMMOKALEE BEAUTIFICATION			318,638.64	355,775.73-	37,137.09
REVENUE Sub Total	1,582,500.00-	1,912,395.88-		532,859.95-	1,379,535.93-
REVENUE - OPERATING Sub-Total	572,100.00-	572,100.00-		532,859.95-	39,240.05-
311100 CURRENT AD VALOREM TAXES	565,100.00-	565,100.00-		487,989.39-	77,110.61-
311200 DELINQUENT AD VALOREM TAXES				134.41-	134.41
361170 OVERNIGHT INTEREST				21,500.27-	21,500.27
361180 INVESTMENT INTEREST	7,000.00-	7,000.00-		4,981.73-	2,018.27-
361320 INTEREST TAX COLLECTOR				579.60-	579.60
369130 INS CO REFUNDS				17,674.55-	17,674.55
CONTRIBUTION AND TRANSFERS Sub-Total	1,010,400.00-	1,340,295.88-			1,340,295.88-
486600 TRANSFER FROM PROPERTY APPRAISER					
486700 TRANSFER FROM TAX COLLECTOR					
489200 CARRY FORWARD GENERAL	1,039,100.00-	1,039,100.00-			1,039,100.00-
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		329,895.88-			329,895.88-
489900 NEGATIVE 5% ESTIMATED REVENUES	28,700.00	28,700.00			28,700.00
EXPENSE Sub Total	1,582,500.00	1,912,395.88	318,638.64	177,084.22	1,416,673.02
OPERATING EXPENSE	571,500.00	864,815.88	318,638.64	127,070.06	419,107.18
631400 ENGINEERING FEES	175,000.00	464,975.65	193,811.15	96,164.50	175,000.00
634970 INDIRECT COST REIMBURSEMENT	4,000.00	4,000.00		4,000.00	
634980 INTERDEPT PAYMENT FOR SERV	102,800.00	102,800.00			102,800.00
634999 OTHER CONTRACTUAL SERVICES	214,100.00	217,440.23	123,502.49	25,785.00	68,152.74
639961 PAINTING CONTRACTORS	20,000.00	20,000.00			20,000.00
641951 POSTAGE	100.00	100.00			100.00
643100 ELECTRICITY	1,800.00	1,800.00			1,800.00
645100 INSURANCE GENERAL	1,300.00	1,300.00	325.00	975.00	
646311 SPRINKLER SYSTEM MAINTENANCE	1,000.00	1,000.00	1,000.00		
646318 MULCH	1,600.00	1,600.00			1,600.00
646451 LIGHTING MAINTENANCE	40,000.00	40,000.00			40,000.00
649010 LICENSES AND PERMITS	1,000.00	1,000.00			1,000.00
649100 LEGAL ADVERTISING	3,000.00	3,000.00			3,000.00
651110 OFFICE SUPPLIES GENERAL	100.00	100.00			100.00
651910 MINOR OFFICE EQUIPMENT	1,000.00	1,000.00			1,000.00
652210 FOOD OPERATING SUPPLIES	500.00	500.00		60.95	439.05
652990 OTHER OPERATING SUPPLIES	4,000.00	4,000.00		84.61	3,915.39
652999 PAINTING SUPPLIES	200.00	200.00			200.00
CAPITAL OUTLAY	100,000.00	136,580.00		36,580.00	100,000.00
763100 IMPROVEMENTS GENERAL	100,000.00	136,580.00		36,580.00	100,000.00
TRANSFER CONST	20,700.00	20,700.00		13,434.16	7,265.84
930600 BUDGET TRANSFERS PROPERTY APPRAISER	4,200.00	4,200.00		3,188.42	1,011.58
930700 BUDGET TRANSFERS TAX COLLECTOR	16,500.00	16,500.00		10,245.74	6,254.26
RESERVES	890,300.00	890,300.00			890,300.00
991000 RESERVE FOR CONTINGENCIES	16,100.00	16,100.00			16,100.00
993000 RESERVE FOR CAPITAL OUTLAY	874,200.00	874,200.00			874,200.00

Fund 1011 Immokalee Rd SR29

Enclosure 2

C.C. 1011-163805

Cost Center 163805 Immokalee Rd and SR 29

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	229,600.00	229,600.00	83,126.68	137,325.24	9,148.08
1011000000 MSTU GENERAL FUND - UNINCORPORATED AREAS	229,600.00	229,600.00	83,126.68	137,325.24	9,148.08
EXPENSE Sub Total	229,600.00	229,600.00	83,126.68	137,325.24	9,148.08
OPERATING EXPENSE	229,600.00	229,600.00	83,126.68	137,325.24	9,148.08
634990 LANDSCAPE INCIDENTALS	18,800.00	18,800.00	475.49	14,524.51	3,800.00
634999 OTHER CONTRACTUAL SERVICES	180,600.00	180,600.00	67,785.00	107,215.00	5,600.00
643100 ELECTRICITY	11,400.00	11,400.00	6,322.79	5,027.21	50.00
643300 TRASH AND GARBAGE DISPOSAL	3,000.00	3,000.00	1,109.93	1,890.07	
643400 WATER AND SEWER	12,000.00	12,000.00	7,371.93	5,428.07	800.00-
646311 SPRINKLER SYSTEM MAINTENANCE	500.00	500.00			500.00
646318 MULCH	3,000.00	3,000.00	61.54	3,240.38	301.92-
652310 FERTILIZER HERBICIDES AND CHEMICALS	300.00	300.00			300.00

C.C. 1026-138346

Fund 1026 Immokalee CRA Projects

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI			201,215.60	577,510.89-	376,295.29
1026000000 IMMOKALEE CRA PROJECT FUND			201,215.60	577,510.89-	376,295.29
REVENUE Sub Total	548,900.00-	4,160,675.00-		577,510.89-	3,583,164.11-
REVENUE - OPERATING Sub-Total	6,500.00-	6,500.00-		34,810.89-	28,310.89
361170 OVERNIGHT INTEREST				28,337.54-	28,337.54
361180 INVESTMENT INTEREST	6,500.00-	6,500.00-		6,473.35-	26.65-
CONTRIBUTION AND TRANSFERS Sub-Total	542,400.00-	4,154,175.00-		542,700.00-	3,611,475.00-
411025 TRANSFER FROM 1025 IMMOKALEE REDEVELOPMENT	542,700.00-	542,700.00-		542,700.00-	
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		3,611,775.00-			3,611,775.00-
489900 NEGATIVE 5% ESTIMATED REVENUES	300.00	300.00			300.00
EXPENSE Sub Total	548,900.00	4,160,675.00	201,215.60		3,959,459.40
OPERATING EXPENSE		338,000.00			338,000.00
631400 ENGINEERING FEES					
634980 INTERDEPT PAYMENT FOR SERV		20,000.00			20,000.00
634999 OTHER CONTRACTUAL SERVICES		318,000.00			318,000.00
CAPITAL OUTLAY	548,900.00	3,217,675.00	201,215.60		3,016,459.40
763100 IMPROVEMENTS GENERAL	548,900.00	3,217,675.00	201,215.60		3,016,459.40
GRANTS AND DEBT SERVICE		185,000.00			185,000.00
884200 RESIDENTIAL REHAB		185,000.00			185,000.00
RESERVES		420,000.00			420,000.00
998900 RESERVE FOR PROJECT CLOSEOUT		420,000.00	-	-	420,000.00

Fund 1026 Project 50243 Imm CRA-Stormw In

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	-	278,000.00	-	-	278,000.00
50243 IMMOKALEE CRA PROJECT FUND	-	278,000.00	-	-	278,000.00
EXPENSE Sub Total	-	278,000.00	-	-	278,000.00
OPERATING EXPENSE	-	68,000.00	-	-	68,000.00
634999 OTHER CONTRACTUAL SERVICES		68,000.00	-	-	68,000.00
CAPITAL OUTLAY	-	210,000.00	-	-	210,000.00
763100 IMPROVEMENTS GENERAL	-	210,000.00	-	-	210,000.00

Fund 1026 Project 50244 Imm CRA-S Sidewalk

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	110,000.00	519,800.00	101,215.60	-	418,584.40
50244 IMMOKALEE CRA PROJECT FUND	110,000.00	519,800.00	101,215.60	-	418,584.40
EXPENSE Sub Total	110,000.00	519,800.00	101,215.60	-	418,584.40
OPERATING EXPENSE	-	50,000.00	-	-	50,000.00
631400 ENGINEERING FEES					
634999 OTHER CONTRACTUAL SERVICES		50,000.00			50,000.00
CAPITAL OUTLAY	110,000.00	469,800.00	101,215.60	-	368,584.40
763100 IMPROVEMENTS GENERAL	110,000.00	469,800.00	101,215.60		368,584.40

C.C. 1026-138346

Fund 1026 Project 50245 Imm CRA-Park & Rec

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	50,000.00	361,375.00	-	-	361,375.00
50245 IMMOKALEE CRA PROJECT FUND	50,000.00	361,375.00	-	-	361,375.00
EXPENSE Sub Total	50,000.00	361,375.00	-	-	361,375.00
OPERATING EXPENSE	-	20,000.00	-	-	20,000.00
634980 INTERDEPT PAYMENT FOR SERV	-	20,000.00	-	-	20,000.00
634999 OTHER CONTRACTUAL SERVICES	-	-	-	-	-
CAPITAL OUTLAY	50,000.00	341,375.00	-	-	341,375.00
763100 IMPROVEMENTS GENERAL	50,000.00	341,375.00	-	-	341,375.00

Fund 1026 Project 50246 Imm CRA-Neigh R

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	113,900.00	997,500.00	100,000.00	-	897,500.00
50246 IMMOKALEE CRA PROJECT FUND	113,900.00	997,500.00	100,000.00	-	897,500.00
EXPENSE Sub Total	113,900.00	997,500.00	100,000.00	-	897,500.00
OPERATING EXPENSE	-	50,000.00	-	-	50,000.00
634999 OTHER CONTRACTUAL SERVICES	-	50,000.00	-	-	50,000.00
CAPITAL OUTLAY	113,900.00	947,500.00	100,000.00	-	847,500.00
763100 IMPROVEMENTS GENERAL	113,900.00	947,500.00	100,000.00	-	847,500.00

Fund 1026 Project 50247 Imm CRA-Mobility

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	-	50,000.00	-	-	50,000.00
50247 IMMOKALEE CRA PROJECT FUND	-	50,000.00	-	-	50,000.00
EXPENSE Sub Total	-	50,000.00	-	-	50,000.00
OPERATING EXPENSE	-	50,000.00	-	-	50,000.00
634999 OTHER CONTRACTUAL SERVICES	-	50,000.00	-	-	50,000.00

Fund 1026 Project 50248 Imm CRA-Main St C.

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	250,000.00	974,000.00	-	-	974,000.00
50248 IMMOKALEE CRA PROJECT FUND	250,000.00	974,000.00	-	-	974,000.00
EXPENSE Sub Total	250,000.00	974,000.00	-	-	974,000.00
OPERATING EXPENSE	-	100,000.00	-	-	100,000.00
634999 OTHER CONTRACTUAL SERVICES	-	100,000.00	-	-	100,000.00
CAPITAL OUTLAY	250,000.00	874,000.00	-	-	874,000.00
763100 IMPROVEMENTS GENERAL	250,000.00	874,000.00	-	-	874,000.00

C.C. 1026-138346

Fund 1026 Project 50250 Imm CRA-First St

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	-	250,000.00	-	-	250,000.00
50250 IMMOKALEE CRA PROJECT FUND	-	250,000.00	-	-	250,000.00
EXPENSE Sub Total	-	250,000.00	-	-	250,000.00
CAPITAL OUTLAY	-	250,000.00	-	-	250,000.00
763100 IMPROVEMENTS GENERAL	-	250,000.00	-	-	250,000.00

Fund 1026 Project 50252 Imm CRA-Com Gra

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	-	185,000.00	-	-	185,000.00
50252 IMMOKALEE CRA PROJECT FUND	-	185,000.00	-	-	185,000.00
EXPENSE Sub Total	-	185,000.00	-	-	185,000.00
GRANTS AND DEBT SERVICE	-	185,000.00	-	-	185,000.00
884200 RESIDENTIAL REHAB	-	185,000.00	-	-	185,000.00

Fund 1026 Project 50269 Imm CRA-Lighting

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI	25,000.00	125,000.00	-	-	125,000.00
50269 IMMOKALEE CRA PROJECT FUND	25,000.00	125,000.00	-	-	125,000.00
EXPENSE Sub Total	25,000.00	125,000.00	-	-	125,000.00
CAPITAL OUTLAY	25,000.00	125,000.00	-	-	125,000.00
763100 IMPROVEMENTS GENERAL	25,000.00	125,000.00	-	-	125,000.00

C.C. 1027-138315

Fund 1027 Immokalee CRA Grant

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI			159,125.25	3.58-	159,121.67-
1027000000 IMM CRA GRANT		-	159,125.25	3.58-	159,121.67-
REVENUE Sub Total		1,237,000.00-		30,868.33-	1,206,131.67-
REVENUE - OPERATING Sub-Total		987,000.00-		3.58-	986,996.42-
331555 HUD GRANTS		987,000.00-			987,000.00-
361170 OVERNIGHT INTEREST				3.58-	3.58
CONTRIBUTION AND TRANSFERS Sub-Total		250,000.00-		30,864.75-	219,135.25-
487999 REIMBURSEMENT INTERDEPARTMENTAL		250,000.00-		30,864.75-	219,135.25-
EXPENSE Sub Total		1,237,000.00	159,125.25	30,864.75	1,047,010.00
OPERATING EXPENSE		250,000.00	159,125.25	30,864.75	60,010.00
631400 ENGINEERING FEES		250,000.00	159,125.25	30,864.75	60,010.00
CAPITAL OUTLAY		987,000.00			987,000.00
763100 IMPROVEMENTS GENERAL		987,000.00			987,000.00

Fund 1027 Project 33831 First Street Pedestrian Safety Improvements

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI			159,125.25		159,125.25-
33831 IMM CRA GRANT		-	159,125.25		159,125.25-
REVENUE Sub Total		250,000.00-		30,864.75-	219,135.25-
CONTRIBUTION AND TRANSFERS Sub-Total		250,000.00-		30,864.75-	219,135.25-
487999 REIMBURSEMENT INTERDEPARTMENTAL		250,000.00-		30,864.75-	219,135.25-
EXPENSE Sub Total		250,000.00	159,125.25	30,864.75	60,010.00
OPERATING EXPENSE		250,000.00	159,125.25	30,864.75	60,010.00
631400 ENGINEERING FEES		250,000.00	159,125.25	30,864.75	60,010.00

Fund 1027 Project 33873 EDI/CPF

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
Grand Total-Fund/CI					
33873 IMM CRA GRANT		-	-		
REVENUE Sub Total		987,000.00-			987,000.00-
REVENUE - OPERATING Sub-Total		987,000.00-			987,000.00-
331555 HUD GRANTS		987,000.00-			987,000.00-
EXPENSE Sub Total		987,000.00			987,000.00
CAPITAL OUTLAY		987,000.00			987,000.00
763100 IMPROVEMENTS GENERAL		987,000.00			987,000.00

Immokalee Code Enforcement Open Case Report

April, 2024

Case Number	Case Type	Status	Date Entered	Location Description	Detailed Description
CENA20240003108	NA	Open	04/01/2024	224 N 8th ST, Immokalee	litter clothes, roof shingles, table, roofing paper, shelf, coolers, table, radiators, boards, clothes, plastic bags,
CEAU20240003109	AU	Open	04/01/2024	224 N 8th ST, Immokalee	fence
CENA20240003111	NA	Open	04/01/2024	219 N 7th ST, Immokalee	Litter
CENA20240003170	NA	Open	04/03/2024	1214 Bush street e	acumulatio of litter/ un-authorized outside storage.
CEV20240003172	V	Open	04/04/2024	308 W Delaware AVE,	unlicensed/inoperable vehicles
CENA20240003173	NA	Open	04/04/2024	308 W Delaware AVE	Litter/outside storage consisting of but not limited to refrigerators, tables, chairs, sink, shopping cart,
CENA20240003228	NA	Open	04/05/2024	1202 N. 18th st	accumulatio of litter/outside storage
CENA20240003231	NA	Open	04/05/2024	1306 Plum St.	Grass and weeds above 18 inches
CENA20240003232	NA	Open	04/05/2024	746 El Paso Trail	accumulatio of litter/outside storage
CEV20240003233	V	Open	04/05/2024	3440 Carson Lakes cir	un-licensed vehicle
CEOCC20240003305	OCC	Closed	04/08/2024	1331 N 18th St Immokalee	Alexis Hernandez (239)842-4775) is selling Hot Food plates that consists of SeaFood Boils, tacos and several other catering food in the presence of dogs inside of the located residence of 1331 n 18th st immokalee fl. Also has about 10 other individuals who caters food without the proper food permits and license. Also tends to sell on the weekends at Tire shop located in immokalee Called Ortega tire shop. He does not have the proper commercial equipment when selling food.
CEPM20240003311	PM	Closed	04/09/2024	1412 Apple Street Parcel ID: 30680920004	Unsafe structure.
CEV20240003312	V	Open	04/09/2024	1306 Peach Street	RV being used to live in.
CEPM20240003313	PM	Open	04/09/2024	408 11th St SE	Unsafe structure.
CESD20240003314	SD	Open	04/09/2024	701 E Delaware Ave	Unsafe structure
CENA20240003316	NA	Open	04/09/2024	318 S 6th St	High Weeds
CESD20240003336	SD	Open	04/09/2024	1610 7th Ave	New addition on the home constructed without permits.
CEV20240003346	V	Open	04/09/2024	425 Jones ST, Immokalee	RV connected to utilities
CEPM20240003359	PM	Closed	04/10/2024	1005 Warden Lane	Dwelling looks unsafe

CEV20240003360	V	Open	04/10/2024	1006 Warden Lane	Unlicensed vehicle
CEPM20240003361	PM	Open	04/10/2024	311 South 6th Street	Unsafe structure
CEROW20240003362	ROW	Open	04/10/2024	2023 Immokalee Drive	White sticks on ROW
CELU20240003363	LU	Open	04/10/2024	2023 Immokalee Drive	Property owner making yard sales. - no permits
CELU20240003364	LU	Open	04/10/2024	73181400006 Immokalee Dr and N 10th St, across	Property being used as an unpermitted fleamarket on weekends.
CENA20240003378	NA	Open	04/10/2024	567 El Paso TRL	litter/outside storage stove, buckets, refrigerator
CENA20240003383	NA	Open	04/10/2024	563 El Paso TRL,	litter wood buckets, paper, plastic, ladder
CEV20240003400	V	Open	04/10/2024	In the road 1008/1012 Hamilton Street	Commerical trailer parked on the road obstructing traffic
CEPM20240003408	PM	Open	04/11/2024	1006 Warden Ln Immokolee	Mobile Home in disrepair
CEPM20240003431	PM	Closed	04/11/2024	1006 Warden Lane	Dwelling looks unsafe
CELU20240003450	LU	Open	04/12/2024	Immokalee Sports Complex @ 505 Escambia St	Food trucks operating on the weekends.
CELU20240003451	LU	Open	04/12/2024	Ortega Tire Shop & Road Service @ 520 New Market Rd	Food trucks operating on the weekends.
CELU20240003462	LU	Closed	04/12/2024	526 Dilisa LN Backyard	Property has RV that is being used to house people in the back and the shed to the side.
CESD20240003522	SD	Closed	04/16/2024	115 N 9th St Immokalee	Making sheds ("properties") & renting them out
CEPM20240003569	PM	Open	04/17/2024	111 Dixie Ave W Immokolee	Boarded Windows on dwelling
CEPM20240003571	PM	Open	04/17/2024	112 Dixie Ave W Immokolee	Roof appears in disrepair, covered with torn tarp and held down with concrete blocks
CEPM20240003573	PM	Open	04/17/2024	9597 Crescent Garden & 9629 Crescent Garden (#201 & #202 for both) Stairwells with Plywood and C-Clamps on 2 buildings.	We live in a community where the HOA has neglected any up keep and maintenance of the stairwells on the outside of 2 of the 9 building in our community at Crescent Gardens off of airport road. apparently its been several years and with in the last 12 months one of the neighbors feel thorough one of the steps at his condo. The HOA addressed the issue by using c-clamps and plywood to prevent anyone from falling through, it has been that way for almost a year now. There is a total of 4 stairwells that have this issue and need to be repaired. I find it difficult to believe that c-clamps and plywood are a safe solution until repairs are made.
CEOCC20240003577	OCC	Open	04/17/2024	302 New Market Rd W	Hi Rise Smoke Shop - No Business Tax Receipt
CELU20240003579	LU	Open	04/17/2024	Corner of Ringo Ln & Lake Trafford Rd	Food truck operating without the proper BTR.
CELU20240003694	LU	Open	04/20/2024	Folio: 63863280004 Intersection of Dade St & Jefferson Ave	Event taken place on this unimproved lot without county approvals
CEPM20240003714	PM	Open	04/22/2024	301 Rose Ave Immok	blue tarop on roof

CEPM20240003715	PM	Open	04/22/2024	307 E Delaware Ave Immok	blue tarp on roof
CEPM20240003787	PM	Open	04/24/2024	Address: 324 S 2ND ST Parcel: 24370480006	Multi-Family dwelling in unsanitary conditions and property maintenance issue, holes in the walls, mice, roaches, door blocked with sheet rock. Running a child care operation observed approximately 10 children cared for under these conditions. Outside litter/storage and mold on the interior and exterior of the
CELU20240003890	LU	Open	04/25/2024	1406 Peach Street	Possibly living in RV.
CEPM20240003907	PM	Open	04/26/2024	406 S 1st St Immokalee	Abandoned Commercial Bldg in disrepair
CEROW20240003935	ROW	Open	04/26/2024	Brown Cemetery, 1380 Roberts Ave W	Drains were put in along the right-of-way and are now blocking access to the family cemetery.
CEA20240004019	A	Open	04/30/2024	505 Boston Ave	Unpermitted structures, litter, and outside storage. There are also numerous chicks/chickens around the property.
CENA20240004038	NA	Open	04/30/2024	404 11th ST SE, Immokalee	litter construction debri

47 cases opened in October

Code Enforcement Monthly Open Code Cases April 1, 2024 - April 30, 2024

Program Manager Report

May 6, 2024

1. Immokalee Area Master Plan (IAMP) Restudy

(PL201880002258) Approved by BCC for final adoption on 12/10/2019.

Copy of IAMP as amended by Ordinance 2019-47 can be found at www.ImmokaleeCRA.com website.

- Implementation schedule was provided at the November 2020 Meeting.
- Staff is continuing with implementation of the Immokalee Initiatives.

2. Immokalee Area Overlay District LDC Updates

- County staff discussed IAMP Policy 6.1.3 Downtown Ped Amenities and 3.1.4 Central Business District at the March 17, 2021, CRA Meeting.
- First LDC Workshop was held on May 19, 2021, following the CRA meeting.
- County staff held Kick off meeting on June 16, 2022, with consultant The Neighborhood Company (TNC Co).
- TNC Co held a Site Visit with CRA staff on August 12, 2022.
- An onsite meeting was held with TNC Co and ICRA staff on September 14, 2022. TNC Co provided staff with upcoming schedule/timeline.
- TNC Co presented at the CRA Advisory Board Meeting on February 15, 2023.
- Staff provided updates at the May 17, 2023, CRA Advisory board meeting.
- TNC Co finalized evaluations on the overlay and development patterns. They held one-on-one meetings with local stakeholders.
- TNC Co presented at the June 21, 2023, Joint CRA & MSTU meeting.
- TNC Co provided the Immokalee Land Development Code “White Paper” update to County staff on September 1, 2023.
- TNC Co held a workshop on October 4, 2023.
- TNC Co provided a brief update and an updated timeline at the January 17, 2024, CRA Advisory Board meeting.
- TNC Co provided a brief update and an updated timeline at the March 20, 2024, CRA Advisory Board meeting. Ms. Tefft announced that County is currently reviewing draft language.
- TNC Co will present draft LDC language to CRA board on May 15, 2024.

TIMELINE

- **Public Workshop**
✓ October 2023
- **Draft LDC Updates**
✓ Collaboration with Collier County & ICRA Staff
- **CRA Advisory Board & Public Workshop**
✓ May 2024- LDC Draft Presentation
- **Development Services Advisory Committee Presentation**
✓ June 2024
- **CCPC Hearing & BCC Hearings**
✓ 2024 – Specific dates to be determined



(estimated May through September for Final Adoption)





3. CRA Office

Job Bank Assistant – staff is continuing to use KeyStaff temp service.

Staff has requested a Full time Employee (FTE) Operations Support Specialist for FY25 (October 2024)

CRA Director Position – Mr. John Dunnuck has accepted the position and will start May 20th.

4. Redevelopment Plan

On May 10, 2022, the BCC, acting as the (CRA) board, approved a Resolution recommending approval to the BCC an amendment to the Collier County Community Redevelopment Area Plan. First quarter report was provided at the April 17, 2024, Joint CRA & MSTU Meeting.

5. Infrastructure Projects (County) in Immokalee (Not funded by CRA/MSTU)

1) ***Carson Road Project-Eden Park Elementary Safe Routes to School***

- 6’ Sidewalk on the south and west side of the road.
- Construction costs is \$1,314,943.50.
- Funded with Safe Routes to School funds.
- Construction to start in FY 24.
- Construction Contract was awarded to Marquee Development on February 27, 2024.



6. Commercial Façade Grant Program

In accordance with objective 1.2 in the Immokalee Area Master Plan, the CRA continues to provide financial incentives to business in Immokalee via the Commercial Façade Improvement grant program. The CRA initiated the Program in October 2008. Since that time, 17 façade grants have been awarded to local businesses for a total of \$294,621.67. Eligible applicants may receive grant funding up to \$20,000 as reimbursement, using a one-half (1/2) to 1 match with equal applicant funding for funding for façade improvements to commercial structures. Program is in place and being reviewed for revisions.



7. FHERO – Florida Heartland Economic Region of Opportunity

Staff attends monthly FHERO board meetings via Zoom or in person. Please see link to view copy of [2021 Retail Demand Analysis](#).

On June 28, 2021, Governor DeSantis issued Executive Order Number 21-149 which re-designated the South-Central RAO for another five-year term with an expiration date of June 28, 2026. For more information on FHERO please visit <https://flaheartland.com/>



The new digital flip-book edition of the **FHERO Guide** is live, active, and public. For complete 32-page guide please visit http://passportpublications.com/FHERO_Guide.html

8. Immokalee Unmet Needs Coalition

The Immokalee Unmet Needs Coalition (IUNC) is a long-term recovery group that formed in the fall of 2017 as the result of Hurricane Irma. This group is composed of non-profits, faith based, local, state, or national organizations who work together to meet the unmet needs of Immokalee residents impacted by disaster. At the February 2024 IUNC Housing meeting it was announced that the coalition received a Voluntary Organizations Active in Disaster (VOAD) grant for \$100,000 for the Immokalee area to assist the community with disaster improvements due to Hurricane Ian.



The Housing committee meetings are held the second Friday of every month via zoom at 10:00 a.m. The next meeting is scheduled for June 14th at 10:00 a.m. via Zoom. For information on housing assistance please visit website at: <https://www.colliercountyhousing.com/community-assistance-program/>

9. Development in Immokalee

1) ***Immokalee Foundation Learning Lab 18-home subdivision***

The Immokalee Foundation Learning Lab 18-home subdivision is currently under construction. Collier Enterprises donated the 8.3 acres of land for a housing subdivision that will serve as a hands-on learning laboratory for student in the foundation’s program., Career Pathways: Empowering Students to Succeed. BCB Homes, is serving as the general contractor.

On July 13, 2021, BCC board meeting (Agenda item 16.F.10) board approved a recommendation to direct staff to develop a workforce development grant agreement with The Immokalee Foundation, to offset development costs on the housing subdivision for the Career Pathways Learning Lab, in the amount of \$500,000. The new homes will be sold at market price to support the construction of the other home in the subdivision. The Foundation sold its first home in December 2021 and closed on the 7th home in August 2023.



2) ***Immokalee Fair Housing Alliance (IFHA)***

The Immokalee Fair Housing Alliance housing development consist of 8 buildings with 16 apartments each or 128 Units in all. Construction will progress in phases. Housing units will be two- and three-bedroom apartments ranging in size from about 750 to 950 square feet. Land clearing started in September 2021.



IFHA has partnered with the Shelter for Abused Woman & Children to allocate 16 apartments for those who have completed the program. They are hoping to break ground on the second building, which will be occupied by members of the Shelter for Abused Woman and Children.

Due to this occurring, the Immokalee Fair Housing Alliance would likely move up the timing for the first children’s playground. They have amended their phasing plan to move this amenity up and start a fundraiser for the playground. Applications are now being accepted for its soon to open apartment buildings. They are scheduled to open in May/June of this year. Applications are available for pick up at B-Hive Flowers & Gifts, located at 720 N. 15th Street.



At the April 9, 2024, BCC meeting the Board approved an Immokalee Impact Fee Installment Payment Plan Agreement with the Immokalee Fair Housing Alliance Inc., to allow \$195,160.96 in impact fees to be paid over 30 years as a special assessment for the 16 affordable Multi-Family Rental Units within the Immokalee Fair Housing Alliance RPUD Project.



Link to [IFHA Wink News story](#)

For more information, please visit <http://www.ifha.info/>.

3) ***Habitat for Humanity of Collier County Kaicasa Housing Development***

Kaicasa is located at the Southeast corner of Immokalee, on State Road 29 as you enter the agricultural village from the south. The new affordable community will sit adjacent to the existing Farm Workers Village (subsidized housing built in the 1970s for local and migrant farm workers that is often criticized for its conditions). Many Habitat Collier partner families have lived there prior to purchasing their homes. Once complete, this neighborhood will have 281 homes, making it one of the largest Habitat subdivisions in the country.

Construction started in August 2022 and the first homes closed in June 2023. Seventeen homes have been completed and sold, and approximately two dozen more are anticipated to close by this summer. Habitat is accepting applications for this development.



For more information, please visit <https://www.habitatcollier.org/communities/kaicasa/>

- 4) ***Redlands Christian Migrant Association (RCMA) Childcare Development Center and Community Hub***
 The RCMA proposed childcare center and community hub consist of childcare classrooms, area office, and playground. The development will accommodate 234 children and 30 employees. Approximately 8 acres will be designation for housing. Q. Grady Minor presented updated plan for the RCMA Immokalee MPUD (PL20200001827) at the CRA June 16, 2021, Board Meeting. RCMA is reviewing partnership options for the development of the recreational fields with Collier County. Construction started in March 2023.



Lipman Family Farms, a long-time supporter of RCMA, made a \$3 million donation to the organization; the largest donation Lipman has ever made to any one organization. The groundbreaking for the new campus was held on May 25, 2023. When completed, the \$16.4 million campus will feature two new child development centers, a community center, two soccer fields and a new charter school. The campus is scheduled to open in July 2025.

5) **Casa San Juan Diego PL20230018133 SDP – 133 Hancock Street**

The proposed Casa San Juan Diego Multi-Family affordable housing development in Immokalee is a partnership between the National Development of America, Inc., and the Diocese of Venice to develop 80 affordable rental units on 9.6 acres of land adjacent to Our Lady of Guadalupe Church. The project consists of two buildings, a club house, a multi-use play field, and a multi-use court.

National Development of America, Inc., has received funding from Florida Housing and has applied for Collier County grant funding in February 2024. The development is currently in the design phase with plans to submit permits this year, aiming for a closing date in early 2025. Project updates were presented at the February 21, 2024, CRA Advisory Board Meeting.



6) **LGI Homes**

LGI is offering new homes for sale in Immokalee at Arrowhead Reserve. They are one of the largest new home builders in Immokalee. CRA staff received updates form LGI representative. They announced in April 2024 that since they have started construction in the Arrowhead community, they have completed 78 homes and currently have 25 under construction.



7) **Pulte Foundation PL20220004087 - PFCF/NSV Immokalee PUD (PUDZ)**

The Nuestra Señora de la Vivienda Community Foundation and the Pulte Family Charitable Foundation is proposing up to 250 single-family homes, built to rent, and an early education center for roughly 250 students. The foundation first presented at the CRA September 21st meeting and then again at the CRA January 18, 2023, meeting. They held a Neighborhood Information Meeting (NIM) on Wednesday, June 7, 2023.

The Foundation presented to the Collier County Planning Commission on August 17, 2023. On October 10, 2023, the Board of County Commissioners approved a rezoning ordinance for the PFCF/NSV Immokalee MPUD to allow up to 250 horizontal multifamily dwelling units, 170 of which will be restricted as affordable, and a 250-student early childhood education center, on 50± acres located northeast of the intersection of Westclox Street and Carson Road in Immokalee, in Section 29, Township 46 South, Range 29 East, Collier County, Florida.

The Local Redevelopment Advisory Board requested that the Foundation come back to the CRA after they receive comments from the County. The Foundation presented updates at the April 17, 2024, CRA Meeting.

The community will be named Monarca with the symbol being the Monarch butterfly. A revised site plan was presented. There will be available space for residents in the community to utilize for oversized vehicles. As for the Early Education Center, they have been in conversation with a local education center about potentially wanting to expand into the space. The Pulte Family Charitable Foundation and the Nuestra Senora de la Vivienda will not be involved in the development of the 3 Acres.

They are currently submitting a Site Development Plan (SDP) to Collier County for Phase 1, which includes 64 units, the community center building, playground, storm water, lake, and pathway around it. Mr. VanValin is unsure if there will be a Phase 2 or Phase 2 and Phase 3. This will be determined on how Phase One and funding goes.

Mr. VanValin presented the income and rent limits. The project timeline was presented and showed the current progress of the development.

Mr. VanValin reiterated that the main goal is to help families that are at the real low end of the income spectrum and help provide a more stable, secured, and safe home.



- 8) Immokalee Community Campus (PUDZ) (Catholic Charities) PL20240000390
 Rezone the property (909 and 917 W. Main Street, and 107 S. 9th Street) from C-4 – MSOSD Overlay and RMF-6 to a Mixed-Use Planned Development (MPUD) to allow for 50 multifamily dwelling units; 35,300 square feet of commercial uses of the C-4 district; and 56,000 square feet of community service uses such as a food pantry, soup kitchen, community rooms, adult education, etc.



- 9) Williams Farms of Immokalee (James E Williams Jr. Trust) RPUD (PUDZ) PL20210001434

Lake Trafford Road near Arrowhead (Property ID# 00113600106 & 0011360009) Current Zoning is A-MHO. 171 acres +/- . Williams Farms applied for a residential community on the south side of Lake Trafford Road. The consultant Daniel Delisi held an information meeting on August 30, 2022. They presented to the CRA on September 21, 2022.

The application was approved by the Collier County Planning Commission in April 2023. On May 23, 2023, the Collier County Board of County Commissioners approved Agenda items 17.A. (Ordinance #2023-23).



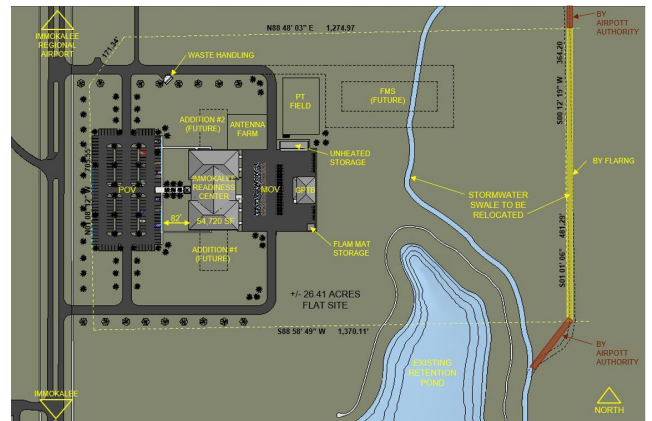
- 10) Budget Inn (PL20220001199 CU)

On March 16, 2022, a Pre-Application meeting was held with County for a proposed conditional use for the Budget Inn located at 504 E Main Street. Owners are proposing to demolish the existing hotel and potentially do a two or 3 story hotel. The architect for the business owner provided staff a rendering of the new hotel concept plan. A Neighborhood Information Meeting (NIM) was held on April 2, 2024.



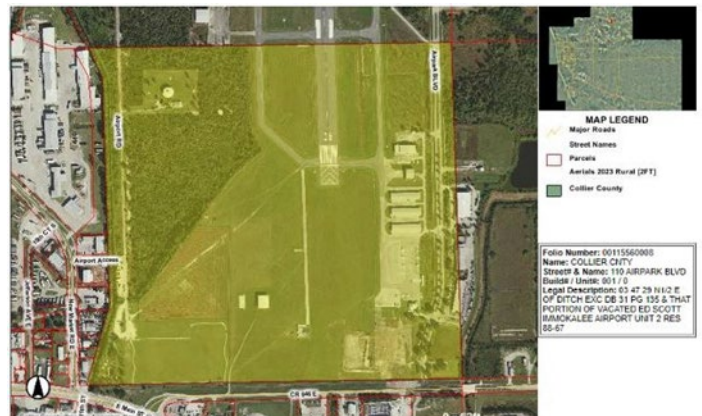
11) Florida Army National Guard Readiness Center Project

This is a new construction project being proposed at the Immokalee airport. This project will include a General-Purpose Training Bay (GPTB), all utility services, information systems, roads, walkways, curbs, gutters, storm drainage, parking areas, and site improvements. Physical security measures for anti-terrorism and force protection will be incorporated into the design to include maximum feasible standoff distances. Energy conservation measures will also be incorporated into design where feasible. Estimated project \$20 million.



12) Mosquito Control

This is a new construction project being proposed at the Immokalee airport. This project will consist of building a 2-story administration building (37,000 sf), 25,000 sf hangar, rotorcraft hangar (25,000 sf), maintenance building and a chemical storage building and associated Site Development at the Immokalee Regional Airport. The tenant and developer is the Collier Mosquito Control District. The Rotorcraft hangar (26,060 sf) will be built as Phase I and other buildings will be built as Phase II.



9. Collier County Parks & Recreation – Immokalee area

CRA staff and Parks & Recreation staff are coordinating monthly meetings to discuss improvements of all Immokalee Parks. Immokalee Parks & Recreation updates are provided in communications folder, when available.

10. Impact Fee Installment Payment Program

The Impact Fee Installment Payment Program was extended for five years on July 25, 2023, by the Board of County Commissioners. For questions, please call Gino Santabarbara at 239-252-2925 or email him at Gino.Santabarbara@colliercountyfl.gov.

Program details:

- Pay your impact fees in installments over a 30-year term.
- Available for single-family, multi-family and commercial projects.
- Non-ad valorem special assessment on property tax bill.
- 5% fixed interest rate (2023 applicants).
- An approved agreement must be executed and recorded prior to issuance of a Certificate of Occupancy or payment of impact fees.
- Assessment is superior to all other liens, titles, and claims, except State, County, and municipal taxes.
- Call or email for complete program requirements.

11. Adopt A Road Program

Adopt a Road – dormant for the two years due to COVID and staffing changes. In August 2021, Rich Koenigsnecht was assigned the program and Road Maintenance began the assessment. Samantha Roe is assisting and is the first point of contact if anyone would like to participate in the program. The first task was to reach out to see what organizations were active and still wanted to participate. The second task was to complete an inspection of the signage.

Area 4 is larger than the Immokalee CRA boundaries. Immokalee is within Area 4. There are currently 13 road segments in Immokalee CRA boundary identified for the program, covering 8.75 miles. Ten of those segments at one point in time had sponsors. No sponsors are active today based on the recent assessment. Additional road segments can be added to the list based on community interest. You can call 252-8924 to request trash pick-up following a road clean up.

In **January 2023**, Transportation Management Services Department staff provided an electronic copy of the Adopt-A-Road program brochure. Due to staff shortages, they were unable to present at the CRA public meeting.

In **March 2023**, Ms. Tonya Phillips provided information on the Adopt-A- Road Program. She said that they are trying to revamp the program in Collier County. They are in the process of getting an update in the Resolution. The Resolution that is currently enforced was made in 1990, she hopes that they can get it updated to reflect with today's time. She said that the focus right now is to get the program up and running, she asked everyone to call the phone number on the brochure if they are interested in adopting a road segment. She also provided information on certain requirements needed if a road is adopted. If a road is adopted by agreement, they must go out at least once a month. A mile or two mile long is the usual segment.

At the **March 27, 2024**, MSTU Meeting board requested and update on the program status. CRA staff sent an email to Transportation Management Services Department and are waiting for program updates.

12. Unpaved Private Road Emergency Repair MSTU (Municipal Service Taxing Unit)

At the March 28, 2023, Board of County Commissioners meeting the Board considered an Ordinance to create a municipal service taxing unit to handle the unpaved private roads. At the December 12, 2023, Board of County Commissioners meeting the Board approved an Ordinance which would create the unpaved private road emergency repair municipal service taxing unit by authorizing a levy of not to exceed one (1.0000) mil of ad valorem taxes per year.

There are approximately 25 roads that contain approximately 13.694 miles of unpaved private road considered impassable for emergency vehicles. The taxable value of the 625 properties benefitting from these roads is estimated to be \$61,452,001. A millage rate of 1.0000 will generate \$61,452 annually. With the average repair cost of \$12,000 per mile, approximately four (4) miles of impassable private lime rock road per year can be repaired.

County staff reported that they are in the bidding process to secure a Contractor to repair these private roads. They will let us know when they have a Contractor in place and when the repairs are to begin. They will also be notifying the property owners by mail as the repairs are scheduled. Little League Road is on our category 3 Roads, which are part of this bid.

13. Collier County Opportunity Zone Program

This program is a community and economic development tool to drive long-term private investment in low-income communities! Collier County hopes to leverage Opportunity Zones as an important tool to support the development of jobs, affordable housing, and economic vitality in five areas in Golden Gate, Naples Manor and in and around Immokalee. Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators.

They enhance the ability to attract businesses, developers, and financial institutions to invest in these targeted areas — distressed communities — by allowing investors to defer capital gains taxes through investments Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators. The zones enhance local communities' ability to attract businesses, developers, and financial institutions to invest in targeted areas by allowing investors to defer capital gains taxes through investments in federally established Opportunity Funds.

It's an economic and community development tax incentive program that provides a new impetus for private investors to support distressed communities through private equity investments in businesses and real estate ventures. The incentive is deferral, reduction, and potential elimination of certain federal capital gains taxes. To become a Qualified Opportunity Fund, an eligible corporation or partnership self-certifies by filing [Form 8996](#), Qualified Opportunity Fund, with its federal income tax return.

Three areas in and around Immokalee, from Lake Trafford to the west to the county line to the east

- 1) [Census Tract 112.05](#) area surrounding Immokalee.
- 2) [Census Tract 113.01](#) area surrounding Immokalee.
- 3) [Census Tract 114](#) area surrounding Immokalee.

Report by: Christie Betancourt, Program Manager

Project Manager Report

05/06/2024

1. **First Street Zocalo Plaza (107 N. 1st Street) and Main Street (1st Street – 9th Street)**

i. *Monthly Maintenance*

A&M Property Maintenance (A&M) is currently providing short-term maintenance work and is keeping Zocalo Plaza clean, green, and in a safe condition. Staff prepared a draft Scope of Work to process an Invitation to Bid for a 3-year term with two (2) one-year renewals to finalize the selection of a contractor to maintain Zocalo Plaza. On April 17, 2024, the draft Solicitation Worksheet Package was sent to Procurement Services to initiate the process for bids.



05.01.24 Zocalo Plaza is well-maintained by A&M Property Maintenance LLC



05.01.24 Requested Work Order to repair leak.



05.01.24 Homeless sleeping at Band Shell.



Bell Design for Poles.

ii. *Holiday*

Holiday Bell Street Light Pole Decorations

On April 8, 2024, Staff processed a Request for Purchase Order for Bronner’s Commercial Display for the replacement of the bell street light pole decorations for the holiday season. Staff had sent an RFQ to 18 vendors for twenty-five (25) bell decorations, 50 replacement LED red & yellow light bulbs with freight. Above is a sample of the 5’ bell silhouette commercial grade side pole mount illuminated decorations reflected in the RFQ. Staff received five (5) quotes ranging from \$10,125 (provided discounts are honored) to \$30,000. On March 27, 2024, the Immokalee MSTU Advisory Committee authorize Staff to proceed with processing a Purchase Order for the purchase from the lowest bidder in the amount of \$10,125 with a Not To Exceed amount of \$15,000 for the single bell with bow decorations that satisfied Procurement’s requirements.

On April 9, 2024, Staff submitted the Request for Purchase Order for processing and on April 22, 2024, Procurement Services advised Staff to provide Bronner’s E-Verify needed to create the Purchase Order. Bronner’s is a Michigan Corporation, E-Verify is voluntary in the State of Michigan and Bronner’s does not participate in E-Verify. An email was sent to Bronner’s on April 23, 2024, providing E-Verify registration information. Staff advised on May 6, 2024, on how to proceed.


If unable to proceed with Bronner’s potential options are: (1) move to the next lowest bidder, confirm participation in E-Verify, the removal of their “terms & conditions” language, and confirm their quote of \$12,314.25 which exceeds 30 days or (2) if necessary, to proceed with the next lowest bidder, confirm participation in E-Verify and that they will honor their quotes of \$18,149 or \$12,314.25, if the discount is honored, or (3) not purchase the bell decorations for this holiday season utilizing the existing inventory in deteriorating condition and plan for replacement in 2025.

Holiday Christmas Tree and Zocalo Plaza

Staff prepared a scope for services for quotes for the 2024 season for the tree, garland, and holiday decorating services at Zocalo Plaza. The Request for quotes was sent on March 29, 2024 to 12 vendors with a response date of April 15, 2024. Staff did not receive the minimum number of three quotes from three vendors. Staff received a \$112,222.29 quote with the purchase of a Christmas tree and \$98,263.21 for rental of a Christmas tree which exceeds the budget. There was one \$49,000 quote eliminated for adding terms and conditions language, four unable responses and the remainder unresponsive. Staff are preparing two modified solicitations for bids. One for the installation, decorating, and removal of a rental Christmas tree with LED lights and decorations, and the other for supplying, installing, and removing wrapped lights on the palm trees at Zocalo Plaza with the installation and removal of the CRA-owned holiday decorations at Zocalo Plaza. These solicitations will go through OpenGov a fully automated web-based electronic bidding system in an attempt to secure a minimum of three (3) bids for each solicitation.

2. Street Light Poles

Insurance Claim Report: #2B, #8, #10, #38 & #52:

Pole # and Location	Date of Incident	Quote	Date of Quote	Claim Paid	Date Claim Paid	Comments
#2B Median Pole at N First Street and West Delaware	5/3-5/10, 2023 Discovered on 05/10/23	\$27,138.36	6/7/23			On 05/10/23 notified Traffic Ops of knocked down pole. Staff received incident report from Sheriff's Office on 5/25/23. Quote sent to Risk 6/15/23 & filed Claim. Replacement on hold pending new design of S. 1 st St. #500505231937. 12/1/23 Risk will elevate claim & attempt to recover from faulty driver's insurance carrier.
#8 Triangle Awaiting reimbursement.	04/25/22	\$24,669.28	05/24/22	01.31.23 received invoice. Amount Due \$21,904.32 less \$500 deductible. Awaiting reimbursement.		6/21/22 Pole order. Installation completed on 1/10/23. Received invoice on 1/31/23 for \$21,904.32 and sent to Risk for claim reimbursement. 6/13/23 Risk's Adjuster still in the subrogation process with the at fault party's insurance carrier.
#10 Main Street Village Apts	09/21/24	Installation Completed. 				09/26/23 Traffic Ops filed claim for replacement and will do billing. 5/1/24 Pole installation completed & awaiting invoice from Traffic Ops.
#38 15 th St near McDonalds	04/17/12	2023 Quote \$21,511.13 Difference \$8,442.63	2012 12/07/23	\$13,068.50	10/16/12	Claim #53-05171201517 in 2012 Paid 13,068.50, no replacement was planned. 7/28/23 Traffic Ops emailed pole needs replaced. 10/13/23 request for quote & 12/7/23 received quote of \$21,511.13. 1/2/24 sent PO 4500229429 to Simmonds. 4/15/24 Estimated delivery to Simmonds 5/13/24.
#52 15 th at Santa Rosa	09/15/18	\$11,662.13 in 2018. \$21,511.13 in 2023 NTE Difference \$10,349.00	2018 12/7/23	\$11,162.13	12/3/19	Filed Claim #53-0951908921 & paid \$11,162.13 in 2019. 2018 no replacement planned. 7/28/23 Traffic Ops emailed pole needs replaced. 10/31/23 request set quote and received quote of \$21,511.13 on 12.7.23. 1/2/24 sent PO 4500229429 to Simmonds. 4/15/24 Estimated delivery to Simmonds 5/13/24.

i. *Custom Welding*

Due to the deteriorating condition of blue pole banner arms on SR 29, Staff obtained quotes for welding and repairs to the existing sleeves. On January 24, 2024, the Immokalee MSTU authorized the custom fabrication of aluminum banner holders with finials at one end. Installation of aluminum pipes as banner arms for poles to hold banners are at the intersections of Westclox, Lake Trafford and Immokalee Drive along SR29. The Estimate for the project was \$14,995.00 on 15 poles for the fabrication, installation, and painting. On February 9, 2024, Staff provided the Sherwin Williams paint code, pole specifications and a map to Charro Custom Welding. Staff purchased the paint from Sherwin Williams and Charro Welding picked up the paint on April 16, 2024, to paint the banner holders.

3. Immokalee Complete Street (TIGER Grant) Project

The overall project will create a network of Complete Streets including approximately 20 miles of new sidewalks, improved walkability by filling in sidewalk gaps, a bicycle boulevard network, additional street lighting, landscaping, drainage improvements, and improved bus stops. These improvements will increase safety for the community.

Area 1 is the construction of sidewalks along the south side of East Delaware Avenue from South 1st Street to School Drive and multi-use trail construction on the east side of School Drive from Rose Avenue to E. Eustis Avenue. Crews completed the multi-use trail on School Drive. Roberts Avenue, 1st Street, Jefferson Street, and the bus transfer station at the Collier County Health Department on Immokalee Drive are under construction.

On February 28, 2024 Representatives of the Project from Q. Grady Minor PA (Engineer) and Quality Enterprises USA (Construction Manager) attended the Immokalee MSTU Meeting and provided an update on the project.

Additional information is available at <https://immokaleecompletestreets.com>.



05.01.24 TIGER Project N 1st Street



05.01.24 TIGER Project Jefferson St



05.01.24 TIGER Project Jefferson St



05.01.24 TIGER Project Bus Transfer Station



05.01.24 TIGER Project Roberts Avenue



05.01.24 TIGER Project Roberts Avenue

4. Historic Cemetery Preservation – No Update

A&M Property Maintenance LLC assumed the maintenance on the site on October 1, 2023. Staff identified desired improvements at the cemetery and A&M is to investigate the access to water for irrigation on underground existing pipes under the pavement feeding from the SR29 median once a survey has been completed. The Seminole Tribe, Christ Episcopal Church and Parks & Recreation have been contacted to assist in identifying the individuals interred at the cemetery.

A boundary survey is needed to proceed on the preservation of the cemetery. On March 15, 2024, Staff provided a request for proposal to Stantec for the survey, ground penetrating radar and mapping services. Staff had a conference call with Stantec’s Surveyor on March 19, 2024. Stantec is coordinating with their historical preservation staff to provide a proposal.

5. Panel Boxes

On January 24, 2024, the Immokalee MSTU Advisory Committee suggested Staff find an organization to sponsor the wrapping of the electrical boxes. On March 16, 2024, Staff emailed Tony Khawaja, Traffic Operations, to see if this was permissible. On April 8, 2024, Mr. Khawaja advised that Traffic Ops is working on policy/guideline on how to do this. It is under review, and they will let us know if they get a favorable decision. The MSTU was added as an interested party.



Report by: Yvonne Blair, Project Manager Dated: May 6, 2024

Immokalee Community Redevelopment Area (ICRA)

Projects Updates

May 6, 2024



508
iTEC
Immokalee Technical Center

ENROLL NOW
NEW CLASSES
BEGIN APRIL
ONE-SCHOOL OPEN



Table of Content

ICRA Projects (Funded by CRA and MSTU)

- **First Street Corridor Pedestrian Safety Improvements**
 - **South 1st Street From Main Street to School Road/Seminole Crossing Trail**
- **Immokalee Sidewalk Phase III**
 - **Eustis Avenue & West Delaware Avenue**
- **Historic Cemetery Preservation**
 - **815 West Main Street**
- **Lake Trafford Road Corridor Lighting Study**
 - **Lake Trafford from SR29 (15th St.) to Ann Olesky Park & a portion of Carson Road**
- **Main Street Corridor Streetscape**
 - **SR29 (Main Street) from 9th Street to E 2nd Street**
- **CRA owned property**
 - **107 South 9th Street**

Other Projects of Interest

- **Immokalee Complete Streets**
 - **Transportation Investment Generation Economic Recovery (TIGER) Grant**
- **SR 29 Loop Road**

Project #: 33831-01

Project Sponsor: Immokalee MSTU

Project Manager: Yvonne Blair

Project Scope: In 2021 Q Grady Minor (QGM) provided a Conceptual Plan Report that recommended the installation of rectangular rapid beacons at three crosswalks and 11 additional Collier County Traffic Operations light poles for pedestrian safety. Staff applied for a \$250,000 Community Development Block Grant for the design of the lighting and safety improvement plans. On 2/12/24 Procurement Services authorized modifying the Scope to full corridor lighting as recommended by KCA. Corridor is appx. 4,000 feet.

CHS CDBG Grant #CD22-03-IMM (Design Only)

Design Budget: \$189,990 CDBG Funds (Awaiting \$11,955 CO#1 approval)

Design Proposal: Kisinger, Campos & Associates (KCA)

CDBG Design Funds End: Extended to 10/27/24

Construction Budget: \$850,000 (2023 updated to 1.2M)

CRA & MSTU Funds/awarded 600K CDBG Grant in 2024

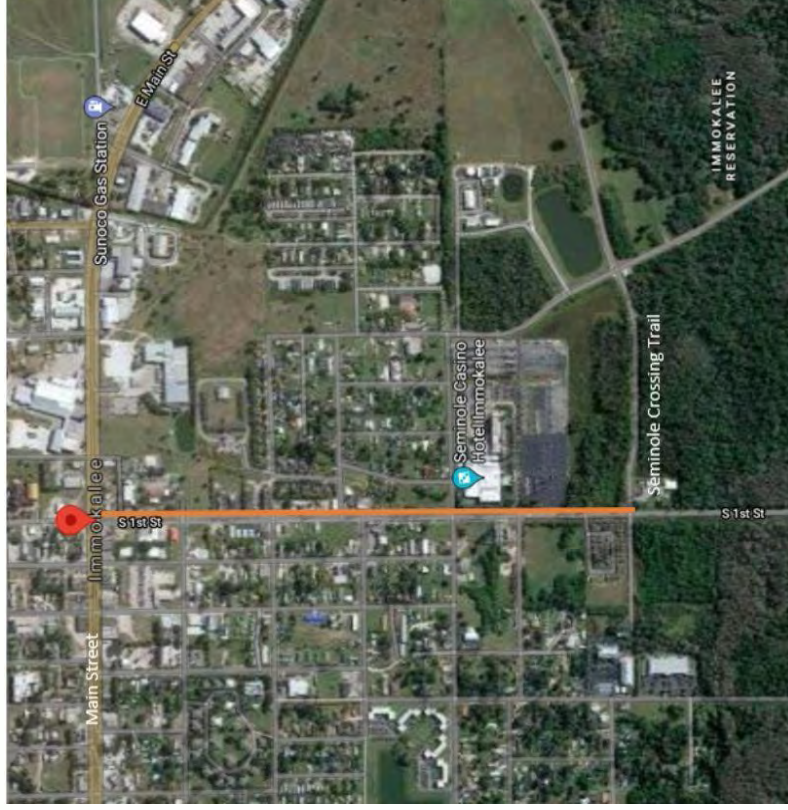
Architect/Engineer: KCA

General Contractor: TBD

Notice to Proceed Date: TBD

Estimated Substantial Completion Date: Design is targeted for completion by 10/13/24 (by CO#1), leading to construction in 2025 in phases.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	60%
Construction	0%

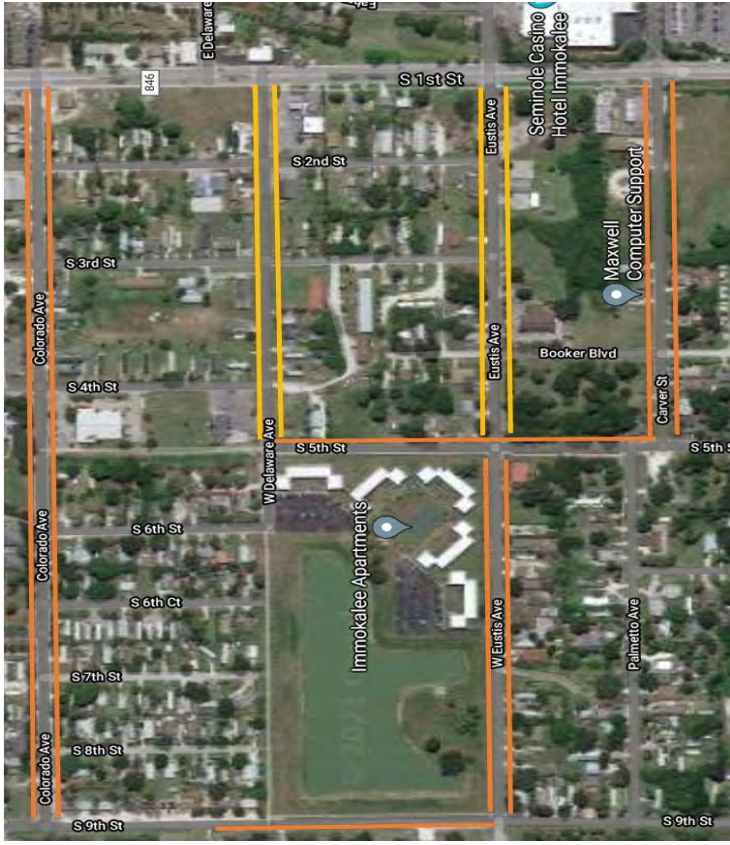


Milestones/Challenges To Date: 05/06/2024

- Subrecipient Agreement & Budget Amendment was approved by BCC's 9/13/22 for \$250,000 CDBG Grant Agreement for the design project.
- Issued NTP for \$189,990 to KCA on 7/20/23 with a commencement date of 7/21/23.
- KCA provided a Proposal for 60% (5/10/24) Final (9/6/24) Plans, \$11,955 for 12 additional SUEs and a 180-day extension (10/13/24). 1/17/24 CHS provided an extension from 4/30/24 to 10/27/24 for the Grant. 4/10/24 Issued Stop Work Notice. 4/11/24 received CO #1 & issued start work notice to KCA.
- Immokalee CRA authorized Staff to proceed with grant application for construction on 2/21/24. BCC approved 1.2M construction Grant Application on 2/27/24 #16L1. Staff presented to the Review & Ranking Committee on 3/27/24. Awarded 600K. Awaiting the subrecipient agreement to take to BCC in June/July 2024 & OMB to set up grant number and approve budget. Staff preparing Executive Summary and RLS.
- April 2029 deadline for construction competition with or without full grant funding.

Immokalee Sidewalk Phase III

Eustis Avenue & West Delaware



Yellow - Proposed Phase 3
Orange - Phase 1 and 2 (completed in 2018 and 2021)

Milestones/Challenges To Date: 05/06/2024

- 9/27/23 CRA & MSTU Advisory Boards authorized a cost share for gap funding estimated expenses of \$245,100. 11/14/23 BCC Agenda #1611 was approved for the Chairman's execution of the Grant Agreement. 11/16 Clerk sent Agreement to HUD for execution. Received Grant Agreement on 4/23/24 with a commencement date of 4/13/24.
- 2/2/24 HUD's Field Officer advised project is excluded (no 7015.15 or 7015.16 forms required) & recommended Staff get authorization from HUD to move forward. 2/2/24 sent ERR to HUD. On 2/2/24, 3/15/24, 4/2/24, 4/5/24 & 4/25/24 Staff requested confirmation from HUD to move forward. Staff has requested CHS to upload ERR in HEROS.
- Staff sent Solicitation Worksheet for Construction with ABB's Bid Schedule & Estimated Costs Expense to Procurement. Once confirmation to move forward is received from HUD, Staff to resubmit solicitation via Jira to start advertisement for bids.
- 4/22/24 Staff activated in DRGR. Need to draft Action Plan for CHS & OMS approvals. Performance Report due 6/1/24.

Project #: 33873-01

Grant #: B-22-CP-FL-0233

Project Sponsor: Immokalee CRA

Project Manager: Yvonne Blair

Project Scope: A comprehensive sidewalk plan for the southern area of the Immokalee Community. Consists of 6' wide concrete sidewalks as well as drainage improvements along Eustis Avenue and W. Delaware Avenue from S 5th Street to S 1st Street (approximately 2,500 linear feet).

Design Budget: \$114,763 MSTU Funds

Construction Costs: 100% cost estimate \$1,007,822.50
Total Estimated: \$1.4M

Federal Appropriations Funds (Estimated): \$987,000

Architect/Engineer: Agnoli, Barber & Brundage (ABB)

Stop Work 9/15/22 with 145 remaining days. Resume after the solicitation of a contractor.

Owner's Representative (CEI): Total Municipal Solutions, stop work notice 4/20/23 with 250 remaining days.

CEI Budget: \$101,215.60 CRA Funds

General Contractor: TBD

BCC Board Date: TBD

Notice to Proceed Date: 08.16.2021 Design

Estimated Substantial Completion Date: CY 2025

DESCRIPTION OF WORK	% COMPLETE
Procurement	15%
Design	100%
Construction	0%

Historic Cemetery Preservation

815 West Main Street, PID 00127320003, 0.06 Ac +/-

District #: 5

Project #:

Project Sponsor: ICRA & IMSTU

Project Manager: TBD

Project Scope: Staff to proceed with the maintenance and preservation of the Historic Cemetery. An appropriate roadmap that defines vision, destinations and outcomes will be drafted to map out both maintenance and restoration milestones and budget(s).

Location: 815 W Main St. 28' X 95' (.06 Ac)

Maintenance Budget: TBD

Restoration Budget: TBD

Team/Partners: TBD

Construction Manager: TBD

Landscaping Maintenance: A&M Property Maintenance LLC

BCC Approval Date: TBD

Estimated Substantial Completion Date: 2025



Milestones/Challenges To Date: 05/06/2024

- 10/18/23 the ICRA & IMSTU Advisory Committees reviewed a proposed 5-year plan and approved (1) clean up perimeter, (2) establish Team/partnerships with A&M, Seminoles, BCC Liaison, and Museum, (3) price all tasks, and (4) do exterior tasks in Year 1.
- A&M completed the repair for the alignment/secure signage in concrete, repair fence and gate on 1/19/24. Existing irrigation lines from median to cemetery are to be investigated to determine if operational.
- 12/15/23 Staff contacted Natalie De La Torre Salas, Public Archaeology Coordinator SW Region FL Public Archaeology Network (FPAN). Need boundaries, ID interned & descendants, Management Plan & Preservation Training.
- 3/5/24 Staff drafted a Direct Select via Contract 18-7432-SM for the surveying, ground penetrating radar and mapping services
- 3/15 Sent RFP to Stantec. Staff had meeting with Stantec's surveyor on 3/19/24. Awaiting Proposal. Stantec coordinating with their historical preservation staff to provide a proposal.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	0%
Construction	0%

Lake Trafford Road Corridor Lighting Study

Lake Trafford from SR29 (15th St.) to Ann Olesky Park & a portion of Carson Road

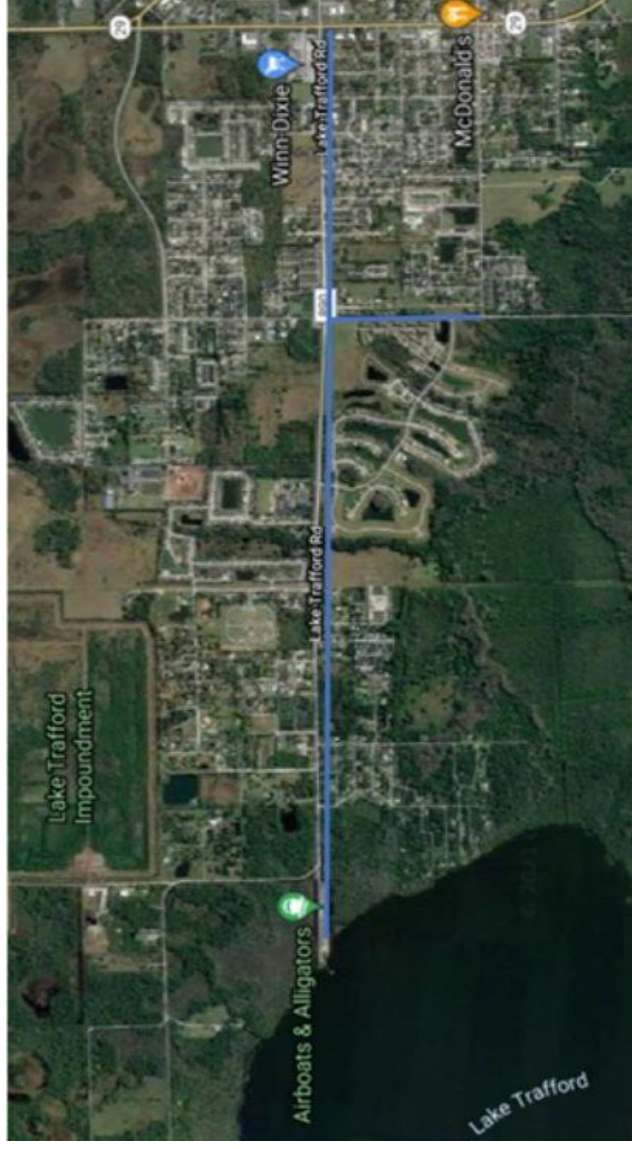
Project #: 1026-138346-50246.2 (CRA)
1629-162524-631400 (MSTU)

Project Sponsor: Immokalee MSTU
Project Manager: Yvonne Blair

Project Scope: Complete a lighting justification study to determine lighting requirements along Lake Trafford Road utilizing LCEC equipment and complete required survey of the corridor. The project will be completed in phases in coordination with the Transportation Division's project consisting of bike lanes and drainage improvements on both sides of Lake Trafford from Little League Road and Laurel Street.

Location: Lk Trafford Rd 4.8 mi & Carson Rd .5 mi
Design Budget: \$149,930 MSTU Funds/\$100,000 CRA
Construction Budget (Estimate): \$2,500,000 – contingent on type of pole and partnership with LCEC.
Funding: CRA & MSTU Funds and Grants
Architect/Engineer: Jacobs Engineering (Jacobs)
Owner's Representative (CEI): TBD
General Contractor: TBD

Notice to Proceed Date: 05/02/23
Estimated Substantial Completion Date: TBD
Stop Work Notice: 04/10/24



Milestones/Challenges To Date: 05/06/2024

- A Work Order was finalized on 3/6/23 with Jacobs to perform a lighting study & prepare the construction plans to be utilized by LCEC and provide limited Subsurface Utility Engineering.
- On 5/1/23 a NTP with a PO in the amount of \$249,930 was issued for Jacobs to commence on 5/2/23. Topographic design surveys were completed 8/11/23. 10/16/23 Jacobs coordinated with LCEC.
- Task 1 – 11/7/23 Jacobs provided the 30% Lighting Study Analysis Report. 11/28/23 Summary of Poles Spreadsheet with the Report sent to County Staff and IWSD. 1/16 conference with IWSD, Jacobs & CRA. Task 2 – 3/8/24 Jacobs coordinated with several projects on the corridor & LCEC.
- 4/9/24 Jacobs advised of underground conflicts on the County's on hold Sidewalk Project on the same corridor & requested Stop Work Notice. 4/10/24 Staff issued Stop Work Notice to Jacobs while the County's sidewalk project works through utility changes that may impact pole placements.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	43%
Construction	0%

SR29 (Main Street) from 9th Street to E 2nd Street



Project #: 1629-162524-631400

Sponsor: Immokalee MSTU

Project Manager: Yvonne Blair

Project Scope: Johnson Engineering (Johnson) had been selected as the Consultant to prepare a Proposal for the design improvements to the streetscape of Main Street Corridor (.61 miles). The project consists of design services, permitting, and construction oversight for streetscape enhancements.

Design Budget: \$212,598 MSTU Funds

Construction Budget (Estimated): \$2,500,000 CRA & MSTU Funds (Funds may be diverted to First St Project)

Architect/Engineer: Johnson Engineering

Design Notice to Proceed Date: 9/1/22

Final Design 100% Plans: Stop Work Notice Issued 9/27/23 with 213 remaining days.

Construction Completion Date: Project on hold.

Milestones/Challenges to date: 05/06/2024 - On Hold

- A NTP was issued to Johnson with a commencement date of 9/1/22. Kick-Off and Site Visit Meeting held on 9/26/22 with Johnson's design team and CRA Staff.
- Johnson's design team conducted Public Meeting #1 11/16/22, Public Meeting #2 on 2/15/23, & Public Meeting #3 on 3/15/23.
- On 6/1/23 Johnson provided preliminary hardscape plants o CRA staff.
- Pre-App with FDOT on 7/18/23.
- An on-site meeting was held on Main Street with Johnson on 7/26/23 with a detailed follow up email to Johnson with questions and concerns for improvements to the corridor.
- On 8/31/23 Johnson provided a Cost Estimate of \$1,945,440.83.
- On 9/27/23 the CRA & MSTU Advisory Boards authorized Staff to put Johnson Engineering on hold until the evaluation of the SR29 Loop Road project is defined & the future conveyance of Main St. to County is investigated. A new scope of Main Street shall enhance features for a pedestrian friendly downtown streetscape.
- A Stop Work Notice was issued to Johnson on 9/28/23 with 213 remaining days.
- FDOT PM for Loop Road attended the 4/17/24 Joint CRA & MSTU Meeting to provide a Loop Rd updates from (SR29) Oil Well Rd to SR82.
- Staff reviewed roundabout PH1 plans & provided comments on 4/12/24.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	60%
Construction	0%

District #: 5
Project #: Ninth Street Parcel – (formally owned by CRA)
Project Sponsor: Immokalee CRA
Project Manager: Christie Betancourt
Monitoring Project for Community's Awareness
Project Scope: In May 2021, Catholic Charities submitted a Letter of Intent (LOI) and draft concept plan to purchase the CRA property to complete the assembly of appx. 7 acres at the corner of Ninth Street and Main Street in downtown Immokalee. The concept plan includes a mix of uses including urgent care facility, improved social services, community meeting room, administrative offices, retail space and affordable housing. Folio # 01228400009, 1.96 Ac., Zoning RMF-6 with C-4 MSOSD.
Property closed on 8/29/23.

Architect/Engineer: TBD
Construction Manager: TBD
Buyer: Catholic Charities Diocese of Venice, Inc. (Catholic Charities)
Buyer's Representative: Chancellor Volodymyr Smerlyk Interim CEO
BCC Approval Date: 04/11/23
Estimated Substantial Completion Date: TBD
Final Completion Date: TBD



- Milestones/Challenges To Date: 05/06/2024**
- On 4/11/23 BCC/CRA 16B1 approved Purchase Agreement with a Sales Price of \$600,000 plus closing costs. Transaction closed on 8/29/23. Deed recorded at OR Book 6282, Page 2959. Post-closing milestones:
 - Within 180 days of closing (2/20/24), Catholic Charities to file an application for Rezone which includes a Catholic Community Center, Catholic Clinic with related medical offices, and/or retail/commercial space on the property in accordance with the Conceptual Plan (Exhibit B of the Purchase Agreement).
 - 2/15/24 Catholic Charities requested a 90-day extension to the full rezoning application deadline. 2/20/24 Deputy County Manager extended to 5/20/24.
 - Within 6 years of approval of rezone application & adoption of the rezone ordinance, Catholic Charities must have substantial completion of project.
 - If Purchaser fails to meet the timelines including extensions, a reverter clause may be applied with written notice.
 - 4/5/24 Staff needs Updated Schedule from DOV.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	0%
Construction	0%

Immokalee Complete Streets – TIGER Grant

Transportation Investment Generation Economic Recovery

District #: 5
Project #: 33563

Project Sponsor: BCC

Project Manager: Michael Tisch, Transportation Engineering

Monitoring Project for Community's Awareness

Project Website: <https://immokaleecompletestreets.com>

Project Scope: This project includes design and construction of 20 miles of concrete sidewalks, a boulevard network, shared-use path, streetlights, bus shelters, a new transit center and landscaping. Five corridors and 38 intersections were recommended for lighting. The Immokalee MSTU will be funding the streetlight electric bill after the completion of the project.

Construction Budget: \$22,869,280 Funding sources: FHWA grant funds (\$13,132,691) & County match funds (\$9,736,589)

Architect/Engineer: Q Grady Minor PA (QGM)

Construction Manager: Quality Enterprises USA (QE)

Owner's Representative (CEI): Kisinger Campo & Associates

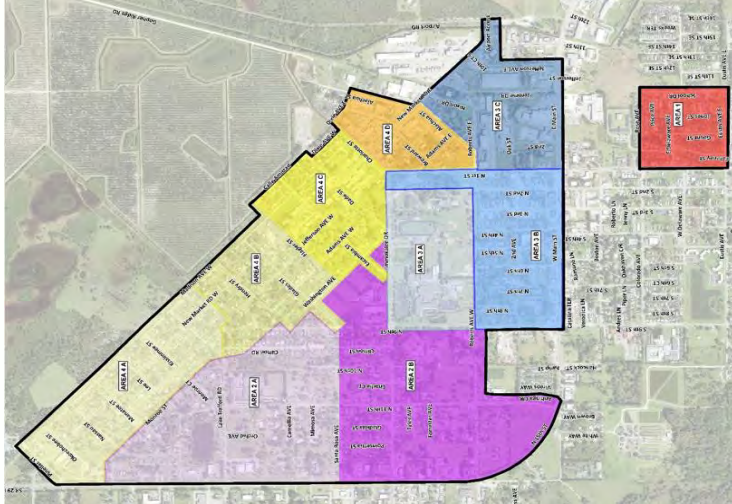
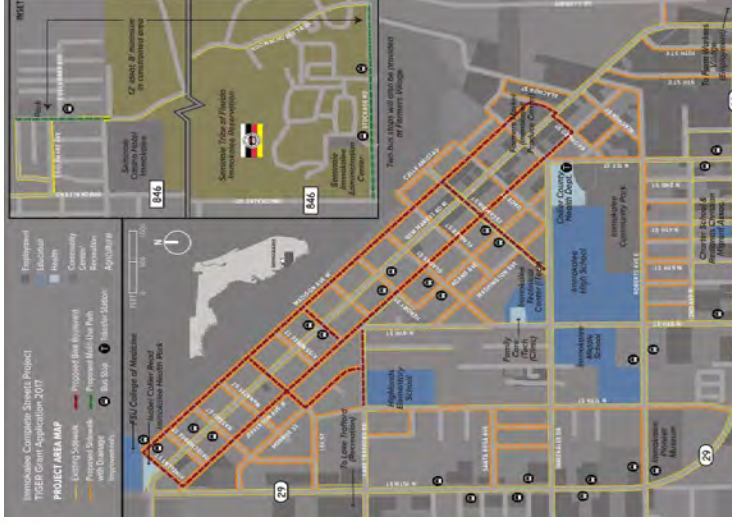
Contact Info: Cella Molnar & Associates

<https://immokaleecompletestreets.com/contact-2/>

BCC Approval Date: 02/08/22

Estimated Substantial Completion Date: Mid 2024

Procurement	100%
Design	75%
Construction	17%

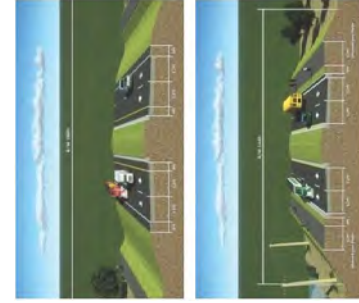


Milestones/Challenges To Date: 05/06/2024

- Area 1 – Contractor has completed construction in Area 1.
- Area 2 - The Contractor has completed construction in Area 2.
- Areas 3A, 3B & 3C – Contractor completed sidewalks in Area 3A, which is the concrete sidewalk abutting Immokalee HS. Contractor is continuing construction in Area 3B. The Contractor has begun construction activities in Area 3C.
- Area 4 – Contractor has mobilized into Areas 4B/C. The Contractor is beginning to order the drainage infrastructure for Areas 4A/D.
- Area 5 – Contractor is currently coordinating with the County and the Seminole Tribe on the proposed improvements. Meeting on 4/24/24 & Tribe going to Leadership for plan approvals.
- Bus Transfer Station – Construction is ongoing.
- Continuous Street Lighting – LCEC is in the process of procuring the materials.
- 1/22/24 Johnson Engineering awaiting locations of 65 undecided poles to complete a map of light pole locations that will identify entity (LCEC, County, or MSTU) who owns pole and determine utility expenses for Executive Summary for the Agreement. 2/28/24 QGM & QE attended Immokalee MSTU Mtg to provide update. Next TIGER Meeting is 5/9/24.

SR 29 Loop Road

SR 29 from CR846 E. to North of New Market Road N



District #: 5

Project #: 417540-5

Project Sponsor: FDOT

Project Manager: Sean Pugh, P.E., Design Project Manager

Monitoring Project for Community's Awareness

Project Website: <https://www.swfroads.com/project/417540-5>

Project Scope: The intent of the loop road is to remove much of the truck traffic from SR29 through Immokalee on Main Street and New Market Road West where the western position of that street is primarily residential. The loop road interconnects on Airport Access Road and Alachua Street will provide direct access from the loop road to intensive industrial, grower, packing and shipping districts along New Market Road. Project is 3.35 miles.

Construction Budget: Estimated 85 M

Architect/Engineer: TBD

Construction Manager: TBD

Owner's Representative (CEI): TBD

BCC Approval Date: TBD

Estimated Completion of PD&E Study: Summer 2024

Estimated Substantial Completion Date: 2026

Milestones/Challenges To Date: 05/06/2024

- The FL Legislature approved a 4B budget for the "Moving Florida Forward" Project. This project will construct a new alignment of SR29 as a 4-lane divided roadway with drainage improvements on the corridor to serve as a loop around downtown Immokalee area.
- 02/21/24 FDOT advised Loop Road in design with construction by 2026 on PH1 (Airport Road to New Market/SR29) and end of Summer 2026 on PH2 (New Market to 82).
- FDOT's Environmental Manager attended the 4/17/24 Joint CRA & MSTU Meeting to provide a Loop Rd update with video presentation www.SR29Collier.com. In person public meeting on 4/18/24 & online 4.23.24 <https://bitly.ws/3fYfL>.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	15%
Construction	0%



Upcoming Community Events *Updated 05/03/2024*

Collier County Parks & Recreation Advisory Board Meeting (PARAB)

Date: 05/15/2024 at 2:00 p.m.

Location: North Collier Regional Park
15000 Livingston Road., Naples, FL 34109
For more information call 239.252.4000

Immokalee Water and Sewer District (IWSD) Board of Commissioners Meeting

Date: 05/15/2024 at 3:30 p.m.

Location: Immokalee Water and Sewer District
1020 Sanitation Road., Immokalee, FL 34142
For more information call : 239.658.3630

Immokalee Fire Control District – Board of Fire Commissioners Meeting

Date: 05/16/2024 at 3:00 p.m.

Location: IFCD Headquarters (Fire Station 32) / Live Online
5368 Useppa Drive, Ave Maria, FL 34142
For more information contact Joshua Bauer at 239.657.2111
Live Online: <https://immfire.com/view-live-meeting/>

Collier County Public School (CCPS) Board Work Session (Budget)

Date: 05/22/2024 at 9:00 a.m.

Location: Dr. Martin Luther King Jr. Administrative Center/ Live Online
5775 Osceola Trail., Naples, FL 34109
Live Online: <https://www.collierschools.com/educationlive>

Collier County Board of County Commissioners (BCC)

Date: 05/28/2024 at 9:00 a.m.

Location: Board of County Commissioners Chambers, 3rd floor, Collier County Government Center
3299 Tamiami Trail E. , Naples, FL 34112
Live Online: <http://tv.colliergov.net/CablecastPublicSite/>

Immokalee Water and Sewer District (IWSD) Board of Commissioners Meeting

Date: 06/05/2024 at 3:30 p.m.

Location: Immokalee Water and Sewer District
1020 Sanitation Road., Immokalee, FL 34142
For more information call : 239.658.3630



Immokalee Fire Control District – Board of Fire Commissioners Meeting

Date: 06/06/2024 at 3:00 p.m.

Location: IFCD Headquarters (Fire Station 32) / Live Online
5368 Useppa Drive, Ave Maria, FL 34142

For more information contact Joshua Bauer at 239.657.2111

Live Online: <https://immfire.com/view-live-meeting/>

Collier County Board of County Commissioners (BCC)

Date: 06/11/2024 at 9:00 a.m.

Location: Board of County Commissioners Chambers, 3rd floor, Collier County Government Center
3299 Tamiami Trail E. , Naples, FL 34112

Live Online: <http://tv.colliergov.net/CablecastPublicSite/>

Collier County Public School (CCPS) Board Meeting

Date: 06/11/2024 at 4:30 p.m.

Location: Dr. Martin Luther King Jr. Administrative Center/ Live Online
5775 Osceola Trail., Naples, FL 34109

Live Online: <https://www.collierschools.com/educationlive>

Collier County Parks & Recreation Advisory Board Meeting (PARAB)

Date: 06/19/2024 at 6:00 p.m.

Location: Immokalee South Park
418 School Dr., Immokalee, FL 34142
For more information call 239.252.4000

If you have a community event you would like us to add to the list or a correction that needs to be made, please send to Yuridia.Zaragoza@colliercountyfl.gov or call at 239-867-0025



Immokalee Chamber (May 1, 2024)

Chad Oliver, Chief Communication Officer

- 2024 Elections will impact our local schools
 - Tax-Neutral Referendum on November ballot
 - Continue to provide operating flexibility to support schools
 - This past November CCPS passed the largest increase in teacher salaries in the history of Collier County – only possibly because of current referendum
 - No additional taxes – tax neutral, but needs continued voter approval
 - Two seats on August primary ballot: Erick Carter and Stephanie Lucarelli
 - Any registered voters in Collier can vote in these non-partisan races
 - School board members establish policies to operate schools, set attendance boundaries, approve budgets, appoint Superintendent, etc.
- Superintendent Dr. Leslie Ricciardelli
 - Growing school leaders who are from Immokalee
 - Meeting with current teachers who once received support from The Immokalee Foundation (TIF) and/or Guadalupe Center of Immokalee (GCI)
 - Creating career pathway toward school administration
- Immokalee Elementary Schools Achieve High Ratings
 - Village Oaks Elementary (A grade)
 - Highlands Elementary (A grade)
 - Pinecrest Elementary (B grade)
 - Eden Park Elementary (B grade)
 - Lake Trafford Elementary (B grade)
- Immokalee High Girls Robotics Team competed at the Robotics World Championships
 - Won 6 out of 10 matches, ranked 28 out of 82 teams in their division
- New elementary school coming to Ave Maria
 - Opening August 2026
 - On Anthem Parkway – northern part of the town

CCPS Office of Communications and Community Engagement:

communications@collierschools.com

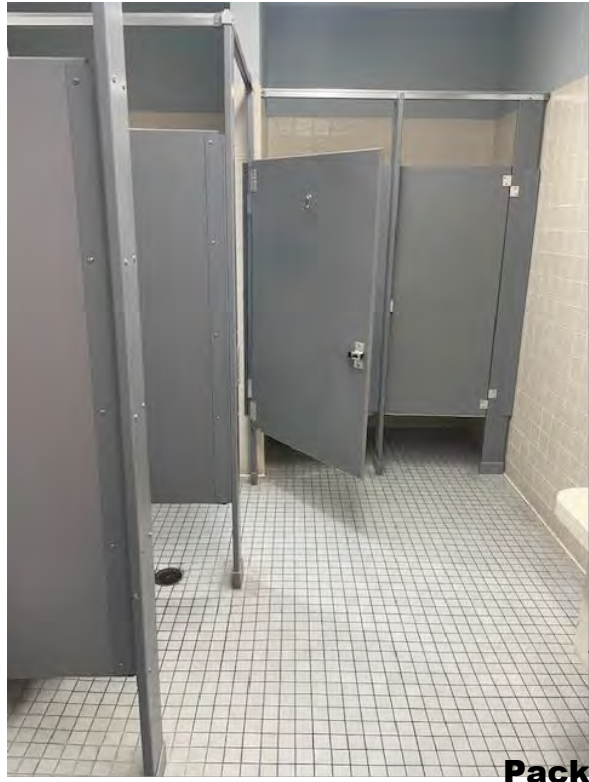
(239) 377-0180

Today's Learners • Tomorrow's Leaders

5775 Osceola Trail | Naples, Florida 34109 | p: 239.377.0185 | f: 239.377.0181
e: oliver@collierschools.com | www.collierschools.com

Immokalee Community Park

Indoor Restrooms/Kitchen before renovations







Indoor Restrooms/Kitchen after renovations

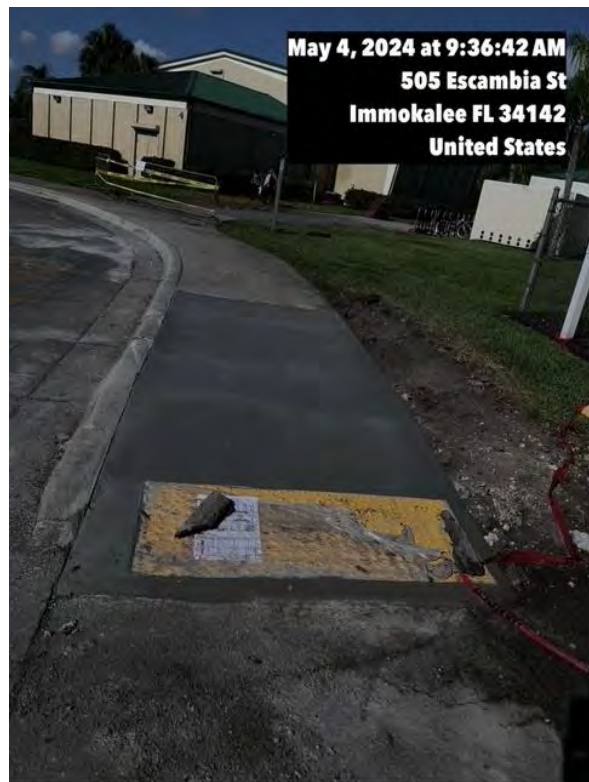




Sidewalk Updates

Immokalee Sports Complex









Immokalee Community Park







IMMOKALEE ONE-STOP MPUD

Planned Unit Development Rezone

PUDZ-PL20230017241

IMMOKALEE CRA
Advisory Board Meeting
May 15, 2024

PROJECT TEAM



APPLICANT:

Southwest Florida Workforce Development Board, Inc.

CONSULTANT TEAM:

Coleman, Yovanovich, Koester

- Richard Yovanovich, Esq.

Peninsula Engineering

- Jessica Harrelson, AICP

Trebilcock Consulting Solutions

- Norman Trebilcock, AICP, PTOE, PE



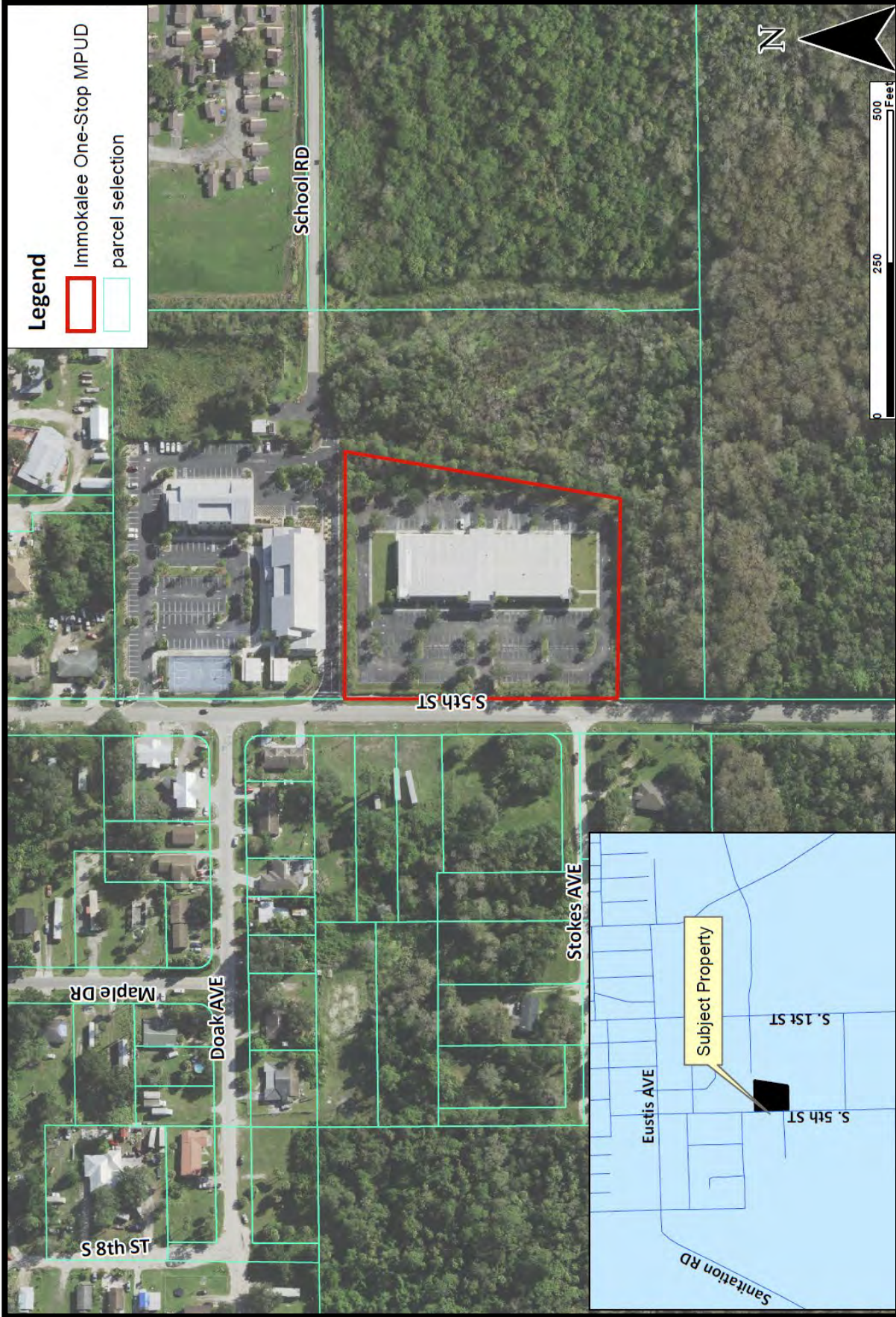
ZONING REQUEST



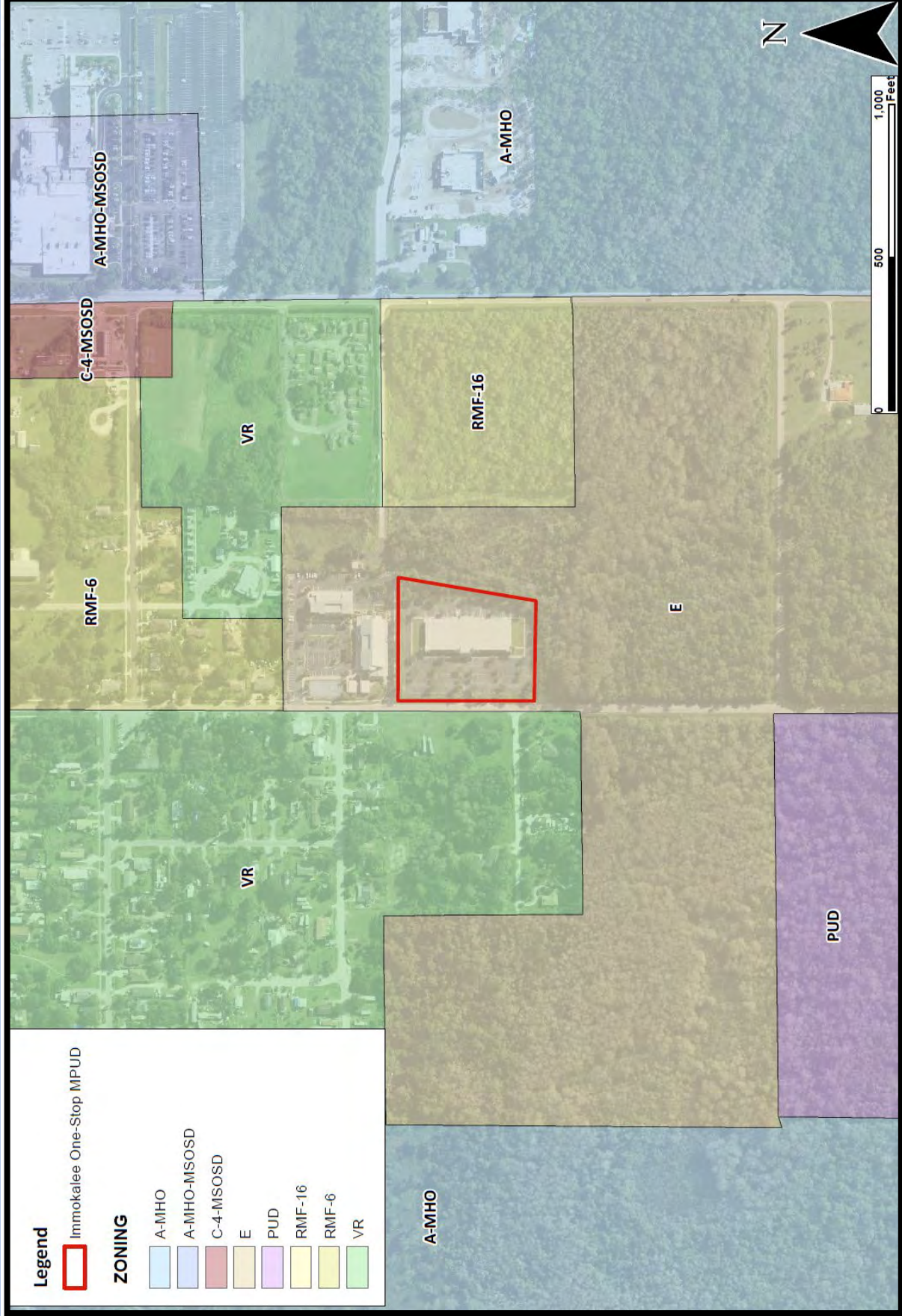
PLANNED UNIT DEVELOPMENT REZONE

Requesting to rezone the site from the Estates (E) zoning district to the Immokalee One-Stop Mixed Use Planned Unit Development (MPUD), to permit a maximum of 40,000 SF of gross floor area of limited commercial land uses or up to sixteen (16) dwelling units per acre, or a total of 61 residential units.

LOCATION MAP



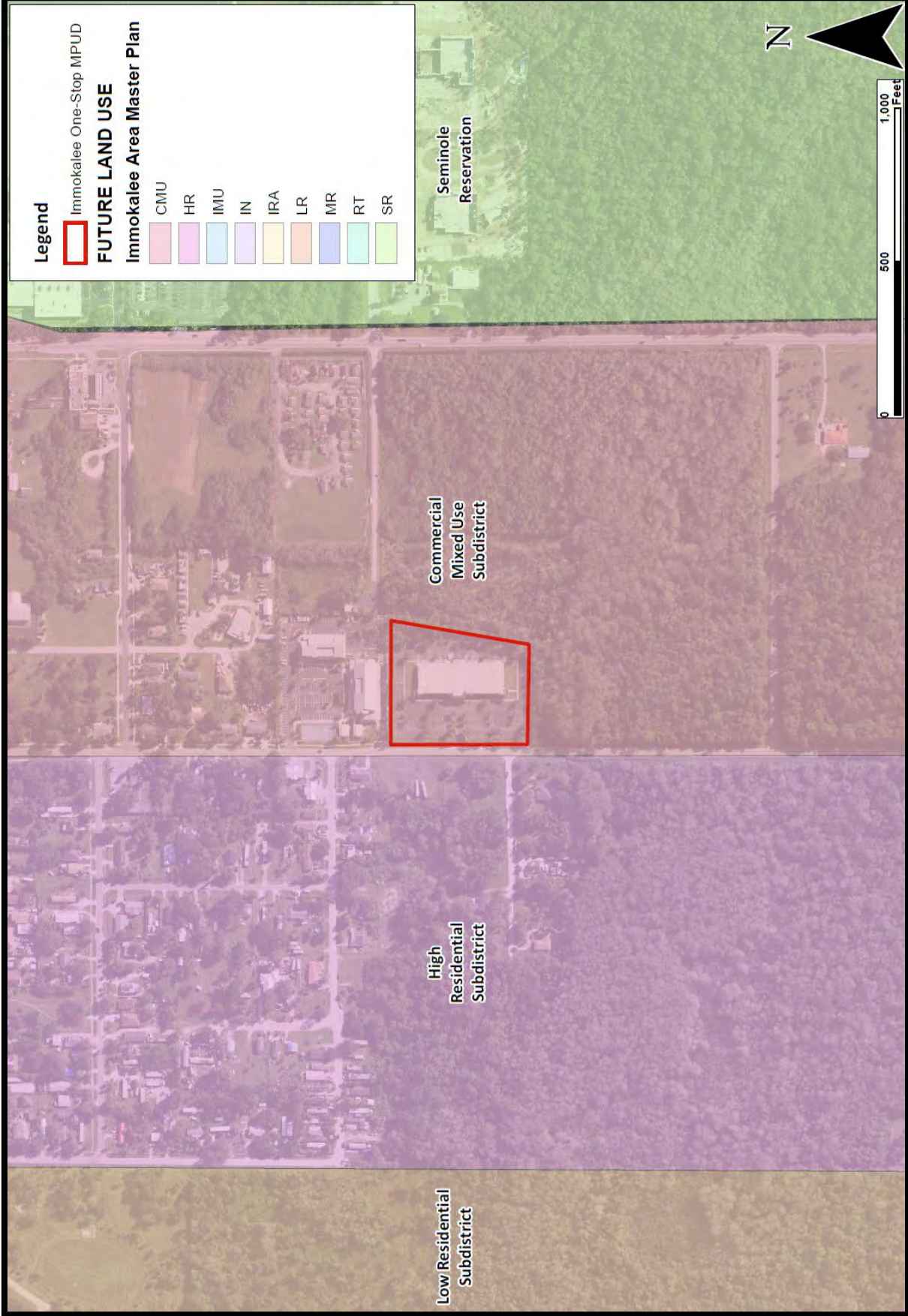
ZONING EXHIBIT



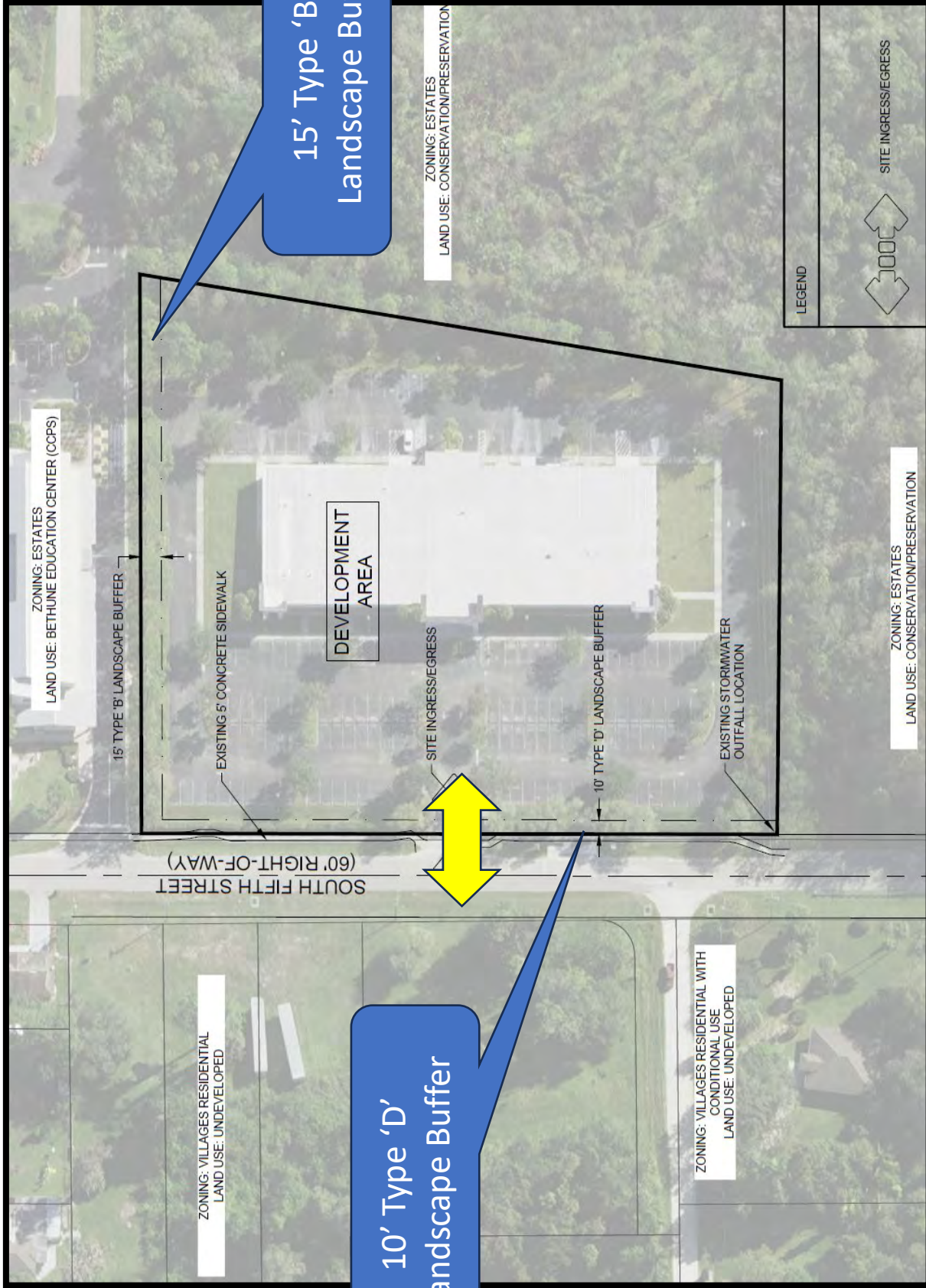
Legend
[Red Outline] Immokalee One-Stop MPUD

- ZONING**
- A-MHO
 - A-MHO-MSOSD
 - C-4-MSOSD
 - E
 - PUD
 - RMF-16
 - RMF-6
 - VR

FUTURE LAND USE DESIGNATION



PUD MASTER PLAN



10' Type 'D'
Landscape Buffer

15' Type 'B'
Landscape Buffer

DEVELOPMENT STANDARDS



	COMMERCIAL USES		RESIDENTIAL USES	
	PRINCIPAL	ACCESSORY	PRINCIPAL	ACCESSORY
MINIMUM LOT AREA	10,000 SQUARE FEET	N/A	1-ACRE	N/A
MINIMUM LOT WIDTH	75 FEET	N/A	150 FEET	N/A
MINIMUM FLOOR AREA	1,000 FEET	N/A	EFFICIENCY-450 SQUARE FEET 1 BEDROOM-600 SQUARE FEET 2+ BEDROOM-750 SQUARE FEET	N/A
MINIMUM DISTANCE BETWEEN STRUCTURES	NONE	NONE	20 FEET	N/A
MINIMUM SETBACKS				
FRONT YARD:	25 FEET	15 FEET	25 FEET	15 FEET
SIDE YARD:	15 FEET	10 FEET	15 FEET	10 FEET
REAR YARD:	25 FEET	15 FEET	25 FEET	15 FEET
EASTERN & WESTERN PUD BOUNDARIES	25 FEET	15 FEET	10 FEET	15 FEET
NORTHERN & SOUTHERN PUD BOUNDARIES	15 FEET	10 FEET	15 FEET	10 FEET
MAXIMUM BUILDING HEIGHT				
ZONED	35 FEET	35 FEET	40 FEET	35 FEET
ACTUAL	42 FEET	35 FEET	47 FEET	42 FEET

SPS = Same as Principal Structure

PERMITTED USES

1. Amusement and recreation services, indoor only (SIC 7999)
2. Ancillary plants
3. Animal specialty services, except veterinary (SIC 0752, excluding outside kenneling)
4. Banks, credit unions and trusts (SIC 6011-6099)
5. Barber shops (SIC 7241)
6. Beauty shops (SIC 7231)
7. Business credit institutions (SIC 6153-6159)
8. Business services - miscellaneous (SIC 7311-7389, except auctioneering service, automobile recovery, automobile repossession, batik work, bottle exchanges, bronzing, cloth cutting, contractors' disbursement, cosmetic kits, cotton inspection, cotton sampler, directories-telephone, drive-away automobile, exhibits-building, filling pressure containers, field warehousing, fire extinguisher, floats-decoration, folding and refolding, gas systems, bottle labeling, liquidation services, metal slitting and shearing, packaging and labeling, patrol of electric transmission or gas lines, pipeline or powerline inspection, press clipping service, recording studios, repossession service, rug binding, salvaging of damaged merchandise, scrap steel cutting and slitting, shrinking textiles, solvent recovery, sponging textiles, swimming pool cleaning, tape slitting, textile designers, textile folding, tobacco sheeting, and window trimming service)
9. Cable and other pay television services (SIC 4841) including communication towers up to a specified height, subject to LDC Section 5.05.09
10. Commercial printing (SIC 2752, excluding newspapers)
11. Computer and computer software stores (SIC 5734)
12. Dance studios, schools and halls (SIC 7911)
13. Educational plants and public schools, subject to LDC Section 5.05.14
14. Educational services (SIC 8221-8222)
15. Engineering services (SIC 8711)
16. Essential services, subject to LDC Section 2.01.03
17. Facilities support management services (SIC 8744)

18. Landscape architects, consulting and planning (SIC 0781)
19. Legal services (SIC 8111)
20. Libraries (8231)
21. Loan brokers (SIC 6163)
22. Management services (SIC 8741, 8742)
23. Membership organizations (SIC 8611-8699)
24. Membership sports and recreation clubs (SIC 7997)
25. Mortgage bankers and loan correspondents (SIC 6162)
26. Museums and art galleries (SIC 8412)
27. Personal credit institutions (SIC 6141)
28. Physical fitness facilities (SIC 7991)
29. Public Administration (SIC 9111-9199, 9229, 9311, 9411-9451, 9511-9532, 9611-9661)
30. Public or private parks and playgrounds
31. Public relations services (SIC 8743)
32. Real Estate (SIC 6512, 6531-6552)
33. Research, development and testing services (SIC 8731-8734)
34. Security and commodity brokers, dealer, exchanges and services (SIC 6211-6289)
35. Social services, individual and family (SIC 8322-8399, except homeless shelters and soup kitchens)
36. Surveying services (SIC 8713)
37. Tax return preparation services (SIC 7291)
38. Telephone communications (SIC 4812 and 4813) including communication towers up to a specified height and subject to LDC Section 5.05.09
39. Travel agencies (SIC 4724, no other transportation services)
40. United States Postal Service (SIC 4311, except major distribution center)
41. Veterinary services (SIC 0741, 0742, excluding outside kenneling)
42. Vocational schools (8243-8299)
43. Any other principal use, which is comparable in nature with the foregoing list of permitted principal uses, as determined by the Hearing Examiner (HEX) or the Board of Zoning Appeals ("BZA") by the process outlined in the LDC.

PERMITTED & CONDITIONAL USES



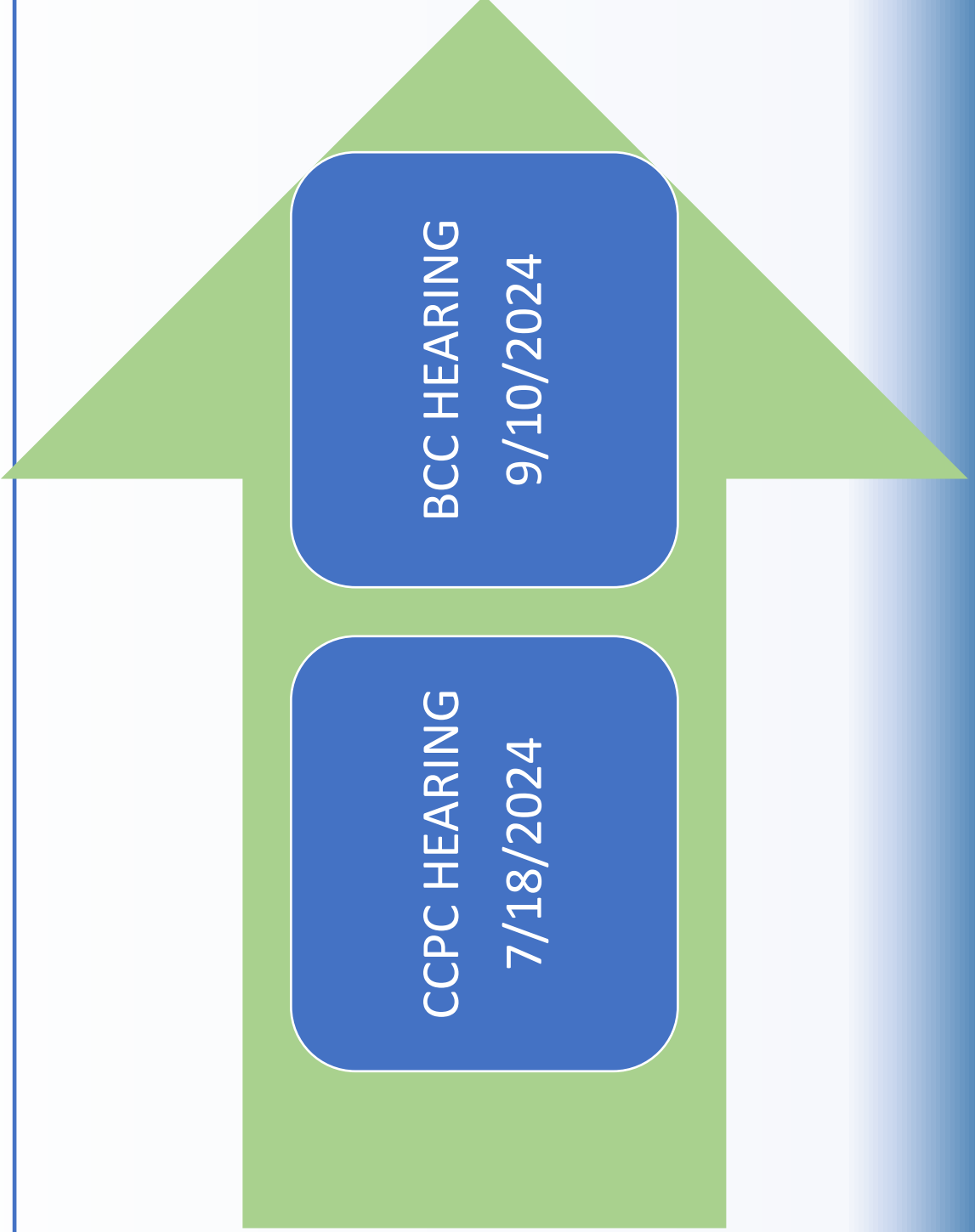
CONDITIONAL USES

1. Conditional uses of the General Commercial (C-4) District, subject to the conditional use process outlined in the Land Development Code.

RESIDENTIAL

1. Multi-family residential dwelling units
2. Any other principal use, which is comparable in nature with the foregoing list of permitted principal uses, as determined by the Hearing Examiner (HEX) or the Board of Zoning Appeals ("BZA") by the process outlined in the LDC.

NEXT STEPS



QUESTIONS



- **JESSICA HARRELSON, AICP – PENINSULA ENGINEERING**

Phone: 239.403.6751

Email: jharrelson@pen-eng.com

- **TIMOTHY FINN – COLLIER COUNTY ZONING DIVISION**

Phone: 239.252.4312

Email: timothy.finn@colliercountyfl.com



STAFF REPORT

To: Immokalee Local Redevelopment Advisory Board Members (CRA)

From: Yvonne Blair, ICRA Project Manager

Subject: Staff Report for First Street Corridor Pedestrian Safety Improvement Project

Date: May 6, 2024

PROJECT STATUS: A Change Order (CO) was approved on April 11, 2024, for additional services outside the original scope of work to enhance the scope to illumination of full corridor lighting. The CO provided a 180-day extension from the ending date of April 16, 2024, to October 13, 2024, and a cost of \$11,955 for 12 additional test holes (services included survey & subsurface utility engineering) for conflict and confirmation purposes of utilities. A Purchase Order Modification Request was prepared on April 25, 2024 by Staff.

BACKGROUND & ANALYSIS: In 2020, Q. Grady Minor & Associates, P.A. (Grady Minor) was hired to provide professional services for future street lighting and pedestrian safety improvements along South First Street (from Main Street to School Road/Seminole Crossing Trail).

This work included feasibility studies and conceptual plans for the purpose of relocating existing decorative light poles, considering the future street lighting and pedestrian safety improvements. Additionally, it included reviewing and providing recommendations for the location of new pedestrian crosswalks, and the location of new landscape and hardscape elements. Estimated construction costs and long-term maintenance costs were included with the feasibility studies.

In 2021, Grady Minor provided the final Conceptual Plan Report that recommends the installation of Rectangular Rapid Flashing Beacons at the three crosswalks and 11 additional Collier County Traffic Operations light poles. ICRA Staff had coordinated with Collier County Traffic Operations and Public Transit during the development of the conceptual plan and their input was reflected in the final conceptual plans. Staff applied for a Community Development Block Grant (CDBG) in February 2022 and the \$250,000 grant was conditionally awarded in April 2022.

On June 28, 2022, Community and Human Services (CHS) processed the grant agreement between the Collier County Community Redevelopment Agency (CRA) and the Collier County Board of County Commissioners (BCC) for CDBG funds. The agreement was approved by the Collier County BCC on June 28, 2022. The grant agreement for design was approved by the CRA (BCC) board on September 13, 2022, for the CDBG \$250,000 grant.

The formal notification from HUD was provided on December 9, 2022, that the environmental review had been completed and authorized the CRA to proceed with the Solicitation for request for proposals. The Solicitation process was initiated for the design of the construction plans for this project.

Kisinger Campo & Associates (KCA) was selected for the design of the project and KCA provided a revised proposal on June 22, 2023. A Work Order was executed on June 28, 2023, and on July 20, 2023, a Notice to Proceed with Purchase Order was issued with a commencement date of July 21, 2023.

The survey work was completed September 15, 2023, by T2, KCA's subcontractor. On November 10, 2023, KCA requested clarification on the intent of the lighting (e.g., strictly pedestrian level lighting as reflected in the conceptual plans or luminating the full corridor). KCA provided Staff a Lighting Design Memo comparing the two levels of lighting, pedestrian safety only or the full corridor with estimated costs (not including additional Subsurface Utility Engineering locating needed to accommodate the increased infrastructure). KCA recommended the full corridor plan. On December 11, 2023, Staff requested a Proposal from KCA for the modifications to the 30% plan for consideration and the possible preparation of a Change Order.

The Grant period ended on April 30, 2024. On January 4, 2024, Staff submitted a Request for a 180-day Extension (10/27/24) to Community Health Services (CHS). On January 17, 2024, CHS provided an extension from April 30, 2024, to October 27, 2024, for the grant funds.

On January 5, 2024, KCA suggested eliminating the 30% and 90% plans but keep the County Staff and Utilities Entities 15-day review for comments to the 60% and draft Final Plans. Staff provided the three (3) options to County Management for discussion on January 8, 2024, with Staff's recommendation of full corridor lighting. The option for full corridor lighting was reviewed by the Deputy County Manager, Traffic Operations, Office of Management & Budget, CHS and Procurement Services. On February 13, 2024, Staff advised KCA of the approval of the full corridor lighting option and requested a proposal, timeline and costs associated with the change for the timely preparation of a Change Order (CO). The CO reflects a 180-day extension to KCA's Work Order from the ending date of April 16, 2024, to October 13, 2024, and the additional costs of \$11,955 for 12 additional test holes (services included survey & subsurface utility engineering) for conflict and confirmation purposes on utilities.

Having 100% design plans will allow this project to be considered shovel ready and will better position the CRA to leverage funds with other funding opportunities for construction.

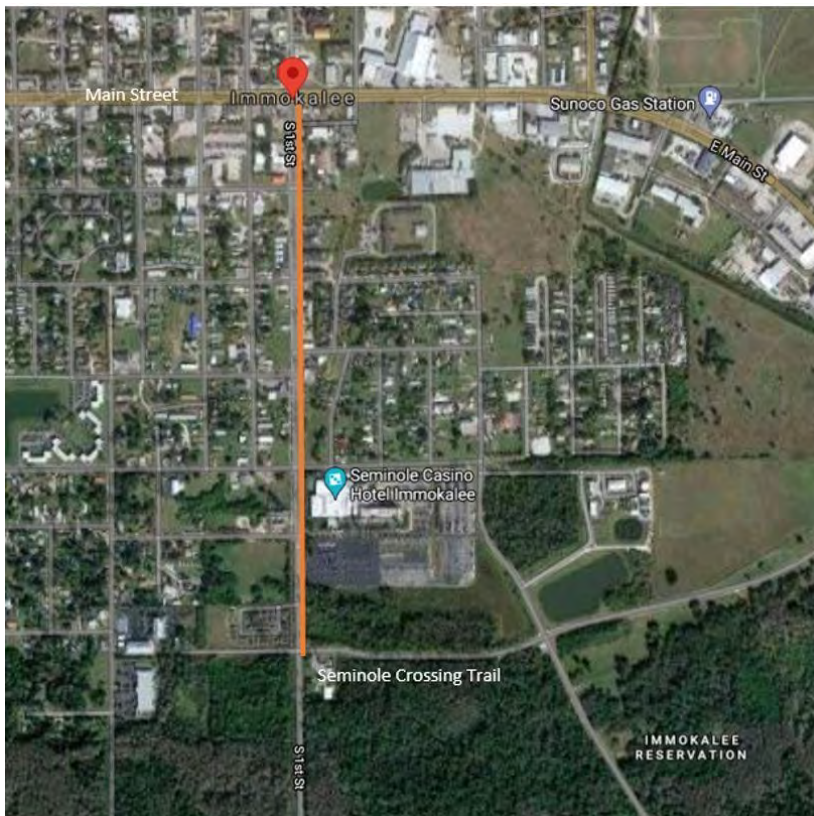
The Collier County Community and Human Services Division (CHS) announced the opening of the FY 2024/2025 grant application cycle for Housing and Urban Development (HUD) Community Development Block Grant (CDBG) funds. The application period began on Tuesday, January 09, 2024, and all applications were due by 12 p.m. Wednesday, February 21, 2024. Due to the short turnaround, Staff secured the County Manager's approval to submit the grant application as it's contemplated in CMA 5330.

Collier County CMA 5330 authorizes the County Manager to approve the submittal of grant applications with subsequent Board of County Commissioner's action at the next available Board meeting to ratify the approval as "after-the-fact".

Staff obtained BCC/CRA Board approval after the fact on February 27, 2024, Agenda Item #16L1. The scope of the project included the installation of Rectangular Rapid Flashing Beacons at three crosswalks and adding additional light poles to extend the lighting system to Seminole Crossing Trail. The application was submitted electronically.

Staff presented to the Review and Ranking Committee the request for 1.2M on March 27, 2024, and on April 8, 2024, was advised of pending approval in the amount of \$600,000 for construction costs. Funds will not be available until after October 1, 2024. The board will need to prioritize construction funds to comply with current CDBG grant deliverables for the design portion of this project. This project needs to be completed by April 2029.

PROJECT AREA: South 1st Street from Main Street to School Road/Seminole Crossing Trail (Appx 4,000 feet).



FISCAL IMPACT: The Design Budget for KCA is \$189,990 plus the additional cost of \$11,955 associated with Change Order #1. Funding is from the CDBG \$250,000 award for the design of construction plans by 10/13/24.

Total estimated cost for this project is \$1,550,000. The CRA was awarded \$250,000 of CDBG funds (33831) for the design portion in FY22/23. The CRA has allocated \$100,000 from the Immokalee CRA Capital Fund (1026) for CEI services. The construction applied for under the CDBG grant is estimated at \$1,200,000 with \$600,00 awarded this year. Staff will apply next year for the balance of the construction costs. There is no match requirement. In FY25, a subsequent Board action will be taken to recognize the grant revenue of \$600,000.

Road Maintenance and Traffic Ops will take on the ongoing maintenance and capital upkeep of the Rectangular Rapid Flashing Beacons at the crosswalks. The MSTU will take on the ongoing utility fee.

Budget Itemization	CDBG Funds	Other Funds	Leverage/ Match	Total Budget (\$)	Narrative	Deliverable
Engineering Services	\$250,000.00	\$0.00	\$0.00	\$250,000.00	CDBG Funds for Design FY22/23	100% Construction plans
CEI	\$0.00	\$100,000.00	\$0.00	\$100,000.00	CRA Capital Funds	Monitor Project
Construction	\$1,200,000.00	\$0.00	\$0.00	\$1,200,000.00	CDBG Funds for Construction	Certificate of Occupancy
	\$1,450,000.00	\$100,000.00	\$0.00	\$1,550,000.00		

NEXT STEP: KCA shall provide the 60% plans in May 2024 and staff will circulate the plans from review by County Staff and Utility Entities for their comments. Also, Staff will draft an Executive Summary for the Request of Legal Services to submit to the County Attorney’s Office when the Subrecipient Agreement for the \$600,000 is provided which is anticipated in June/July 2024.



THE NEIGHBORHOOD COMPANY

Land Development Code Update for the Immokalee CRA Board Meeting – May 15, 2024

The Neighborhood Company in collaboration with RWA, Inc. appreciates your participation in reviewing the draft amendment to the Collier County Land Development Code (LDC). This amendment is intended to make sure the LDC aligns with the updated Immokalee Area Master Plan (IAMP), the goals of the Collier County Community Redevelopment Agency (CRA) - Immokalee Community Redevelopment Area (ICRA) and the unique conditions and character of Immokalee. As a refresher, the following areas were prioritized based on community input:

- Landscaping, buffering, and vegetation
- Fences and walls
- Architectural and site design standards
- Off-street parking regulations
- Consolidation of existing overlay subdistricts
- New SR 29 overlay subdistrict
- Expanded airport district

Since our last presentation to the CRA Board, we received review comments from Collier County staff; edits based on staff comments have been incorporated into the current draft LDC language as summarized below. It is important to note that there will be at least one more round of staff review and possible changes to the draft as a result.

Summary of Draft LDC Language

To help guide your review, below is a basic breakdown of the draft you've been provided. Please note that the original LDC language to be repealed appears in strikethrough format throughout the draft. Additional background information can be found in the **LDC summary on pages 1 and 2 of the draft document.**

- **Section 2.03.07** outlines the Immokalee Urban Area Overlay District (IUAOD) and the following subdistricts: Main Street Overlay Subdistrict (MSOS), State Road 29A Commercial Overlay Subdistrict (SR29OS), Loop Road Overlay Subdistrict (LROS),



Jefferson Avenue Commercial Overlay Subdistrict (JACOS), Agribusiness/Farm Market Overlay Subdistrict (AFOS), Industrial Mixed Use Commercial Overlay Subdistrict (IMCOS), and the Nonconforming Mobile Home Site Overlay Subdistrict.

- A new Table of Uses outlines permitted and conditional uses for each subdistrict.
- **Section 4.02.27** provides architectural and site design standards for the IUAOD and each subdistrict. This includes but is not limited to building design, landscape buffers, off-street parking, and fencing. Some of these standards are based on existing Collier County regulations but have been modified to be Immokalee-specific.

Collier County Staff Review

Subject matter experts provided review comments, which have been addressed and incorporated into the draft amendment. In some cases, we are continuing to coordinate with staff as the amendment makes its way through the County's review process.

Transportation Planning Review

- Requested clarification of coordination with Florida Department of Transportation (FDOT) related to the SR 29 Loop Road Overlay, as well as SR 29 access management and interconnection – we are continuing to communicate with FDOT.

Landscape Review

- The bulk of staff's comments came from this review area. Most comments were insubstantial in nature, including requests for clarification of buffer types, quantities, and descriptions.
- We are scheduling a meeting with staff to work through 2-3 comments where the request involves increasing buffer requirements, as we are aware of the community's vision for Immokalee-specific regulations.

What's Next

Once staff has approved the draft language, the final draft will be presented, reviewed, and refined through the following public hearing process:

- Development Services Advisory Committee (DSAC) subcommittee
- DSAC
- Collier County Planning Commission (CCPC)
- Board of County Commissioners (BCC)



LAND DEVELOPMENT CODE AMENDMENT

PETITION

PL20240004278

ORIGIN

Board of County
Commissioners (Board)

SUMMARY OF AMENDMENT

This Land Development Code (LDC) amendment renames the Immokalee Urban Overlay District to the Immokalee Urban Area Overlay District (IUAOD). All existing provisions of the Immokalee Urban Overlay District, including its seven subdistricts would be superseded by the new IUAOD and its seven subdistricts. LDC amendments are reviewed by the Board, Collier County Planning Commission (CCPC), Development Services Advisory Committee (DSAC), and the Land Development Review Subcommittee of the DSAC (DSAC-LDR Subcommittee).

HEARING DATES

Board	TBD
CCPC	TBD
DSAC	TBD
DSAC-LDR	TBD

LDC SECTION TO BE AMENDED

2.03.07	Overlay Zoning Districts
4.02.27	Specific Design Standards for the Immokalee—State Road 29A Commercial Overlay Subdistrict
4.02.28	Specific Design Standards for the Immokalee—Jefferson Avenue Commercial Overlay Subdistrict
4.02.29	Specific Design Standards for the Immokalee—Farm Market Overlay Subdistrict
4.02.30	Specific Design Standards for the Immokalee—Agribusiness Overlay Subdistrict
4.02.31	Specific Design Standards for the Immokalee—Central Business Overlay Subdistrict
4.02.32	Specific Design Standards for the Immokalee—Main Street Overlay Subdistrict
4.02.33	Specific Design Standards for New Mobile Home Lots in the Immokalee Urban Overlay Subdistrict
5.03.02	Fences and Walls, Excluding Sound Walls

ADVISORY BOARD RECOMMENDATIONS

DSAC-LDR
TBD

DSAC
TBD

CCPC
TBD

BACKGROUND

The Immokalee Area Planning Commission was formed in 1965 and Immokalee was governed under separate zoning regulations until 1982. The LDC would be amended later that year to define the Immokalee Area Planning District. In 1991, the Board adopted provisions for the Immokalee Central Business District, providing written and graphical boundaries of the district. In 1997, the Board adopted another ordinance for the Immokalee area, establishing the State Road 29 Commercial Overlay District (SR29COD) and the Jefferson Avenue Commercial Overlay District (JACOD). These overlay districts were superseded the following year when the Immokalee Overlay District (Ordinance 1998-63) was established, which redesignated the SR29COD and the JACOD as subdistricts of the overlay. Ordinance 1998-63 also established three additional subdistricts: Farm Market Overlay Sub-District, Agribusiness Overlay Sub-District, and the Immokalee Central Business Sub-District. The Immokalee Overlay District would be amended in 2000 when the Main Street Overlay Subdistrict was added. The Non Conforming Mobile Home Park Overlay Subdistrict was established in 2002. Exhibit “A” provides a

list of LDC amendments specific to Immokalee between 1982 and today.

When the County adopted the Growth Management Plan (GMP) in 1989, it recognized there was a need to have a separate Sector Plan for the Immokalee Community. In addressing this need, the County adopted the Immokalee Area Master Plan (IAMP) as part of its batch amendments in connection with Ordinance 1991-15. The IAMP is in addition to, and supplements the goals, objectives, and policies of the GMP. The major purposes of the IAMP were to create better coordination of land use and transportation planning, stimulate redevelopment and/or renewal of blighted areas, and to eliminate land uses inconsistent with the community’s character. The IAMP was amended 14 times between its initial adoption and 2019, when substantial changes were made connection with Ordinance 2019-47. The most recent amendment to the IAMP occurred in 2023, which added the Transit Oriented Development Subdistrict.

In 2000, the Board created a Community Redevelopment Agency (CRA) to focus on the rehabilitation, conservation, or redevelopment of two distinct geographic areas in the County, one of which being the Immokalee Community Redevelopment Area. Later that year, the Board adopted the Community Redevelopment Plan (Resolution 2000-181) for a 30-year timeframe. The Community Redevelopment Plan was amended in 2019 and 2022, which extended the term of the Immokalee Redevelopment Area to 2052. The amendment in 2022 outlined five goals for future redevelopment efforts for Immokalee, based on community input: Celebrating Culture, Economic Development, Housing, Infrastructure, and Implementation/Administration.

This LDC amendment was created in coordination with the Immokalee CRA and a Consultant with the intent to improve the existing LDC regulations to better implement the intent of the updated IAMP. The team worked with community stakeholders to analyze the existing regulations, including subdistricts; permitted, conditional and accessory uses; permitted and bonus densities; and dimensional and design standards, to identify conflicting provisions and potential impediments to redevelopment efforts. Substantive changes include but are not limited to the following: reorganization of existing overlay subdistricts and creation of new subdistricts; updated overlay maps; introduction of architectural and site design standards for the overlay; introduction of use tables per subdistrict; and reorganization of development standards for the various subdistricts.

FISCAL & OPERATIONAL IMPACTS
 There are no anticipated fiscal or operational impacts associated with this amendment.

GMP CONSISTENCY
 To be provided by Comprehensive Planning Staff after first review.

EXHIBITS: A) List of LDC Amendments

Amend the LDC as follows:

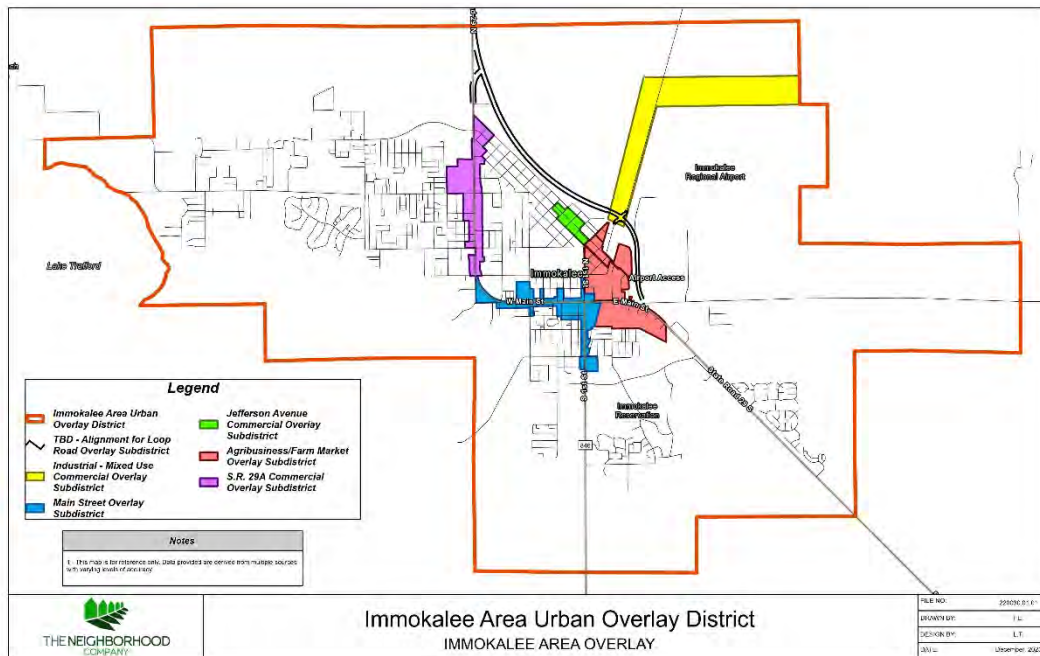
2.03.07 - Overlay Zoning Districts

G. Immokalee Urban Area Overlay District (IAOD)

1. Purpose and intent. The purpose and intent of the IUAOD is to implement the goals, objectives, and policies of the Immokalee Area Master Plan (IAMP) and establish development criteria suitable for the unique character and land use needs of the Immokalee Community. This section, along with LDC section 4.02.27, provides support and implements the community’s vision and the goals, objectives, and policies established through the IAMP.

2. Applicability.

a. These regulations shall apply to the Immokalee Urban Area Overlay District as identified by the designation “IUAOD” on the official Collier County Zoning Atlas Maps. The boundary of the IUAOD is delineated on the map below:



Map 1 - Immokalee Urban Area Overlay District Boundary

b. The use regulations within this LDC section and the design standards of LDC section 4.02.27 shall apply to all properties within the IUAOD as depicted on Map 1.

c. Properties within the IUAOD may establish uses, densities, and intensities in accordance with the IUAOD or the underlying zoning classification.

1 However, in either instance, the design standards of the IUAOD pursuant
2 to LDC section 4.02.27 shall apply.

3
4 d. Planned Unit Developments (PUDs) that existed prior to XXX (date), and
5 properties with Provisional Uses (PU) approved prior to XXX, including
6 amendments or boundary changes to these PUDs and Provisional Use
7 properties, are not subject to the IUAOD requirements. Any PUD proposed
8 after XXX (date) shall apply the provisions of the IUAOD, unless a deviation
9 is approved in accordance with LDC section 4.02.27 J.

10
11 3. Establishment of Subdistricts.

12
13 a. Main Street Overlay Subdistrict (MSOS). The purpose of this subdistrict is
14 to encourage development and redevelopment by enhancing and
15 beautifying the Main Street area through design and development
16 standards that promote an urban form and a walkable environment.



17
18 Map 2 – Main Street Overlay Subdistrict Map

19
20 b. State Road 29A Commercial Overlay Subdistrict (SR29OS). The purpose
21 of the SR29OSD (Map 3) designation is to encourage appropriate
22 commercial development along SR 29A. These commercial uses must be
23 located on a major arterial or collector roadway. The provisions of this
24 subdistrict are intended to provide broader commercial uses along the SR-
25 29 corridor and with development standards contained in LDC section
26 4.02.27 D. to ensure coordinated access and appropriate landscaping and
27 buffering compatible with nearby residential properties.



Map 3 – S.R. 29A Commercial Overlay Subdistrict Map

c. Loop Road Overlay Subdistrict (LROS). The purpose of the LROS (Map 4) designation is to encourage appropriate development along the SR 29 Loop Road which will support the efficient movement of goods and freight in and around Immokalee. The provisions of this subdistrict are intended to provide uses and standards that support commercial, agricultural and industrial uses within the Immokalee Urban Area. Development standards contained in LDC section 4.02.27 F. are provided to manage access points along this corridor and to ensure appropriate landscaping and buffering for allowed uses. This subdistrict encompasses 1,000 feet of land adjacent to the final right-of-way alignment for the S.R. 29 Loop Road as determined by the Florida Department of Transportation.

Properties to the north, east, and northeast of the S. R. 29 Loop Road right-of-way shall allow uses by underlying zoning districts, and the uses permitted within the overlay as listed in Table 1.

Properties to the west, south and southwest of the S. R. 29 Loop Road right-of-way shall allow all permitted uses within the underlying zoning districts and those uses allowed per Table 1 as Conditional Uses.

forthcoming

Map 4 - Loop Road Overlay Subdistrict Map

The final plan has not been confirmed to date for the Loop Rd.

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d. Jefferson Avenue Commercial Overlay Subdistrict (JACOS). The purpose of the JACOS (Map 5) designation is to provide retail, office, transient lodging facilities and highway commercial uses that serve the needs of the traveling public. These commercial uses must be located on a major arterial or collector roadway. The provisions of this subdistrict are intended to provide increased commercial opportunity along Jefferson Avenue with development standards contained in LDC section 4.02.27 G.; and ensure coordinated access, appropriate landscaping and buffering to be compatible with nearby residential properties.



Map 5 – Jefferson Avenue Commercial Overlay Subdistrict Map

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e. Agribusiness/Farm Market Overlay Subdistrict (AFOS) The purpose of the AFOS designation (Map 6) is to support the agriculture industry and related businesses. The provisions of this subdistrict are intended to allow uses such as production, processing, and distribution of farm-based goods, as well as ancillary and supporting uses, including but not limited to, retail sales, warehousing/storage, equipment repair and agricultural technology and research.



Map 6 – Agribusiness/Farm Market Overlay Subdistrict Map

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f. Industrial Mixed Use Commercial Overlay Subdistrict (IMCOS). The purpose of the IMCOS designation (Map 7) is to allow uses contained within the Industrial – Mixed Use Subdistrict with complementary commercial uses as listed in Table 1. The overlay comprises approximately 363 acres of which a maximum of 30 percent or approximately 109 acres shall be commercial uses as permitted in the C-4 and C-5 zoning districts.



Map – 7. Industrial Mixed Use Commercial Overlay Subdistrict Map

g. Nonconforming Mobile Home Site Overlay Subdistrict.

- i. Establishment of special conditions for these properties which by virtue of actions preceding the adoption of Ordinance No. 91-102, on October 30, 1991, were deemed to be nonconforming as a result of inconsistencies with the land development code and are located within the Immokalee Urban Boundary as depicted on the Immokalee Area Master Plan.
- ii. The purpose of these provisions is to recognize that there are nonconforming mobile homes on properties in the Immokalee Urban Area and to establish a process to provide property owners an official record acknowledging the permitted use of the property and render existing mobile homes, and other structures, as lawful. Travel trailers, regardless of the square footage, are not permitted as a permanent habitable structure and may not seek relief under this section. Properties that cannot meet the requirements may pursue an agreement with the Board of County Commissioners to establish compliance with this LDC section 2.03.07 G.6.
- iii. Property owners shall file an application as provided for in the Administrative Code, Chapter 4, Section 1.3.a. - Immokalee Nonconforming Mobile Home Sites - Existing Conditions Site Improvement Plan and shall only be subject to the criteria,

1 requirements, and process expressly stated in the Administrative
2 Code and this LDC section.

3
4 iv. The following criteria shall apply to the existing conditions site
5 improvement plan approval process and shall be reviewed by the
6 County Manager or designee.

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8 a) Minimum separation requirements shall be consistent with
9 State Fire Marshal Rule 69A-42.0041 Fire Separation
10 Requirements.

11
12 b) The Fire authority having jurisdiction shall provide written
13 confirmation that either the existing fire hydrant(s) or a
14 supplemental apparatus, provided by the Fire District, can
15 supply the required fire flow needed for fire protection.

16
17 c) NFPA 501A: Standard for Fire Safety Criteria for
18 Manufactured Home Installations, Sites, and Communities
19 as referenced in FAC 69A-60.005.

20
21 v. Once the existing conditions site improvement plan is approved,
22 owners may replace mobile home units with an approved building
23 permit at sites shown on the site plan. Replacement units may be
24 larger than the removed unit, so long as the minimum separation
25 standards established in LDC section 2.03.06 G.6.c.i are met.

26
27 a) Where properties currently exceed the density allowed for
28 by the zoning district, the approved existing conditions site
29 improvement plan shall establish the maximum density on
30 the property which shall not exceed the density of the
31 property as depicted on the Property Appraiser aerial maps
32 dated before February 2016. All lots and units shall be
33 consistent with the approved existing conditions site
34 improvement plan.

35
36 b) Where the zoning district allows for additional density, new
37 mobile home units may be added and shall be identified on
38 the site plan. New mobile homes shall be subject to the
39 dimensional standards established in LDC section 4.02.33.

40
41 4. Table of uses.

42
43 a. The Table of Uses identifies uses as permitted uses (P) or Conditional
44 Uses (CU). Conditional uses shall require approval in accordance with the
45 procedures set forth in LDC section 10.08.00.

46
47 b. Table 1. In addition to the uses allowed by the underlying zoning district,
48 all properties within the IUAOD shall be allowed the following uses:

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Text underlined is new text to be added

Text strikethrough is current text to be deleted

Use Category	MSOS	SR29OS	LROS	JACOS	AFOS	IMCOS
<u>All Business Park (BP) district uses</u>						<u>P</u>
<u>All Heavy Commercial (C-5) district uses</u>						<u>P</u>
<u>All Research and Technology Park PUD (RTPPUD) uses</u>						<u>P</u>
<u>Drive through areas</u>	<u>CU²</u>	<u>CU⁵</u>	<u>P⁴</u>			<u>P⁴</u>
<u>Agricultural Uses</u>						
<u>Agricultural outdoor sales¹</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Crop preparation services for market, except cotton ginning (0723)</u>			<u>P¹</u>		<u>P</u>	
<u>Petroleum bulk stations and terminals (5171)</u>			<u>P</u>		<u>P</u>	<u>P</u>
<u>Petroleum and petroleum products wholesalers, except bulk stations and terminals (5172 - gasoline: buying in bulk and selling to farmers-wholesale only)</u>			<u>P</u>		<u>P</u>	<u>P</u>
<u>Commercial Uses</u>						
<u>Arrangement of passenger transportation (4724-4729)</u>			<u>P</u>			<u>P</u>
<u>Auctioneering services, auction rooms (7389, 5999)</u>			<u>CU</u>		<u>CU</u>	<u>CU</u>
<u>Auto and home supply stores (5531 installation)</u>	<u>CU²</u>		<u>P</u>			
<u>Automobile parking (7521)</u>	<u>CU²</u>		<u>P</u>			
<u>Automotive dealers, not elsewhere classified (5599)</u>	<u>CU²</u>		<u>P</u>			
<u>Automotive rental and leasing, without drivers (7514, 7515)</u>	<u>CU²</u>		<u>P</u>			
<u>Boat dealers (5551)</u>	<u>CU</u>		<u>P</u>			
<u>Carwashes (7542)</u>	<u>CU²</u>		<u>P</u>			
<u>Eating and drinking places (5812, 5813) All establishments engaged in the retail sale of alcoholic beverages for on-premise consumption are subject to the locational requirements of LDC section 5.05.01.</u>			<u>P⁴</u>			<u>P</u>
<u>Equipment rental and leasing (7359)</u>			<u>P</u>			<u>P</u>
<u>Farm-product raw materials (5153-5159)</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Gasoline service stations (5541)</u>	<u>CU²</u>		<u>P</u>			
<u>Hotels and motels (7011)</u>	<u>P</u>	<u>P</u>	<u>P</u>			

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Text underlined is new text to be added

~~Text strikethrough is current text to be deleted~~

<u>Intercity and rural bus transportation (4131)</u>	<u>CU</u>			<u>CU</u>	<u>CU</u>	<u>CU</u>
<u>Motor vehicle dealers, new and used (5511, 5521)</u>	<u>CU²</u>		<u>P</u>			
<u>Motorcycle dealers (5571)</u>	<u>CU²</u>		<u>P</u>			
<u>Radio and television repair shops (7622 - automotive radio repair shops only)</u>	<u>CU²</u>					
<u>Recreational vehicle dealers (5561)</u>	<u>CU²</u>		<u>P</u>			
<u>Repair shops and related services (7699)</u>			<u>P³</u>		<u>P³</u>	<u>P³</u>
<u>Terminal and service facilities for motor vehicle passenger transportation (4173)</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>
<u>Veterinary services (0741 and 0742, excluding outdoor kenneling)</u>					<u>P</u>	<u>CU</u>
<u>Wireless communication facilities</u>	<u>CU</u>		<u>CU</u>			
<u>Industrial Uses</u>						
<u>Arrangement of transportation freight and cargo (4731)</u>			<u>P</u>			<u>P</u>
<u>Electric, gas, and sanitary services (4911-4971)</u>			<u>P</u>			<u>CU</u>
<u>Farm product warehouse and storage (4221)</u>			<u>P</u>			<u>CU</u>
<u>General warehousing and storage (4225)</u>	<u>CU²</u>		<u>P</u>		<u>P</u>	<u>P</u>
<u>Guided missiles and space vehicles and parts (3761-3769)</u>			<u>P</u>			
<u>Local and suburban transit and interurban highway passenger transportation (4111-4121, 4141-4151)</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>
<u>Miscellaneous services incidental to transportation (4783, 4789)</u>			<u>P</u>			<u>P</u>
<u>Miscellaneous transportation equipment (3792-3799)</u>			<u>P</u>			
<u>Motorcycles, bicycles, and parts (3751)</u>			<u>P</u>			
<u>Motor vehicles and motor vehicle equipment (3714, 3716)</u>			<u>P</u>			
<u>Outdoor storage yards</u>	<u>CU²</u>		<u>P</u>		<u>P</u>	<u>P</u>
<u>Refrigerated warehousing and storage (4222)</u>			<u>P</u>			<u>CU</u>
<u>Rental of railroad cars (4741)</u>			<u>P</u>			<u>P</u>

DRAFT


Text underlined is new text to be added

Text strikethrough is current text to be deleted

<u>Ship and boat building and repairing (3731, 3732)</u>			<u>P</u>			
<u>Special warehousing and storage (4226)</u>			<u>P</u>			<u>CU</u>
<u>Transportation by air (4512-4581)</u>			<u>P</u>			<u>P</u>
<u>Trucking and courier services, except air (4212-4215)</u>			<u>P</u>			<u>CU</u>
<u>Vocational schools (8243-8249)</u>			<u>P</u>			<u>P</u>
<u>Wholesale trade (5148)</u>			<u>P</u>		<u>P</u>	<u>P</u>

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1 Outdoor sales of agricultural products are permitted on improved or unimproved properties provided the applicant submits a site development plan which demonstrates that provisions will be made to adequately address the following:

- i. Vehicular and pedestrian traffic safety measures.
- ii. Parking for undeveloped properties will be calculated at a rate of 1/250 square feet of merchandise area. A maximum of 10 percent of the parking required by LDC section 4.05.04 may be occupied or otherwise rendered unusable by the placement of temporary structures, equipment, signs, and merchandise. The minimum number of disabled parking spaces pursuant to LDC section 4.05.07 shall be required.
- iii. Limited hours of operation.
- iv. Fencing, lighting.
- v. Fire protection measures.
- vi. Sanitary facilities.
- vii. The applicant shall provide a notarized letter from the property owner granting permission to utilize the subject property for agricultural outdoor sales.
- viii. The placement of one (1) sign, a maximum of thirty-two (32) square feet, or two (2) such signs for properties containing more than one (1) street frontage shall be permitted.
- ix. Agricultural products may be sold from a vehicle provided that the vehicle is not located in the road right-of-way.
- x. Agricultural products may be displayed within any front yard provided it does not adversely affect pedestrian or vehicular traffic or public health or safety and is not located within the road rights-of-way.
- xi.  Minimum 5-foot landscape buffer shall be required adjacent to any road rights-of-way. See Table 1 of 4.02.27.B.4.c.v for all other buffer requirements.

2 Permitted only on properties with frontage on North First Street, South First Street, and North Ninth Street within the Main Street Overlay Subdistrict.

3 Limited to Agricultural equipment repair, industrial truck repair, machinery cleaning, repair of service station equipment, tractor repair.

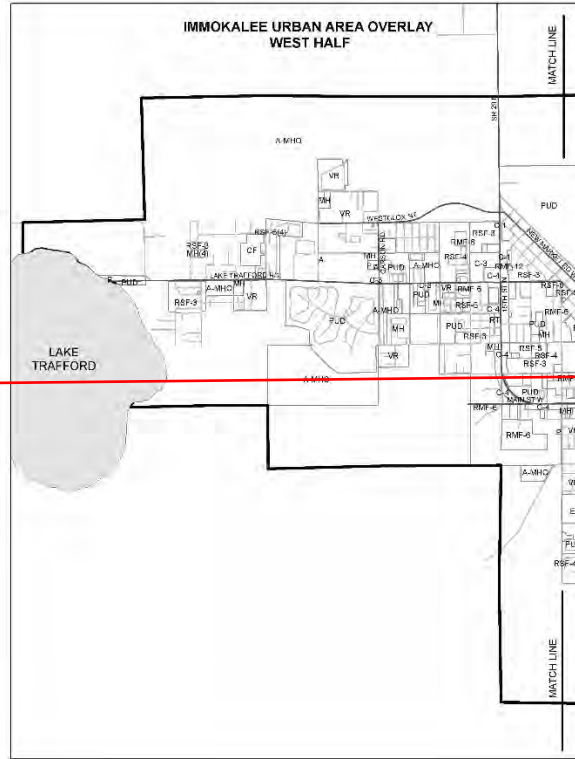
4 Permitted only when accessory to Gasoline Service Stations (5541) within the Loop Road Overlay Subdistrict.

5 Conditional use applies unless allowed within the underlying zoning district.

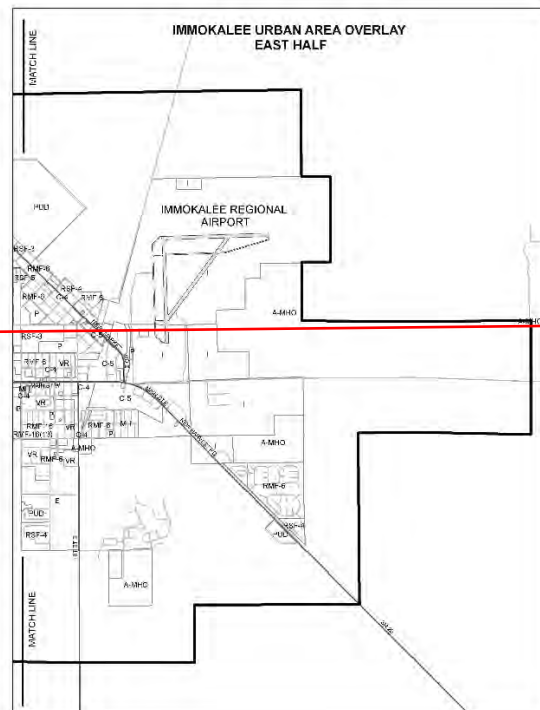
c. Other Allowable Uses

- 1 i. All agriculturally zoned lands within the IUAOD shall allow
- 2 agriculture research and development facilities, agri-business
- 3 offices and headquarters, and facilities, offices, headquarters and
- 4 apparatuses associated with an alternative energy use.
- 5
- 6 ii. All residentially zoned lands within the IUAOD shall allow small
- 7 agriculture-related business uses, such as fruit and vegetable
- 8 stands, and farmers markets, through the conditional use process.
- 9
- 10 d. Prohibited Uses. Main Street Overlay Subdistrict - All uses prohibited
- 11 within the underlying residential and commercial zoning districts contained
- 12 within this Subdistrict, and the following uses, shall be prohibited on
- 13 properties with frontage on Main Street in between First Street and Ninth
- 14 Street in the Main Street Overlay Subdistrict:
- 15
- 16 i. Automobile parking (7521)
- 17 ii. Automotive dealers (5511, 5521, 5531 installation, 5551, 5561,
- 18 5571, 5599).
- 19 iii. Facility with fuel pumps.
- 20 iv. Primary uses such as convenience stores and grocery stores are
- 21 prohibited from servicing and repairing vehicles in conjunction with
- 22 the sale of gasoline.
- 23 v. Automotive repair, services, parking (7514, 7515, 7521) and
- 24 carwashes (7542).
- 25 vi. Radio and television repair shops (7622 automotive).
- 26 vii. Outdoor storage yards and outdoor storage.
- 27 viii. Drive-through areas.
- 28 ix. Warehousing (4225).
- 29 x. Communication towers, as defined in LDC section 5.05.09, except
- 30 as otherwise permitted in this Subdistrict.
- 31 xi. Any other heavy commercial use which is comparable in nature with
- 32 the forgoing uses and is deemed inconsistent with the intent of this
- 33 Subdistrict shall be prohibited.
- 34

~~G. Immokalee Urban Overlay District. To create the Immokalee Urban Overlay District with distinct subdistricts for the purpose of establishing development criteria suitable for the unique land use needs of the Immokalee Community. The boundaries of the Immokalee Urban Overlay District are delineated on the maps below.~~



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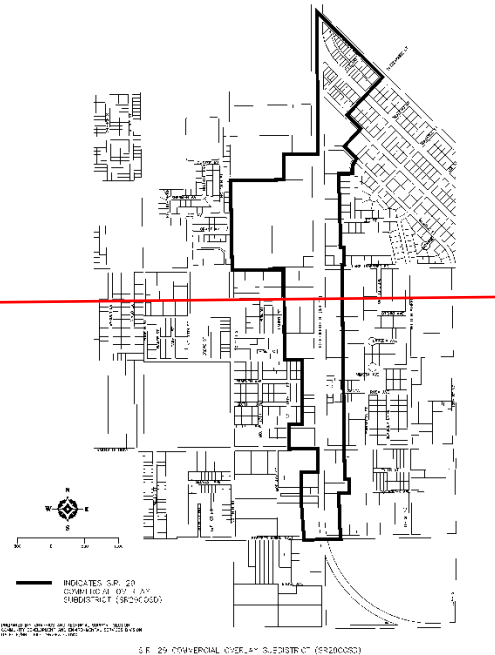
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~~1. State Road 29 Commercial Overlay Subdistrict: Special conditions for the properties abutting SR-29, as identified in the Immokalee Area Master Plan; referenced on Map 2; and further identified by the designation "SR29COSD" on~~

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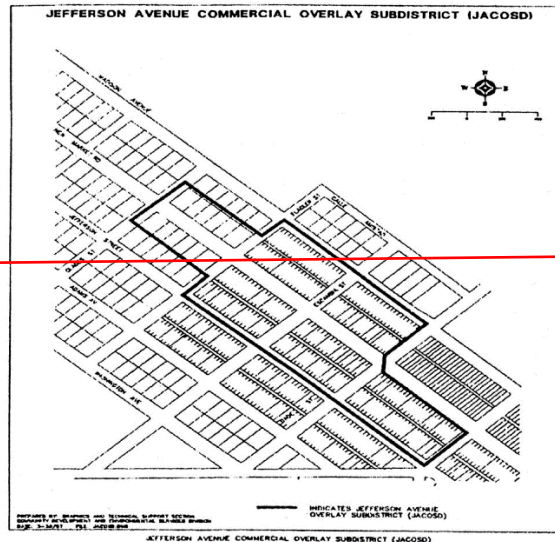
~~the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to provide for retail, office, transient lodging facilities, and highway commercial uses that serve the needs of the traveling public. These commercial uses must be located on a major arterial or collector roadway. The provisions of this subdistrict are intended to provide an increased commercial depth along SR-29 with development standards that will ensure coordinated access and appropriate landscaping and buffering compatible with nearby residential properties.~~

S.R. 29 COMMERCIAL OVERLAY SUBDISTRICT (SR29COSD)



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~~2. Jefferson Avenue Commercial Overlay Subdistrict: Special conditions for the properties abutting Jefferson Avenue as identified in the Immokalee Area Master Plan; referenced on Map 3; and further identified by the designation "JACOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to provide for retail, office, transient lodging facilities and highway commercial uses that serve the needs of the traveling public. These commercial uses must be located on a major arterial or collector roadway. The provisions of this subdistrict are intended to provide an increased commercial opportunity along Jefferson Avenue with development standards that will ensure coordinated access and appropriate landscaping and buffering to be compatible with nearby residential properties.~~ 2-03-07-G-2



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~~3. Farm Market Overlay Subdistrict: Special conditions for the properties identified on Map 4; and further identified by the designation "FMOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to provide for wholesale and retail uses, outdoor agricultural product displays and sales areas, truck parking, and packing houses and associated uses. The provisions of this subdistrict are intended to provide retail and wholesale opportunities for agricultural businesses as well as provide truck parking for agricultural sales but not within roadways and rights of way. The development standards contained herein have been designed to enhance and encourage development and redevelopment.~~

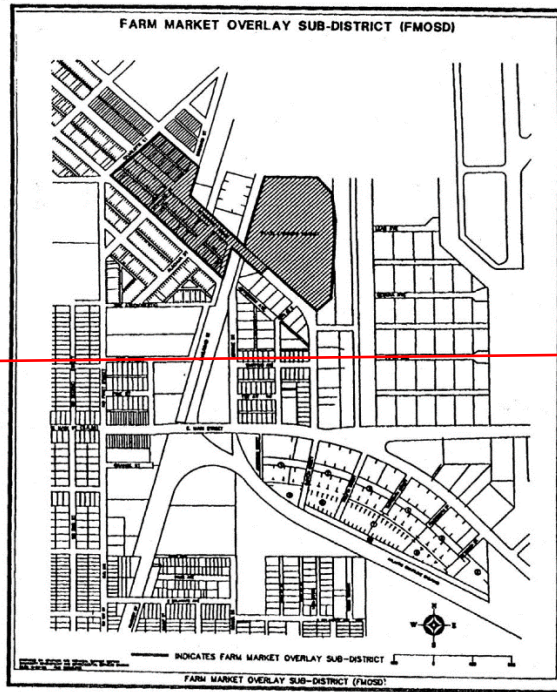
~~a. Permitted uses: All permitted uses within the underlying zoning districts, and the following uses, as identified in the Standard Industrial Classification Manual (1987), are permitted as a right in this sub-district.~~

- ~~1. Agricultural Services (0723)~~
- ~~2. Wholesale Trade (5148)~~
- ~~3. Agricultural Outdoor Sales. Outdoor sales of agricultural products are permitted on improved or unimproved properties provided the applicant submits a site development plan which demonstrates that provisions will be made to adequately address the following:

 - ~~i. Vehicular and pedestrian traffic safety measures.~~
 - ~~ii. Parking for undeveloped properties will be calculated at a rate of 1/250 square feet of merchandise area. A maximum of ten (10) percent of the parking required by section 4.05.04 of this LDC may be occupied or otherwise rendered unusable by the placement of temporary structures, equipment, signs, and merchandise. The minimum number of disabled parking spaces pursuant to section 4.05.07 shall be required.~~
 - ~~iii. Limited hours of operation.~~
 - ~~iv. Fencing, lighting.~~~~

- 1 v. ~~Fire protection measures.~~
- 2 vi. ~~Sanitary facilities.~~
- 3 vii. ~~The applicant shall provide a notarized letter from the~~
- 4 ~~property owner granting permission to utilize the subject~~
- 5 ~~property for agricultural outdoor sales.~~
- 6 viii. ~~The placement of one (1) sign, a maximum of thirty two (32)~~
- 7 ~~square feet, or two (2) such signs for properties containing~~
- 8 ~~more than one (1) street frontage shall be permitted.~~
- 9 ix. ~~Agricultural products may be sold from a vehicle provided~~
- 10 ~~that the vehicle is not located in the road right-of-way.~~
- 11 x. ~~Agricultural products may be displayed within any front yard~~
- 12 ~~provided it does not adversely affect pedestrian or vehicular~~
- 13 ~~traffic or public health or safety and is not located within the~~
- 14 ~~road rights-of-way.~~
- 15 xi. ~~A minimum 5-foot landscape buffer shall be required~~
- 16 ~~adjacent to any road rights-of-way.~~
- 17 4. ~~Petroleum Bulk Stations and Terminals (5171) and Petroleum and~~
- 18 ~~Petroleum Products Wholesalers, (5172 — gasoline: Buying in bulk~~
- 19 ~~and selling to farmers — wholesale only) provided:~~
- 20 i. ~~Separation requirements: There shall be a minimum~~
- 21 ~~distance of 500 linear feet between the nearest points on~~
- 22 ~~any lot or parcel of land containing such proposed~~
- 23 ~~operations, and any lot or parcel which is already occupied~~
- 24 ~~by such operation, of for which a building permit has been~~
- 25 ~~issued.~~
- 26 ii. ~~Waiver of separation requirements: The board of zoning~~
- 27 ~~appeals may by resolution grant a waiver of part or all of the~~
- 28 ~~minimum separation requirements set forth above pursuant~~
- 29 ~~to section 10.08.00.~~
- 30 iii. ~~Separation from residentially zoned lands: There shall be a~~
- 31 ~~minimum distance of 500 linear feet from all residentially~~
- 32 ~~zoned land.~~
- 33 iv. ~~Maximum lot area: Two acres.~~
- 34
- 35 c. ~~Accessory uses:~~
- 36
- 37 1. ~~Uses and structures that are accessory and incidental to the~~
- 38 ~~permitted uses.~~
- 39

Map 4



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~~4. — *Agribusiness Overlay Subdistrict.* Special conditions for the properties identified on Map 5; and further identified by the designation "AOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to provide for wholesale uses and agricultural packing houses and associated uses. The provisions of this subdistrict are intended to provide additional lands for agricultural related businesses and expansion opportunities for existing agribusiness. The development standards contained herein have been designed to permit consistent land uses within the AOSD boundary.~~

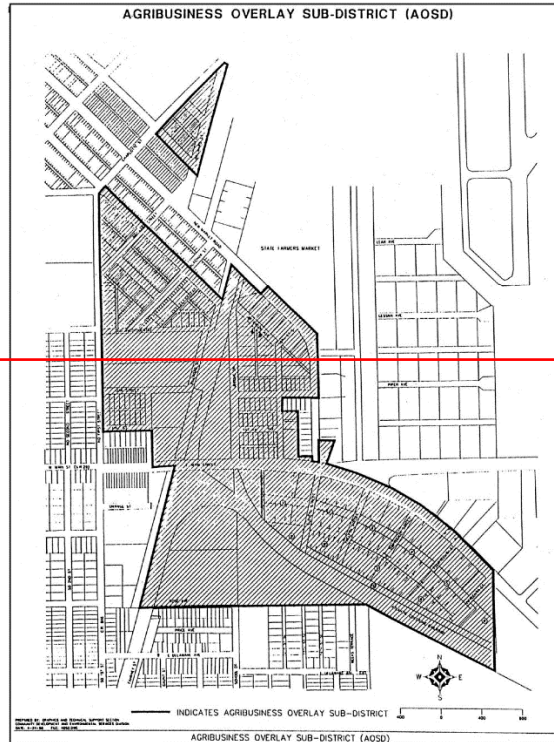
~~a. — Permitted uses: All permitted uses within the underlying zoning districts, and the following uses, as identified in the Standard Industrial Classification Manual (1987), are permitted as a right in this sub-district.~~

~~1. — Agricultural Services (0723)~~

~~2. — Wholesale Trade (5148)~~

~~b. — Accessory uses:~~

~~1. — Uses and structures that are accessory and incidental to the permitted uses.~~



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~~5. Main Street Overlay Subdistrict. Special conditions for the properties identified in the Immokalee Area Master Plan; referenced on Map 7; and further identified by the designation "MSOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to encourage development and redevelopment by enhancing and beautifying the downtown Main Street area through flexible design and development standards.~~

~~a. Permitted uses. For all properties within the Main Street Overlay Subdistrict, except for properties hatched as indicated on Map 7, the Main Street Overlay Subdistrict, all permitted uses within the uses within the underlying zoning districts contained within this Subdistrict, and the following uses may be permitted as of right in this Subdistrict:~~

~~1. Hotel and motels (7011)~~

~~2. Communication towers, as defined in section 5.05.09, subject to the following:~~

~~i. Such tower is an essential service use as defined by subsection 2.01.03 A.4; and~~

~~ii. Such tower may not exceed a height of 75 feet above grade including any antennas attached thereto.~~

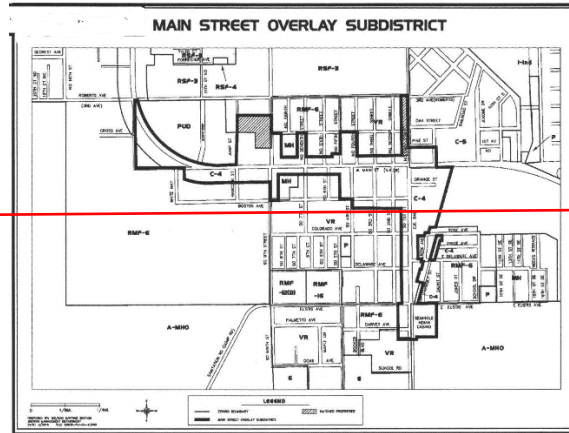
~~b. Permitted uses. For hatched properties within the Main Street Overlay Subdistrict, all permitted uses within the underlying zoning districts~~

- 1 contained within this ~~Subdistrict~~, and the following uses are permitted as of
- 2 right in this ~~Subdistrict~~:
- 3
- 4 1. ~~All uses allowed in the Commercial Professional District (C-1), of~~
- 5 ~~this Code, except for group 7521.~~
- 6
- 7 2. ~~Communication towers, as defined in section 5.05.09 subject to the~~
- 8 ~~following:~~
- 9
- 10 i. ~~Such tower is an essential service use as defined by~~
- 11 ~~subsection 2.01.03 A.4; and~~
- 12
- 13 ii. ~~Such tower may not exceed a height of 75 feet above grade~~
- 14 ~~including any antennas attached thereto.~~
- 15
- 16 c. ~~Prohibited uses. All uses prohibited within the underlying residential and~~
- 17 ~~commercial zoning districts contained within this Subdistrict, and the~~
- 18 ~~following uses, shall be prohibited on properties with frontage on Main~~
- 19 ~~Street in between First Street and Ninth Street in the Main Street Overlay~~
- 20 ~~Subdistrict:~~
- 21
- 22 1. ~~Automobile parking (7521).~~
- 23
- 24 2. ~~Automotive dealers (5511, 5521, 5531 installation, 5551, 5561,~~
- 25 ~~5571, 5599).~~
- 26
- 27 3. ~~Facility with fuel pumps.~~
- 28
- 29 4. ~~Primary uses such as convenience stores and grocery stores are~~
- 30 ~~prohibited from servicing and repairing vehicles in conjunction with~~
- 31 ~~the sale of gasoline.~~
- 32
- 33 5. ~~Automotive repair, services, parking (7514, 7515, 7521) and~~
- 34 ~~carwashes (7542).~~
- 35
- 36 6. ~~Radio and television repair shops (7622 automotive).~~
- 37
- 38 7. ~~Outdoor storage yards and outdoor storage.~~
- 39
- 40 8. ~~Drive-through areas.~~
- 41
- 42 9. ~~Warehousing (4225).~~
- 43
- 44 10. ~~Communication towers, as defined in section 5.05.09 of this Code,~~
- 45 ~~except as otherwise permitted in this Subdistrict.~~
- 46
- 47 11. ~~Any other heavy commercial use which is comparable in nature with~~
- 48 ~~the forgoing uses and is deemed inconsistent with the intent of this~~
- 49 ~~Subdistrict shall be prohibited.~~
- 50

- 1 ~~d. Accessory uses.~~
- 2
- 3 ~~1. Uses and structures that are accessory and incidental to the~~
- 4 ~~permitted uses as of right in the underlying zoning districts~~
- 5 ~~contained within this subdistrict and are not otherwise prohibited by~~
- 6 ~~this subdistrict.~~
- 7
- 8 ~~2. Communication towers, as defined in section 5.05.09 subject to the~~
- 9 ~~following:~~
- 10
- 11 ~~i. Such tower is an essential service use as defined by~~
- 12 ~~subsection 2.01.03 A.4.; and~~
- 13
- 14 ~~ii. Such tower may not exceed a height of 75 feet above grade~~
- 15 ~~including any antennas attached thereto.~~
- 16
- 17 ~~e. Conditional uses.~~
- 18
- 19 ~~1. Conditional uses of the underlying zoning districts contained within~~
- 20 ~~the subdistrict, subject to the standards and procedures established~~
- 21 ~~in LDC section 10.08.00 and as set forth below:~~
- 22
- 23 ~~i. Local and suburban passenger transportation (4131, 4173)~~
- 24 ~~located upon commercially zoned properties within the Main~~
- 25 ~~Street Overlay Subdistrict.~~
- 26
- 27 ~~ii. Communication towers, as defined in section 5.05.09 of this~~
- 28 ~~Code for essential service uses as defined by subsection~~
- 29 ~~2.01.03 A.4 that exceed a height of 75 feet above grade~~
- 30 ~~including any antennas attached thereto.~~
- 31
- 32 ~~iii. The following conditional uses may be permitted only on~~
- 33 ~~properties with frontage on North First Street, South First~~
- 34 ~~Street, and North Ninth Street within the Main Street Overlay~~
- 35 ~~Subdistrict:~~
- 36
- 37 ~~a. Automobile parking (7521).~~
- 38
- 39 ~~b. Automotive dealers (5511, 5521, 5531 installation,~~
- 40 ~~5551, 5561, 5571, 5599).~~
- 41
- 42 ~~c. Facility with fuel pumps.~~
- 43
- 44 ~~d. Automotive repair, services, parking (7514, 7515,~~
- 45 ~~7521) and carwashes (7542).~~
- 46
- 47 ~~e. Radio and television repair shops (7622~~
- 48 ~~automotive).~~
- 49
- 50 ~~f. Outdoor storage yards and outdoor storage.~~

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- ~~g. Drive-through areas.~~
- ~~h. Warehousing (4225).~~
 - ~~i. Communication towers, as defined in LDC section 5.05.09, except as otherwise permitted in this Subdistrict.~~
- ~~f. Special requirements for outdoor display and sale of merchandise.~~
 - ~~i. Outdoor display and sale of merchandise, within the front and side yards on improved properties, are permitted subject to the following provisions:
 - ~~a) The outdoor display/sale of merchandise is limited to the sale of comparable merchandise sold on the premises and is indicated on the proprietors' occupational license.~~
 - ~~b) The outdoor display/sale of merchandise is permitted on improved commercially zoned properties and is subject to the submission of a site development plan that demonstrates that provisions will be made to adequately address the following:
 - ~~i) Vehicular and pedestrian traffic safety measures.~~
 - ~~ii) Location of sale/display of merchandise in relation to parking areas.~~
 - ~~iii) Fire protection measures.~~
 - ~~iv) Limited hours of operation from dawn until dusk.~~~~~~
 - ~~ii. Outdoor display and sale of merchandise within the sidewalk area only shall be permitted in conjunction with "Main Street" approved vendor carts, provided the applicant submits a site development plan which demonstrates that provisions will be made to adequately address the following:
 - ~~a) Location of sale/display of merchandise in relation to road rights-of-way;~~
 - ~~b) Vendor carts are located on sidewalks that afford the applicant a five (5) foot clearance for non-obstructed pedestrian traffic; and~~
 - ~~c) Limited hours of operation from dawn until dusk.~~~~



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~~6. Nonconforming Mobile Home Site Overlay Subdistrict. Establishment of special conditions for these properties which by virtue of actions preceding the adoption of Ordinance No. 91-102, on October 30, 1991, were deemed to be nonconforming as a result of inconsistencies with the land development code, and are located within the Immokalee Urban Boundary as depicted on the Immokalee Area Master Plan.~~

~~a. Purpose and intent. The purpose of these provisions is to recognize that there are nonconforming mobile homes on properties in the Immokalee Urban Area and to establish a process to provide property owners an official record acknowledging the permitted use of the property and render existing mobile homes, and other structures, as lawful. Travel trailers, regardless of the square footage, are not permitted as a permanent habitable structure and may not seek relief under this section. Properties that cannot meet the requirements may pursue an agreement with the Board of County Commissioners to establish compliance with this LDC section 2.03.07 G.6.~~

~~b. Application requirements. Property owners shall file an application as provided for in the Administrative Code, Chapter 4, Section 1.3.a. — Immokalee Nonconforming Mobile Home Sites — Existing Conditions Site Improvement Plan and shall only be subject to the criteria, requirements, and process expressly stated in the Administrative Code and this LDC section.~~

~~c. Criteria for review. The following criteria shall apply to the existing conditions site improvement plan approval process and shall be reviewed by the County Manager or designee.~~

~~i. Minimum separation requirements shall be consistent with State Fire Marshal Rule 69A-42.0041 Fire Separation Requirements.~~

~~ii. The Fire authority having jurisdiction shall provide written confirmation that either the existing fire hydrant(s) or a supplemental apparatus, provided by the Fire District, can supply the required fire flow needed for fire protection.~~

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- iii. ~~NFPA 501A: Standard for Fire Safety Criteria for Manufactured Home Installations, Sites, and Communities as referenced in FAG 69A-60.005.~~
 - d. ~~Density. Once the existing conditions site improvement plan is approved, owners may replace mobile home units with an approved building permit at sites shown on the site plan. Replacement units may be larger than the removed unit, so long as the minimum separation standards established in LDC section 2.03.06 G.6.c.i are met.~~
 - i. ~~Where properties currently exceed the density allowed for by the zoning district, the approved existing conditions site improvement plan shall establish the maximum density on the property which shall not exceed the density of the property as depicted on the Property Appraiser aerial maps dated before February 2016. All lots and units shall be consistent with the approved existing conditions site improvement plan.~~
 - ii. ~~Where the zoning district allows for additional density, new mobile home units may be added and shall be identified on the site plan. New mobile homes shall be subject to the dimensional standards established in LDC section 4.02.33.~~
 - 7. ~~Interim Deviations: Property owners within the Immokalee Urban Overlay District may request deviations from specific dimensional requirements as described in this section. A deviation request may be reviewed administratively or by the Planning Commission depending upon its scope. This section addresses the permissible deviations, limitations thereon, and the review process.~~
 - a. ~~Review Process. Insubstantial deviations will be reviewed administratively by the County Manager or designee. Substantial deviations will be reviewed by the Planning Commission. This section is not intended to replace the current established process of requesting deviations through the PUD rezoning process. Any deviations from the LDC which are not expressly provided for in this section shall be processed as variances in accordance with Section 9.04.00 of the LDC.~~
 - b. ~~Concurrent Deviation Application required. All deviation requests shall be made concurrently with an application for an SDP or amendment, SIP or amendment or Final Subdivision Plat, or in the case of sign deviations, with a building permit. The applicant shall list all requested deviations on the required site plan(s), and shall depict the deviation(s) graphically on the plan(s). Additional graphic information may also be required by staff, on a case by case basis.~~
 - c. ~~Insubstantial Deviations. Requested deviations that do not exceed 10 percent of the required dimension, amount, size, or other applicable dimensional standard, with the exception of the required number of parking spaces, which may not exceed 20 percent of the LDC requirement (not~~

1 ~~more than 10 spaces), are insubstantial. To be approved, the following~~
2 ~~criteria must be considered:~~

3
4 ~~i. The proposed deviation is compatible with adjacent land uses and~~
5 ~~structures, achieves the requirements of the regulations as closely~~
6 ~~as is practicable, and meets the intent of the related Land~~
7 ~~Development Code regulations; and~~

8
9 ~~ii. The applicant proposes equitable tradeoffs for the proposed~~
10 ~~diminution in development standards, such as increased open~~
11 ~~space, landscaping, pedestrian spaces, buffering or architectural~~
12 ~~features, in order to meet the intent of the regulation being~~
13 ~~diminished.~~

14
15 ~~d. Substantial Deviations. Requested deviations that do not qualify as~~
16 ~~insubstantial deviations are substantial deviations:~~

17
18 ~~i. Considerations for Review and Approval: The CCPC shall consider~~
19 ~~the following:~~

20
21 ~~a) Whether or not the proposed deviation is compatible with~~
22 ~~adjacent land uses and achieves the requirements and/or~~
23 ~~intent of the regulations as closely as is practicable; and~~

24
25 ~~b) Whether the proposed deviation is the minimum amount~~
26 ~~necessary to allow for reasonable use of the property and/or~~
27 ~~address the issue necessitating the deviation request; and~~

28
29 ~~c) Whether the reduced or increased standard requested by~~
30 ~~the deviation is mitigated for, either on the subject site or by~~
31 ~~providing a public benefit on the subject site. Examples of~~
32 ~~such on-site mitigation include but are not limited to:~~
33 ~~increasing setbacks from the adjacent road right of way~~
34 ~~when proposing to deviate from sign size limitations;~~
35 ~~increasing plantings or planting sizes or installing a fence or~~
36 ~~wall where a reduced buffer width is proposed; providing~~
37 ~~public pedestrian and/or bicycle pathway easements or~~
38 ~~other similar mobility improvements including transit~~
39 ~~enhancements; providing public parking; providing~~
40 ~~beautification in the public realm, including street trees,~~
41 ~~street furniture, lighting and other similar public benefits.~~

42
43 ~~e. Applicability List of Development Standards Eligible for Deviation~~
44 ~~Requests. Property owners shall be eligible to seek a deviation from the~~
45 ~~dimensional requirements of the following LDC sections, unless otherwise~~
46 ~~noted.~~

47
48 ~~i. 2.03.01 Agricultural Zoning Districts, limited to subsection A.1.b.4.ii.~~
49

- 1 ii. ~~2.03.03 Commercial Zoning Districts, limited to the following~~
- 2 subsections:
- 3
- 4 a) ~~A.1.c.11.vii. limited to a maximum of three stories, viii., and~~
- 5 ~~ix.; and~~
- 6
- 7 b) ~~E.1.c.4.iv.~~
- 8
- 9 iii. ~~2.03.04 Industrial Zoning Districts, limited to subsection A.1.c.2.iv.,~~
- 10 ~~minimum lot area only.~~
- 11
- 12 iv. ~~3.05.07 B.1 Preservation Standards, Specific Standards Applicable~~
- 13 ~~Outside the RMFU and RLSA districts, Required Preservation~~
- 14 ~~Percentages (Table 1 inset).~~
- 15
- 16 v. ~~4.02.01 A Dimensional Standards for Principal Uses in Base Zoning~~
- 17 ~~Districts:~~
- 18
- 19 a) ~~Table 1. Lot Design Requirements for Principal Uses in~~
- 20 ~~Base Zoning Districts;~~
- 21
- 22 b) ~~Table 2. Building Dimension Standards for Principal Uses in~~
- 23 ~~Base Zoning Districts, excluding building height and in the~~
- 24 ~~case of commercial parcels, no deviation shall be granted,~~
- 25 ~~for new development, from the required 50-foot building~~
- 26 ~~setback when abutting residentially zoned properties, or~~
- 27 ~~from the minimum 10-foot wide landscaped strip between~~
- 28 ~~the abutting road right of way and the off-street parking area~~
- 29 ~~for new development, but deviations from these~~
- 30 ~~requirements may be considered in the case of~~
- 31 ~~redevelopment where existing structures and/or~~
- 32 ~~encroachments are proposed to remain;~~
- 33
- 34 c) ~~Table 2.1 - Table Of Minimum Yard Requirements~~
- 35 ~~(Setbacks) for Base Zoning Districts.~~
- 36
- 37 vi. ~~4.02.02 Dimensional Standards for Conditional Uses and~~
- 38 ~~Accessory Uses in Base Zoning Districts, limited to subsection E~~
- 39 ~~(Table Inset), except building height.~~
- 40
- 41 vii. ~~4.02.03 Specific Standards for Location of Accessory Buildings and~~
- 42 ~~Structures, Dimensional Standards, except that in the case of new~~
- 43 ~~development on commercial parcels, no deviation shall be granted~~
- 44 ~~from the required 50-foot building setback when abutting~~
- 45 ~~residentially zoned properties, or from the minimum 10-foot wide~~
- 46 ~~landscaped strip between the abutting road right of way and the off-~~
- 47 ~~street parking area. Deviations from these requirements may be~~
- 48 ~~considered in the case of redevelopment where existing structures~~
- 49 ~~and/or encroachments are proposed to remain.~~
- 50

- 1 ~~viii. 4.02.03 B Accessory Building Lot Coverage.~~
- 2
- 3 ~~ix. 4.02.27 C Specific Design Standards for the Immokalee State~~
- 4 ~~Road 29A Commercial Overlay Subdistrict, Building Design~~
- 5 ~~Standards.~~
- 6
- 7 ~~x. 4.02.28 A Same Jefferson Avenue Commercial Overlay~~
- 8 ~~Subdistrict, Building Design Standards.~~
- 9
- 10 ~~xi. 4.02.29 A Same Farm Market Overlay Subdistrict, Dimensional~~
- 11 ~~Standards.~~
- 12
- 13 ~~xii. 4.02.32 Same Main Street Overlay Subdistrict, limited to the~~
- 14 ~~following subsections: A.; C.1; D.3 and D.4; and E.1, E.2, and~~
- 15 ~~E.3.xiii. 4.05.04 G (Spaces Required) Table 17 and 4.05.06 B~~
- 16 ~~Loading Space Requirements, utilizing the existing administrative~~
- 17 ~~deviation process set forth in LDC section 4.05.04 F.4., recognizing~~
- 18 ~~that the reduced need for off-street parking in Immokalee may be~~
- 19 ~~offered as a viable basis for such administrative deviation.~~
- 20
- 21 ~~xiv. 4.06.02 C Buffer Requirements (limited to required width) except~~
- 22 ~~that in the case of new development on commercial parcels, no~~
- 23 ~~deviation shall be granted from the required 50-foot building~~
- 24 ~~setback when abutting residentially zoned properties, or from the~~
- 25 ~~minimum 10-foot wide landscaped strip between the abutting road~~
- 26 ~~right-of-way and the off-street parking area. Deviations from these~~
- 27 ~~requirements may be considered in the case of redevelopment~~
- 28 ~~where existing structures and/or encroachments are proposed to~~
- 29 ~~remain.~~
- 30
- 31 ~~xv. 4.06.03 B Landscaping Requirements for Vehicular Use Areas and~~
- 32 ~~Rights-of-Way, Standards for Landscaping in Vehicular Use Areas.~~
- 33
- 34 ~~xvi. 4.06.05 B General Landscaping Requirements, Landscaping~~
- 35 ~~requirements for industrial and commercial development, limited to~~
- 36 ~~subsection B.3.~~
- 37
- 38 ~~xvii. 4.06.05 C General Landscaping Requirements, Building~~
- 39 ~~Foundation Planting Requirements (including Table Inset).~~
- 40
- 41 ~~xviii. 5.05.08 C Architectural and Site Design Standards, Building Design~~
- 42 ~~Standards. Deviations from non-dimensional provisions of this~~
- 43 ~~section are also allowed as substantial deviations.~~
- 44
- 45 ~~xix. 5.05.08 D Design Standards for Specific Uses. Deviations from~~
- 46 ~~non-dimensional provisions of this section are also allowed as~~
- 47 ~~substantial deviations.~~
- 48
- 49 ~~xx. 5.05.08 E Architectural and Site Design Standards, Site Design~~
- 50 ~~Standards, limited to subsections 1.b; 2; 3; 4; 5 and 7. Deviations~~

~~from non-dimensional provisions of this section are also allowed as substantial deviations. Note: Nothing in LDC section 5.05.08, Architectural and Site Design Standards, shall be deemed to prohibit the use of murals on exterior walls of commercial buildings in the Immokalee Urban Overlay District, provided that: 1) such murals are reviewed and accepted by the Collier County Redevelopment Agency staff; and 2) such murals do not contain text for the purpose of advertising any business or commercial activity.~~

~~xxi. 5.06.04 Development Standards for Signs in Nonresidential Districts, limited to subsection F.~~

~~f. Duration of these provisions. These provisions are interim in nature and will be in effect until the effective date of Comprehensive Immokalee Overlay LDC amendments.~~

~~g. Public Notice. Public notice, including signage, notice to property owners and an advertised public hearing, is required for substantial deviation requests and shall be provided in accordance with the applicable provisions of Section 10.03.05 B, for Variances.~~

~~h. Appeals. Within 30 days of the issuance of the decision of staff or of the CCPC, the owner or any aggrieved person may appeal the decision to the Board of Zoning Appeals pursuant to Section No. 250-58 of the Codes of Laws and Ordinances.~~

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4.02.27 - Architectural and Site Design Standards for the Immokalee Urban Area Overlay District (IUAOD) ~~Specific Design Standards for the Immokalee State Road 29A Commercial Overlay Subdistrict~~

A. General.

1. The provisions of LDC section 4.02.27 shall apply to all new non-residential buildings and projects within the IUAOD. This section also applies to existing buildings where any addition or renovation will result in a change to more than 75 percent of the façade area, or the addition or renovation exceeds 50 percent of the square footage of the gross area of the existing building(s).
2. Residential uses shall be regulated by the underlying zoning districts and applicable development standards.
3. LDC section 4.02.27 replaces and supersedes LDC section 5.05.08 Architectural and Design Standards. When conflicts arise between LDC section 4.02.27 standards and other code sections, LDC section 4.02.27 standards shall govern.

1 4. Nonconforming buildings approved for use and occupancy prior to November 10,
2 2004, shall not be enlarged or altered in a way which increases the nonconformity.
3 All alterations or façade improvements to nonconforming buildings shall be
4 consistent with LDC section 4.02.27 and shall be reviewed for compliance by the
5 County Manager or designee; however, unaltered portions of the nonconforming
6 building will not be required to comply.

7
8 5. Exceptions.
9

10 a. A historic site, structure, building, district, or property that has been
11 identified and documented as being significant in history, architecture,
12 archaeology, engineering, or culture and is registered through the National
13 Register of Historic Places.

14 b. The Rural Agricultural (A) zoning district as established in the Zoning Atlas.

15 c. Façades facing an interior courtyard provided the façades are not visible
16 from any public property (e.g., street, right-of-way, sidewalk, alley), interior
17 drive, parking lot, or adjacent private property.

18 d. The following shall be exempt from the standards of LDC section 4.02.27
19 Architectural and Site Design Standards for the IUAOD. The expanded
20 selection of exterior materials and color included in LDC section 4.02.27
21 B.2.k. for the IUAOD shall apply.

22 i. Routine repairs and maintenance of an existing building.

23 ii. Public utility ancillary systems provided that a building shall not
24 have any wall planes exceeding 35 feet in length, excluding storage
25 tanks, or have an actual building height greater than 18 feet,
26 excluding storage tanks and communications equipment. See LDC
27 section 4.06.05 B.4 for screening requirements of fences and walls
28 surrounding public utility ancillary systems.

29 e. Agribusiness/Farm Market Overlay Subdistrict (AFOS).

30 i. The following uses, located within the AFOS and as identified in the
31 Standard Industrial Classification Manual, are exempt from the
32 provisions set forth in LDC section 4.02.27.

33 a) Agricultural Services (0723).

34 b) Wholesale Trade (5148).

35 c) Agricultural Outdoor Sales.

36
37 B. Immokalee Urban Area Overlay District (IUAOD).
38

39 1. Architectural styles. The architectural styles which are present and encouraged
40 within IUAOD include, but are not limited to, the following:
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- a. Spanish Vernacular.
- i. Mediterranean style. Also known as Spanish Eclectic or Spanish Colonial Revival. Characteristics typically include barrel tile, low-pitched roofs usually with little or no overhang, parapets, arches, stucco, and asymmetrical façades. Buildings typically contain the following: multi-level roofs composed of barrel tile (half cylinders) or Spanish Tile (s-curved shape) in red and earth tones, façade of stucco with sand finish or hand troweled, arched windows (some triple-arched), ornamentation contain full arches and patterned tiles or single tile for accent.
 - ii. Mission style. Influenced by the Spanish Colonial Style. Characteristics typically include barrel tile roofs, arches, earth tone colors, and asymmetrical façades finished in stucco. Similar to the Mediterranean Style but exhibiting much less ornamentation and detailing. Mission Style buildings typically contain flat roof with curvilinear parapets are most common, Barrel Tile (half cylinders) or Spanish Tile (s-curved shape), stucco with sand finish or hand troweled, and ornamentation containing full arches.
- b. Frame Vernaculars. Also known as Florida Cracker or Key West Style. Some frame vernacular buildings in Florida exhibit a Caribbean influence, while others are more utilitarian or rural in nature. Most familiar elements of this style are the use of horizontal siding for façade finish, elaborate wood balustrades, large porches, and metal roofs. Buildings typically contain metal roof (5v panels or narrow standing seam), lapped siding with corner boards (wood or vinyl) and ornamentation of gable end or eave brackets.
- c. Contemporary. Contemporary architecture focuses on innovation while being in harmony with nature through the use of clean geometric lines and elements such as openness both in interiors and to the outside, natural light, eco-friendly materials and creative styles. This is achieved through the use of a range of building materials such as concrete, glass, wood, and metals.
2. Building Design Standards.
- a. Building façades. The following standards apply to all non-residential buildings that are subject to LDC section 4.02.27, except as noted above.
 - i. All primary façades of a building must be designed with consistent architectural style, detail, and trim features.
 - ii. Buildings or projects located at the intersection of two or more arterial or collector roads shall include design features to emphasize their location as gateways and transition points within the community.

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b. Principal entrance façade standards.

i. Building entrance. Buildings located along a public or private street must be designed with the principal entrance clearly defined, and with convenient access from both parking and the street.

ii. Design features. The design of principal entrance façades must include, at a minimum, three of the following design features. However, a minimum of two of the following design features is required for buildings less than 5,000 square feet.

a) Glazing covering a minimum of 25 percent of the principal entrance façade area, consisting of window and/or glazed door openings. ~~As an alternative, trellis~~ or latticework on the principal entrance façade used as a support for climbing plants may count for up to 50 percent of the window area on principal entrance facades. The planting area shall be an irrigated bed three (3) feet in depth and a minimum width equal to the width of the trellis with three (3)-gallon vines at three (3) feet on center at time of installation. Climbing plants shall achieve 80 percent opacity on the trellis within one year.

b) Projected or recessed covered principal entrance facades providing a minimum horizontal dimension of eight feet and a minimum area of 100 square feet. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.

c) Covered walkway, or arcade (excluding canvas type) constructed with columns at least eight (8) inches wide, attached to the building, or located no more than 12 feet from the building. The structure must be permanent, and its design must relate to the principal structure. The minimum width must be six (6) feet, with a total length measuring a minimum of 40 percent of the length of the associated façade. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.

d) Awnings located over doors, windows, or other ornamental design features projecting a minimum of two (2) feet from the principal entrance façade wall and a width totaling a minimum of 25 percent of the principal entrance façade length. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.

- 1 e) Porte-cochere with a minimum horizontal dimension of 18
- 2 feet. In addition, a minimum of 15 percent of the principal
- 3 entrance façade area must be devoted to window and/or
- 4 glazed door openings.
- 5
- 6 f) A tower element such as but not limited to a clock or bell
- 7 tower element. In addition, a minimum of 15 percent of the
- 8 principal entrance façade area must be devoted to window
- 9 and/or glazed door openings.
- 10
- 11 g) Trellis or latticework covering a minimum of 15 percent of
- 12 the principal entrance façade and used as a support for
- 13 climbing plants. The planting area shall be an irrigated bed
- 14 three (3) feet in depth and a minimum width of the trellis with
- 15 three (3)-gallon vines at three (3) feet on center at time of
- 16 installation and climbing plants shall achieve 80 percent
- 17 opacity on the trellis within one year. This provision shall not
- 18 be utilized with the alternative design feature identified in
- 19 LDC section 4.02.27 B.2.b.ii.a.
- 20
- 21 h) Entry plaza to the building with a minimum 100 square feet
- 22 in area that includes seating. In addition, a minimum of 15
- 23 percent of the primary façade area must be devoted to
- 24 window and/or glazed door openings.
- 25
- 26 i) Entry courtyard contiguous with the building entry and
- 27 connected to the principal entrance façade consisting of a
- 28 defined space with a minimum area of 300 square feet. The
- 29 courtyard may be any combination of hard or softscape with
- 30 walkways and defined hard edge, decorative fencing, or a
- 31 minimum three (3)-foot wall(s). In addition, a minimum of 15
- 32 percent of the principal entrance façade area must be
- 33 devoted to window and/or glazed door openings.
- 34
- 35 j) For mixed use development projects within C-1 through C-
- 36 3 zoning districts the following architectural options are
- 37 available in addition to the list of required design features
- 38 contained above:
- 39
- 40 i) Open arcade or covered walkway with a minimum
- 41 depth of eight (8) feet and a minimum length of 60
- 42 percent of the façade.
- 43
- 44 ii) A building recess or projection of the first floor with
- 45 minimum depth of eight (8) feet and total minimum
- 46 length of 60 percent of the façade length.
- 47
- 48 iii) Architectural elements such as balconies and bay
- 49 windows with a minimum depth of three (3) feet and
- 50 that cover a minimum of 30 percent of the façade

above the first floor. (Storm shutters, hurricane shutters, screen enclosures or any other comparable feature, if applied as part of the structure, must also comply with the required minimum depth).

c. Façade/wall height transition elements.

i. Purpose. The intent of this section is to ensure that the proposed buildings relate in mass and scale to the immediate streetscape and the adjacent built environment.

ii. Applicability. Transitional massing elements must be provided on proposed buildings that are twice the height or more of any existing building within 150 feet, as measured from the edge of the proposed building.

iii. Design standards.

a) Transitional massing elements can be no more than 100 percent taller than the average height of the adjacent buildings, but no more than 30 feet, and no less than ten (10) feet above the existing grade.

b) Transitional massing elements must be incorporated for a minimum of 60 percent of the length of the façade, which is in part or whole within the 150 feet of an existing building.

c) Transitional massing elements include, but are not limited to, wall plane changes, roofs, canopies, colonnades, balconies, other similar architectural features, with the minimum depth for projections and recesses relative to the building size, and must meet the following requirements:

i) For buildings consisting of 20,000 square feet or larger in gross building area, projections and recesses must have a minimum depth of six (6) feet.

ii) For buildings between 10,000 and 19,999 square feet in gross building area, projections and recesses must have a minimum depth of four (4) feet.

iii) For buildings up to 9,999 square feet in gross building area, projections and recesses must have a minimum depth of two (2) feet.

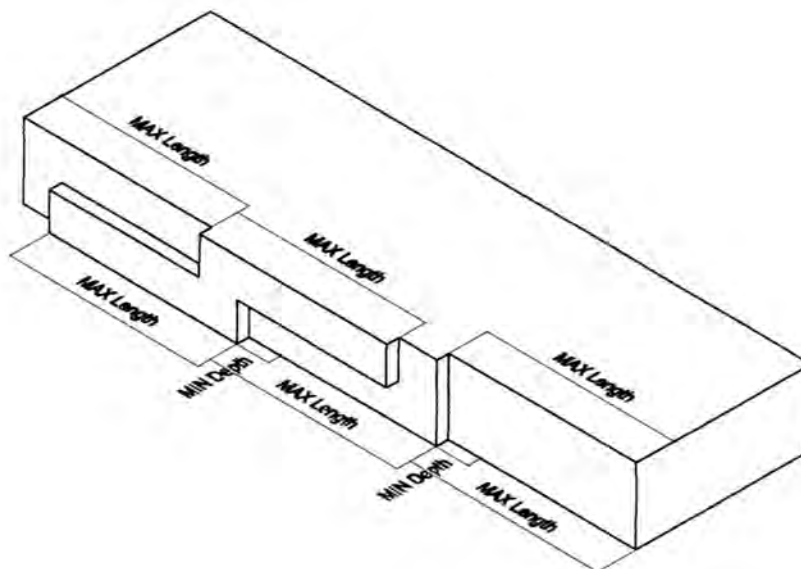
d. Variation in massing. A single, large, dominant building mass must be avoided. Changes in mass must be related to entrances, the integral structure and the organization of interior spaces and activities, and not merely for cosmetic effect. False fronts or parapets create insubstantial

appearance and are discouraged. All façades, excluding courtyard area, shall be designed to employ the design treatments listed below.

i. Projections and recesses.

- a) For buildings 20,000 square feet or larger in floor area, a maximum length, or uninterrupted curve of any façade, at any point, must be 125 linear feet. Projections and recesses must have a minimum depth of six (6) feet within the 125 linear feet limitation.
- b) For buildings between 10,000 and 19,999 square feet in floor area, a maximum length, or uninterrupted curve of any façade, at any point, must be 100 linear feet. Projections and recesses must have a minimum depth of four (4) feet within the 100 linear feet limitation.
- c) For buildings between 5,000 and 9,999 square feet in floor area, a maximum length, or uninterrupted curve of any façade, at any point, must be 75 linear feet. Projections and recesses must have a minimum depth of two (2) feet within the 75 linear feet limitation.
- d) For buildings less than 5,000 square feet in floor area, a maximum length, or uninterrupted curve of any façade, at any point, must be 50 linear feet. Projections and recesses must have a minimum depth of one and a half (1.5) feet, and a minimum total width of 20 percent of the façade length.

Illustration - Measurement of projections and recesses.

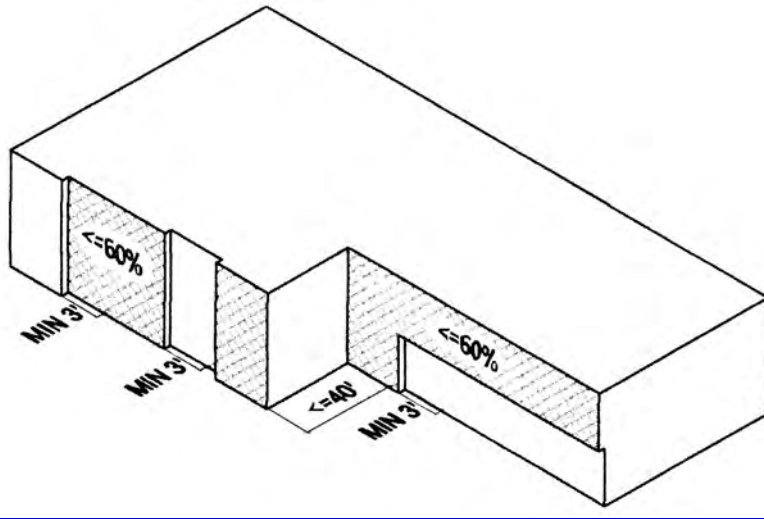


e. Wall Plane Changes.

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- i. Buildings subject to the projections or recesses depths required by LDC section 4.02.27 A.1 must not have a single wall plane exceeding 60 percent of each façade.
- ii. If a building has a projection or recess of 40 feet or more, each is considered a separate façade, and must meet the requirements for wall plane changes in LDC section 4.02.27 B.2.e.i.

Illustration Wall Plane Percentages



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- f. Building design treatments. In addition to the principal entrance façade, the following design treatments must be an integral part of the building's design and integrated into the overall architectural style. Primary façades, other than the principal entrance façade, must have at least four (4) of the following building design treatments. However, a minimum of two (2) of the following design treatments are required for buildings less than 5,000 square feet:
 - i. Canopies, porticos, or porte-cocheres, integrated with the building's massing and style;
 - ii. Overhangs, minimum of three (3) feet;
 - iii. Colonnades or arcades, a minimum of eight (8) feet clear in width;
 - iv. Sculptured artwork;
 - v. Murals;
 - vi. Cornice minimum two (2) feet high with 12-inch projection;
 - vii. Peaked or curved roof forms;

- 1 viii. Arches with a minimum 12-inch recess depth;
- 2
- 3 ix. Display windows;
- 4
- 5 x. Ornamental and structural architectural details, other than cornices,
- 6 which are integrated into the building structure and overall design;
- 7
- 8 xi. Clock or bell tower, or other such roof treatment (i.e., dormers,
- 9 belvederes, and cupolas);
- 10
- 11 xii. Projected and covered entry, with minimum dimension of eight (8)
- 12 feet and the minimum area of 100 square feet;
- 13
- 14 xiii. Emphasized building base, minimum of three (3) feet high, with a
- 15 minimum projection from the wall of two (2) inches;
- 16
- 17 xiv. Additional roof articulation above the minimum standards;
- 18
- 19 xv. Curved walls;
- 20
- 21 xvi. Columns;
- 22
- 23 xvii. Pilasters;
- 24
- 25 xviii. Metal or tile roof material;
- 26
- 27 xix. Expressed or exposed structural elements;
- 28
- 29 xx. Additional glazing at a minimum of 15 percent beyond the code
- 30 minimum requirement;
- 31
- 32 xxi. Solar shading devices (excluding awnings) that extend a minimum
- 33 of 50 percent of the length of the building façade;
- 34
- 35 xxii. Translucent glazing at a minimum of 10 percent beyond the code
- 36 minimum glazing requirement;
- 37
- 38 xxiii. Glass block at a minimum of 10 percent beyond the code minimum
- 39 glazing requirement; or
- 40
- 41 xxiv. Where the optional design feature in LDC section 4.02.27 B.2.a. is
- 42 chosen and 85 percent of all exterior glazing within the first three
- 43 stories of the building have any of the following:
- 44
- 45 a) Low reflectance, opaque glazing materials (may include
- 46 spandrel glass with less than 15 percent reflectance);
- 47
- 48 b) Glass with visual patterns consisting of opaque points or
- 49 patterns etched into or applied to the exterior or interior
- 50 surfaces with frit, frost, or film for single pane or insulated

1 glass. A maximum of two (2) inch spacing between
2 horizontal elements and a maximum of four (4) inch spacing
3 between vertical elements, with a minimum line or dot
4 diameter thickness of one-eighth (1/8) inch;

5
6 c) Glass with continuous etch or continuous frit on interior
7 surface, single pane, or insulated glass; or

8
9 d) External screens.

10
11 g. Window standards.

12
13 i. False or applied windows are allowed but shall not be included in
14 the glazing requirement for principal entrance façades.

15
16 ii. Spandrel panels in curtain wall assemblies are allowed and shall be
17 included in the minimum glazing required for principal entrance
18 façades.

19
20 h. Additional standards for outparcels and freestanding buildings within a non-
21 residential or mixed-use PUD or unified development plan.

22
23 i. Purpose and intent. To provide unified architectural design and site
24 planning for all on-site structures, and to provide for safe and
25 convenient vehicular and pedestrian access and movement within
26 the site.

27
28 ii. Façades standards. All façades must meet the requirements of LDC
29 section 4.02.27 B.2.f. Building design treatments.

30
31 a) Primary façades. All exterior façades of freestanding
32 structures, including structures located on outparcels, are
33 considered primary façades except for one secondary
34 façade as defined below, and must meet the requirements
35 of this section with respect to the architectural design
36 treatment for primary façades in LDC section 4.02.27.B.2.,
37 except for those façades considered secondary façades.

38
39 b) Secondary façades. Outparcels and freestanding buildings
40 are allowed one secondary façade. One façade of a
41 freestanding structure, including structures located on
42 outparcels, that is internal to the site and that does not abut
43 or face public or private streets or internal drive aisles
44 adjacent to the development.

45
46 iii. Design standards. The design for freestanding buildings must
47 employ architectural, site and landscaping design elements
48 integrated with, and common to those used on the primary structure
49 and its site. These common design elements must include colors,
50 building materials, and landscaping associated with the main

1 structure. All freestanding buildings must provide for vehicular and
2 pedestrian inter-connection between abutting outparcels or
3 freestanding sites and the primary structure.

4
5 iv. Primary façade standards. The following design feature is an
6 additional option which can be used to meet the requirement in LDC
7 section 4.02.27 B.2.b.ii. Primary façade design features: Walls
8 expanding the design features of the building, not less than seven
9 (7) feet high, creating a courtyard not less than 12 feet from the
10 building and length of no less than 60 percent of the length of the
11 associated façade. The courtyard may be gated and able to be
12 secured from exterior public access. Grilled openings are allowed if
13 the courtyard is landscaped. Opening depths or wall terminations
14 must be a minimum of 12 inches deep. If the courtyard contains
15 service or equipment, the height and design must prevent view from
16 the exterior. Courtyard walls are not to be considered fences.

17
18 i. Roof treatments.

19
20 i. Purpose and intent. Variations in rooflines are used to add interest
21 and reduce the massing of large buildings. Roof height and features
22 must be in scale with the building's mass and shall complement the
23 character of surrounding buildings and neighborhoods. Roofing
24 materials must be constructed of durable, high-quality material in
25 order to enhance the appearance and attractiveness of the
26 community. The following standards identify appropriate roof
27 treatments and features.

28
29 ii. Roof edge and parapet treatment.

30
31 a) When a building's largest floor is greater than 5,000 square
32 feet in floor area a minimum of two (2) roof-edge or parapet
33 line changes are required for all primary façades. One such
34 change must be located on primary façades. Thereafter,
35 one (1) additional roof change is required every 100 linear
36 feet around the perimeter of the building. If a vertical change
37 is used, each vertical change from the dominant roof
38 condition must be a minimum of 10 percent of building
39 height, but no less than three (3) feet. If a horizontal change
40 is used, each horizontal change from the dominant roof
41 condition must be a minimum of 20 percent of the façade
42 length, but no less than three (3) feet.

43
44 b) Roofs, other than mansard roofs, with the slope ratio of 3:12
45 or higher are exempt from the above requirements for
46 vertical change for the façades that are less than 200 feet.
47 One roof edge, or parapet line change must be provided for
48 every 200 linear feet of the façade length.

49

- 1 iii. Roof design standards. Roofs must meet the following
- 2 requirements:
- 3
- 4 a) When parapets are used, the average height of such
- 5 parapets must not exceed 20 percent of the height of the
- 6 supporting wall, with exception of the parapets used to
- 7 screen mechanical equipment. Parapets used to screen
- 8 mechanical equipment must be no less than the maximum
- 9 height of the equipment. The height of parapets shall not, at
- 10 any point, exceed one-third (1/3) the height of the supporting
- 11 wall.
- 12
- 13 b) When a flat roof is screened with a parapet wall or mansard
- 14 roof at any façade, a parapet or mansard roof treatment
- 15 must extend along the remaining façades.
- 16
- 17 c) When sloped roofs are used, the massing and height must
- 18 be in proportion with the height of its supporting walls.
- 19 Sloped roofs must meet the following requirements:
- 20
- 21 i) Sloped roofs that are higher than its supporting walls
- 22 must feature elements that create articulation and
- 23 reduce the massing of the roof. This includes: clear
- 24 story windows, cupolas, dormers, vertical changes,
- 25 or additional complementary colors to the color of
- 26 the roof.
- 27
- 28 ii) The color(s) of a sloped roof must complement the
- 29 color(s) of the façades.
- 30
- 31 iv. Prohibited roof types and materials. The following roof types and
- 32 roof materials are prohibited:
- 33
- 34 a) Asphalt shingles, except laminated, 320-pound, 30-year
- 35 architectural grade asphalt shingles or better.
- 36
- 37 b) Mansard roofs and canopies, unless they meet the following
- 38 standards:
- 39
- 40 i) Minimum vertical distance of eight (8) feet is required
- 41 for buildings larger than 20,000 square feet.
- 42
- 43 ii) Minimum vertical distance of six (6) feet is required
- 44 for buildings of up to 20,000 square feet of floor area.
- 45
- 46 iii) The roof angle shall not be less than 25 degrees,
- 47 and not greater than 70 degrees.
- 48
- 49 c) Awnings used as a mansard or canopy roofs.
- 50

- 1 j. Awning standards. These standards apply to those awnings associated
- 2 with and attached to a building or structure.
- 3
- 4 i. Mansard awnings, which are those awnings that span 90 percent,
- 5 or more, of a façade length and those which do not provide a
- 6 connection between façades, must adhere to all roof standards of
- 7 LDC section 4.02.27 B.2.i. Roof treatments.
- 8
- 9 ii. All other awnings, which are awnings that constitute less than 90
- 10 percent of a façade length, and those that do not provide a
- 11 connection between façades, must adhere to the following
- 12 standards:
- 13
- 14 a) The portion of the awning with graphics may be backlit,
- 15 provided the illuminated portion of the awning with graphics
- 16 does not exceed size limitations and the other sign
- 17 standards of LDC sections 5.06.00, 9.03.00, and 9.04.00.
- 18
- 19 b) The location of awnings must relate to the window and door
- 20 openings, or other ornamental design features.
- 21
- 22 k. Materials and colors.
- 23
- 24 i. Purpose and intent. Exterior building colors and materials
- 25 contribute significantly to the visual impact of buildings on the
- 26 community. The colors and materials must be well designed and
- 27 integrated into a comprehensive design style for the project.
- 28 Intense, deep colors are appropriate for creating a Spanish
- 29 influenced architectural character. Building trims (windowsills, door
- 30 frames, ornamental features, etc.) should be highlighted with a
- 31 different color from that of the building body color. Frame
- 32 Vernacular architectural style reflects less intense, softer color
- 33 shades highlighting architectural details in bright white.
- 34
- 35 ii. Exterior building colors.
- 36
- 37 a) The use of color materials or finish paint above level 14
- 38 saturation (chroma) or below lightness level three (3) on the
- 39 Collier County Architectural Color Charts is limited to no
- 40 more than 50 percent of a façade or the total roof area.
- 41
- 42 b) The use of naturally occurring materials are permissible,
- 43 such as marble, granite, and slate and the following man-
- 44 made materials: silver unpainted metal roofs, and
- 45 composite wood and decking materials.
- 46
- 47 iii. Exterior building materials (excluding roofs). The following building
- 48 finish materials are limited to no more than 50 percent of the façade
- 49 area:
- 50

- 1 a) Corrugated, or metal panels.
- 2
- 3 b) Smooth concrete block.
- 4
- 5 3. Design Standards for Specific Building Uses. Certain uses may be established,
- 6 constructed, continued, and/or expanded provided they meet certain mitigating
- 7 standards specific to their design and/or operation. These conditions ensure
- 8 compatibility between land uses and building types and minimize adverse impacts
- 9 to surrounding properties.
- 10
- 11 a. Self-storage buildings. Self-storage buildings are subject to all of the
- 12 applicable provisions of this section with the following exceptions and
- 13 additions:
- 14
- 15 i. Overhead doors. Overhead doors are permitted on the primary
- 16 façade of self-storage buildings within the IUAOD.
- 17
- 18 ii. Screen walls. When a wall is proposed to screen the facility, it must
- 19 be constructed of material similar and complementary to the
- 20 primary building material and architecture. Long expanse of wall
- 21 surface shall be broken into sections no longer than 50 feet and
- 22 designed to avoid monotony by use of architectural elements such
- 23 as pillars.
- 24
- 25 iii. Single-story self-storage buildings. LDC section 4.02.27 B.2.b.
- 26 Primary façade design features can be replaced with one of the
- 27 following two options:
- 28
- 29 a) Option 1.
- 30
- 31 i) A minimum of 20 percent of the primary façade area
- 32 must be glazed; and
- 33
- 34 ii) A covered public entry with a minimum roof area of
- 35 80 square feet and no dimension less than eight (8)
- 36 feet, or a covered walkway at least six (6) feet wide
- 37 with a total length measuring no less than 60 percent
- 38 of the length of the façade.
- 39
- 40 b) Option 2. If the project design incorporates a screen wall
- 41 around the perimeter of the self-storage facility, the following
- 42 standards apply:
- 43
- 44 i) Architecturally treated, six (6)-foot high, screen wall
- 45 is required to screen the facility.
- 46
- 47 ii) The roof slope for the buildings is a minimum of 4:12
- 48 ratio for double slopes, and 3:12 ratio for single
- 49 slope.
- 50

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- c) In the case that none of the above options are met, then LDC section 4.02.27 B.2.b. primary façade design features must be met.
- b. All facilities with fuel pumps. The provisions of LDC section 5.05.05 Facilities with fuel pumps shall be applicable within the IUAOD with the following exceptions:
- i. LDC section 5.05.05 C. shall apply except the architectural requirements of LDC section 5.05.08 are replaced and superseded by LDC section 4.02.27.
 - ii. LDC section 5.05.05 C.1.b.iv.b shall not limit eave fascia canopy colors to a single color.
 - iii. LDC section 5.05.05 D. Supplemental standards for facilities with fuel pumps within 250 feet of residential property.
 - iv. LDC section 5.05.05 E. The following landscape requirements are in addition to the requirements of LDC section 4.02.27 B.4 Buffer and Landscaping Requirements.
- c. Facilities with fuel pumps within 250 feet of residential property. Facilities with fuel pumps shall be subject to the following standards when located within 250 feet of residentially zoned or residentially developed properties, hereinafter referred to as "residential property," as measured from the property line of the facility with fuel pumps to the residential property line. However, a facility with fuel pumps shall be exempt from LDC section 4.02.27 B.3.b when it is separated from residential property by a minimum of 100 feet of designated preserve area that is 80 percent opaque and at least 12 feet in height within one year, or a minimum four (4)-lane arterial or collector right-of-way.
- i. Setbacks. All structures shall provide a minimum 50-foot front, side, and rear yard setback from residential property line(s).
 - ii. Landscaping and masonry wall standards. Facility with fuel pumps sites shall be separated from residential property by a 15-foot-wide Type D landscape buffer with an architecturally designed masonry wall. The masonry wall shall be eight (8) feet in height, centered within the landscape buffer, and shall use materials similar in color, pattern, and texture to those utilized for the principal structure.
 - iii. Music, amplified sound, and delivery time standards.
 - a) Music and amplified sound shall not be played in the fuel pump area between the hours of 10:00 p.m. and 7:00 a.m.
 - b) Music and amplified sound shall not be audible from the residential property line.

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- c) Deliveries shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. in the area located between the neighboring residential property and the facility with fuel pumps.
 - iv. Lighting standards.
 - a) All light fixtures shall be directed away from neighboring properties.
 - b) On-site light fixtures within 50 feet of residential property shall not exceed a height greater than 15 feet above finished grade. Light fixtures elsewhere shall not exceed a height greater than 20 feet above finished grade.
 - c) All light fixtures shall be full cutoff with flat lenses.
 - d) On-site luminaries shall be of low level, indirect diffuse type, and shall be between a minimum average of one and a half (1.5) foot-candles and a maximum average of five (5) foot-candles.
 - e) Illumination shall not exceed:
 - i) One-half (0.5) foot-candles at all residential property lines.
 - ii) One-fifth (0.2) foot-candles at 10 feet beyond all residential property lines.
 - f) Lighting located underneath the canopy shall be recessed, of indirect diffuse type, and designed to provide light only to the pump island areas located underneath said canopy.
 - g) Under canopy luminance shall be between a minimum average of five (5) foot-candles and a maximum average of 20 foot-candles.
 - v. Dumpster enclosures. At a minimum, the dumpster enclosure shall be located at a distance from residential property equal to the setback of the principal structure from residential property.
 - vi. See LDC section 5.05.11 for car washes, vacuums, and compressed air stations abutting residential zoning districts.
 - vii. Landscaping adjacent to all other property lines:
 - a) Landscaping adjacent to all other property lines shall comply with the requirements in LDC section 4.02.27 B.4.

1
2 **b)** Curbing shall be installed and constructed, consistent with
3 minimum code requirements, between all paved areas and
4 landscape areas.

5
6 **d.** Hotel/motel.

7
8 **i.** Applicability. All standards of LDC section 4.02.27 are applicable
9 with the following exceptions.

10
11 **ii.** Design features. LDC section 4.02.27 B.2.b. Primary façade design
12 features can be replaced as follows:

13
14 **a)** The design of the primary façades must include windows
15 and other glazed openings covering at least 20 percent of
16 the primary façade area, and one of the following design
17 features:

18
19 **i)** Projected, or recessed, covered public entry
20 providing a minimum horizontal dimension of eight
21 (8) feet, and a minimum area of 100 square feet, or

22
23 **ii)** Covered walkway or arcade (excluding canvas type)
24 that is attached to the building or located no more
25 than 12 feet from the building. The structure must be
26 permanent, and its design must relate to the
27 principal structure. The minimum width shall be six
28 (6) feet, with a total length measuring 60 percent of
29 the length of the associated façade.

30
31 **b)** For buildings located 200 feet or more from the street right-
32 of-way, the projected or recessed entry and covered
33 walkway or arcade, required by the above LDC section
34 4.02.27 B.3.d.ii.a), can be located on any façade.

35
36 **e.** Outside play structures. No portion of any play structure, located between
37 the front building line and any adjacent right-of-way, may exceed a height
38 of 12 feet as measured from existing ground elevation.

39
40 **4.** Buffer and landscaping requirements.

41
42 **a.** Applicability.

43
44 **i.** The provisions of LDC section 4.06.00 Landscaping, Buffering and
45 Vegetation Retention shall be applicable to non-residential
46 development within the IUAOD, except for the following regulations
47 which replace:

48
49 **a)** LDC section 4.06.02 Buffer Requirements.
50

- 1 b) LDC section 4.06.03 A. Landscaping Requirements for
- 2 Vehicular Use Areas and Rights-of-Way Applicability.
- 3
- 4 c) LDC section 4.06.03 B. Standards for Landscaping in
- 5 Vehicular Use Areas.
- 6
- 7 d) LDC section 4.06.05 C. Building Foundation Plantings.
- 8
- 9 ii. Applicability of buffer requirements. The buffering and screening
- 10 requirements identified in Table 1 below shall apply to all new non-
- 11 residential development. Existing landscaping which does not
- 12 comply with the provisions of this section shall be brought into
- 13 conformity to the maximum extent possible when: the vehicular use
- 14 area is altered or expanded (except for restriping of lots/drives), the
- 15 building square footage is changed, or building improvements
- 16 exceed 50 percent of the value of the structure.
- 17
- 18 iii. Developments shall be buffered for the protection of property
- 19 owners from land uses as required pursuant to this section 4.02.27
- 20 B.4. Buffers shall not inhibit pedestrian circulation between adjacent
- 21 commercial land uses. Buffers shall be installed during construction
- 22 as follows and in accordance with LDC section 4.06.05 General
- 23 Landscaping Requirements:
- 24
- 25 a) To separate commercial, community use, industrial and
- 26 public use developments and adjacent expressways,
- 27 arterials, and railroad rights-of-way, except where such
- 28 expressway, arterial, or railroad right-of-way abuts a golf
- 29 course.
- 30
- 31 b) To separate commercial, community use, industrial and
- 32 public use developments from residential developments.
- 33
- 34 c) To delineate and create some limited separation amongst
- 35 non-residential uses.
- 36
- 37 iv. Separation shall be created with a landscape buffer strip which is
- 38 designed and constructed in compliance with the provisions of LDC
- 39 section 4.02.27 B.4 and LDC section 4.06.00, as applicable. Such
- 40 buffer strip(s) shall be shown and designated on the final plat as a
- 41 tract of easement and shall not be located within any public or
- 42 private right-of-way. The ability to locate buffer(s) within a platted or
- 43 recorded easement shall be determined pursuant to the provisions
- 44 of LDC section 4.06.00. Buffers adjacent to protected/preserve
- 45 areas shall conform to the requirements established by the agency
- 46 requiring such buffer.
- 47
- 48 v. Landscape buffers, when required by the Land Development Code,
- 49 or other county regulation shall be in addition to the required right-
- 50 of-way width and shall be designated as a separate buffer tract or

1 easement on the final subdivision plat. The minimum buffer width
2 shall be in conformance with this section 4.02.27 B.4. In no case
3 shall the required buffer be constructed to reduce cross-corner or
4 stopping sight distances, or safe pedestrian passage. All buffer
5 tracts or easements shall be owned and maintained by a property
6 owner's association or other similar entity and shall be so dedicated
7 on the final subdivision plat.

8
9 b. Methods of determining buffers. Where a property adjacent to the proposed
10 use is: (1) undeveloped, (2) undeveloped but permitted without the required
11 buffering and screening required pursuant to this Code, or (3) developed
12 without the buffering and screening required pursuant to this Code, the
13 proposed use shall be required to install the more opaque buffer as
14 provided for in Table 1. Where property adjacent to the proposed use has
15 provided the more opaque buffer as provided for in Table 1, the proposed
16 use shall install a type A buffer.

17
18 i. Where the incorporation of existing native vegetation in landscape
19 buffers is determined as being equivalent to or in excess of the
20 intent of this Code, the planning services director may waive the
21 planting requirements of this section.

22
23 ii. The buffering and screening provisions of this Code shall be
24 applicable at the time of planned unit development (PUD),
25 preliminary subdivision plat (PSP), or site development plan (SDP)
26 review, with the installation of the buffering and screening required
27 pursuant to LDC section 4.06.05 H. If the applicant chooses to
28 forego the optional PSP process, then signed and sealed landscape
29 plans will be required on the final subdivision plat. Where a more
30 intensive land use is developed contiguous to a property within a
31 similar zoning district, the planning services director may require
32 buffering and screening the same as for the higher intensity uses
33 between those uses.

34
35 iii. Landscape buffering and screening standards within any planned
36 unit development shall conform to the minimum buffering and
37 screening standards of the zoning district to which it most closely
38 resembles. The planning services director may approve alternative
39 landscape buffering and screening standards when such alternative
40 standards have been determined by use of professional acceptable
41 standards to be equivalent to or in excess of the intent of this Code.

42
43 c. Types of buffers. Within a required buffer strip, the following types of buffers
44 shall be used based on the matrix in Table 1. There are four (4) possible
45 buffer types, as described below. Each buffer type includes a minimum
46 width and a minimum number of trees and shrubs per 100- linear-foot
47 segment of boundary. A hedge shall at a minimum consist of three (3)
48 gallon plants, two (2) feet in height spaced a minimum of three (3) feet on
49 center at planting unless otherwise indicated within the specific section of
50 the LDC. The buffer types are:

1

Buffer Types (per 100 linear feet)				
	<u>A*</u>	<u>B</u>	<u>C</u>	<u>D</u>
<u>Minimum width (feet)</u>	<u>10 with trees or 5 with shrubs</u>	<u>15</u>	<u>15</u>	<u>15</u>
<u>Minimum number of trees</u>	<u>3 or 0</u>	<u>4</u>	<u>4 with a hedge, or 3 with a wall</u>	<u>6 or 4 with a wall</u>
<u>Minimum number of shrubs</u>	<u>0 or 18</u>	<u>18 (36 inches tall)</u>	<u>60-inch tall hedge, or 4 shrubs (60 inches tall) with a wall</u>	<u>36-inch tall hedge or 18 shrubs (36 inches tall) with a wall</u>

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*An A Type Buffer can be 10 feet when comprised of trees or five (5) feet when comprised of shrubs.

i. Type A Buffer.

a) Minimum Width: 10 feet or five (5) feet.

b) Minimum number of trees (per 100 linear feet): Three (3) or zero (0).

c) Minimum number of shrubs (per 100 linear feet): Zero (0) or 18.

ii. Type B Buffer.

a) Minimum Width: 15 feet.

b) Minimum number of trees (per 100 linear feet): Four (4).

c) Minimum number of shrubs (per 100 linear feet): 18.

iii. Type C Buffer.

a) Minimum Width: Fifteen feet.

b) Minimum number of trees (per 100 linear feet): Four (4) with a hedge, or three (3) with a wall or a fence.

c) Minimum number of shrubs (per 100 linear feet): 60-inch tall hedge or four (4) shrubs (60 inches high) with a wall or a fence.

i) Trees shall be spaced no more than 25 feet on center.

- 1 iv. Type D Buffer.
- 2
- 3 a) Minimum Width: 15 feet.
- 4
- 5 b) Minimum number of trees (per 100 linear feet): six (6) or four
- 6 (4) with a wall.
- 7
- 8 c) Minimum number of shrubs (per 100 linear feet): a 36-inch-
- 9 tall hedge or 18 shrubs (36 inches tall) with a wall or a fence.
- 10
- 11 i) Trees shall be spaced no more than 30 feet on
- 12 center, in the landscape buffer abutting a right-of-
- 13 way or primary access road internal to a commercial
- 14 development.
- 15
- 16 ii) A continuous three (3)-gallon single row hedge
- 17 spaced three (3) feet on center of at least 24 inches
- 18 in height at the time of planting and attaining a
- 19 minimum of 30 inches in height in one year shall be
- 20 required in the landscape buffer where vehicular
- 21 areas are adjacent to the road right-of-way or where
- 22 deemed appropriate, pursuant to LDC section
- 23 4.06.05 D.4. Shrubs and Hedges.
- 24
- 25 iii) Where a fence or wall fronts an arterial or collector
- 26 road as described by the transportation circulation
- 27 element of the growth management plan, a
- 28 continuous three (3)-gallon single row hedge a
- 29 minimum of 24 inches in height spaced three (3) feet
- 30 on center, shall be planted along the right-of-way
- 31 side of the fence. The required trees shall be located
- 32 on the side of the fence facing the right-of-way.
- 33 Every effort shall be made to undulate the wall and
- 34 landscaping design incorporating trees, shrubs, and
- 35 ground cover into the design. It is not the intent of
- 36 this requirement to obscure from view decorative
- 37 elements such as emblems, tile, molding and
- 38 wrought iron.
- 39
- 40 iv) The remaining area of the required landscape buffer
- 41 must contain only existing native vegetation, grass,
- 42 ground cover, or other landscape treatment. Every
- 43 effort should be made to preserve, retain, and
- 44 incorporate the existing native vegetation in these
- 45 areas.
- 46
- 47 v) A signage visibility triangle may be created for non-
- 48 residential on-premises signs located as shown in
- 49 Figure 4.06.02.C-2 for Type D buffers that are 20
- 50 feet or greater in width. The line of visibility shall be

no greater than 30 linear feet along road right-of-way line. Within the visibility triangle, shrubs and hedges shall be required pursuant to LDC section 4.06.05.D.4, except that hedges, shrubs, or ground cover located within the signage visibility triangle shall be maintained at a maximum plant height of 24 inches. Within the visibility triangle, no more than one required canopy tree may be exempted from the Type D buffer requirements.

v. The table below describes the required buffer type when a proposed use is abutting a different existing use or, in the absence of an existing use, the existing zoning.

Table 1

Table 1 information: The letter listed under "Adjacent Properties Zoning District and/or Property Use" shall be the landscape buffer and screening alternative required. Where a conflict exists between the buffer required by zoning district or property use, the more stringent buffer shall be required. The "-" symbol shall represent that no buffer is required. The PUD district buffer, due to a variety of differing land uses, is indicated by the "*" symbol, and shall be based on the landscape buffer and screening of the district or property use with the most similar types, densities and intensities of use. Where a conflict exists between the buffering requirements and the yard requirements of this Code, the yard requirements of the subject zoning district shall apply.

	<u>Adjacent Properties Zoning District and/or Property Use</u>													
<u>Subject Property's District/Use</u>	<u>Agriculture (A¹)</u>	<u>Residential (E, RSF) single-family</u>	<u>Residential (RMF-6, RMF-12, RMF-16) multifamily</u>	<u>Residential tourist (RT)</u>	<u>Village residential (VR)</u>	<u>Mobile home (MH)</u>	<u>Commercial³ (C-1, C-2, C-3, C-4, C-5); Business Park</u>	<u>Industrial²</u>	<u>Public use (P), Community Facility (CF), Golf Course</u>	<u>Planned Unit Development</u>	<u>Vehicular rights-of-way</u>	<u>Golf course maintenance building</u>	<u>Golf Course</u>	<u>Automobile Service Station</u>
<u>Agriculture (A¹)</u>	-	B	B	B	B	B	A	A	A	A	D	A	-	A
<u>Commercial³ (C-1, C-2, C-3, C-4, C-5); Business Park (BP)</u>	A	C	C	C	C	C	A	A	A	*	D	B	B	B
<u>Industrial² (I)</u>	A	C	C	C	C	C	A	A ²	A	*	D	C	C	C

DRAFT

Text underlined is new text to be added

~~Text strikethrough is current text to be deleted~~

<u>Public use (P), community facility (CF), Golf Course Clubhouse, Amenity Center</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>*</u>	<u>D</u>	<u>B</u>	<u>-</u>	<u>C</u>
<u>Planned unit development (PUD)</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>*</u>	<u>D</u>	<u>*</u>	<u>*</u>	<u>*</u>
<u>Vehicular rights-of-way</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>-</u>	<u>D</u>	<u>-</u>	<u>D</u>
<u>Golf course maintenance building</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>B</u>	<u>B</u>	<u>D</u>	<u>-</u>	<u>B</u>	<u>C</u>
<u>Golf course</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>C</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>B</u>	<u>-</u>	<u>C</u>
<u>Automobile service station⁴</u>	<u>A</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>A</u>	<u>C</u>	<u>*</u>	<u>D</u>	<u>C</u>	<u>C</u>	<u>-</u>

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¹ Buffering in agriculture (A) districts shall be applicable at the time of site development plan (SDP) submittal.

² Industrial (I) zoned property, where abutting industrial (I) zoned property, shall be required to install a minimum five (5)-foot-wide type A landscape buffer adjacent to the side and rear property lines. The buffer area shall not be used for water management. In addition, trees may be reduced to 50 feet on center along rear and side perimeter buffers only. This reduction in buffer width shall not apply to buffers adjacent to vehicular rights-of-way or nonindustrial zoned property. Abutting industrial zoned properties may remove a side or rear buffer along the shared property line in accordance with LDC section 4.02.27 B.4.c.viii. This exception to buffers shall not apply to buffers abutting vehicular rights-of-way.

³ Buffer areas between commercial outparcels located within a shopping center, Business Park, or similar commercial development may have a shared buffer 15 feet wide with each abutting property contributing seven and a half (7.5) feet. The outparcels may remove a side or rear buffer along the shared property line between comparable uses within the same zoning designation in accordance with LDC section 4.02.27.B.4.c.viii. These provisions shall not apply to right-of-way buffers.

⁴ Refer to LDC section 4.02.27 B.3.b and c. for automobile service station landscape requirements.

vi. Business Parks. A 15-foot-wide landscape buffer shall be provided around the boundary of the business park when abutting residential zoning district or uses. A six (6)-foot tall opaque architecturally finished masonry wall, or berm, or combination thereof shall be required, and one row of trees spaced no more than 30 feet on

1 center shall be located on the outside of the wall, berm, or berm/wall
2 combination.

3
4 vii. Buffering and screening standards. In accordance with the
5 provisions of this Code, loading areas or docks, outdoor storage,
6 trash collection, mechanical equipment, trash compaction,
7 vehicular storage excluding new and used cars, recycling, roof top
8 equipment and other service function areas shall be fully screened
9 and out of view from adjacent properties at ground view level and
10 in view of roadway corridors.

11
12 viii. Joint Project Plan. Abutting platted parcels may submit a joint
13 project plan to remove one side or rear landscape buffer along a
14 shared property line in order to share parking or other infrastructure
15 facilities, provided the following criteria are met:

16
17 a) A joint project plan shall include all necessary information to
18 ensure that the combined site meets all of the design
19 requirements of this Code and shall be submitted as either
20 a single SDP or SIP consisting of both parcels, or separate
21 SDPs or SIPs for each parcel that are submitted
22 concurrently. Joint project plans require a shared
23 maintenance and access easement that is recorded in the
24 public records.

25
26 b) The following are eligible for a joint project plan. One
27 outparcel shall be no greater than three (3) acres and the
28 combined parcel acreage shall not exceed five (5) acres:

29
30 i) Abutting commercial outparcels located within a
31 shopping center.

32
33 ii) Abutting commercial parcels in a Business Park.

34
35 iii) Abutting commercial parcels with the same zoning
36 designation.

37
38 iv) Abutting industrial parcels with the same zoning
39 designation.

40
41 c) The buffer to be eliminated shall not be a perimeter buffer
42 or adjacent to any internal main access drives.

43
44 d. Standards for retention and detention areas in buffer yards. Unless
45 otherwise noted, all standards outlined in section 4.06.05 C apply. Trees
46 and shrubs must be installed at the height specified in this section.

47
48 Water management systems, which must include retention and detention
49 areas, swales, and subsurface installations, are permitted within a required

1 buffer provided they are consistent with accepted engineering and
2 landscaping practice and the following criteria:

3
4 i. Water management systems must not exceed 50 percent of the
5 square footage of any required side, rear, or front yard landscape
6 buffer.

7
8 ii. Water management systems must not exceed, at any location
9 within the required side, rear, or front yard landscape buffer, 70
10 percent of the required buffer width. A minimum five (5)-foot wide
11 10:1 level planting area shall be maintained where trees and
12 hedges are required.

13
14 iii. Exceptions to these standards may be granted on a case-by-case
15 basis, evaluated on the following criteria:

16
17 a) Water management systems, in the form of dry retention,
18 may utilize an area greater than 50 percent of the buffer
19 when existing native vegetation is retained at natural grade.

20
21 b) For lots of record 10,000 square feet or less in size, water
22 management areas may utilize an area greater than 50
23 percent of the required side and rear yard buffers. A level
24 planting area of at least three feet in width must be provided
25 in these buffers.

26
27 iv. Sidewalks and other impervious areas must not occupy any part of
28 a required Alternative A, B, C, or D type buffer, except when:

29
30 a) Driveways and sidewalks are constructed perpendicular to
31 the buffer and provide direct access to the parcel.

32
33 b) Parallel meandering sidewalks occupy the buffer, and its
34 width is increased by the equivalent sidewalk width.

35
36 c) A required 15—20-foot-wide buffer is reduced to a minimum
37 of 10 feet wide and is increased by the five-to-ten-foot
38 equivalent width elsewhere along that buffer.

39
40 e. Vehicular use areas.

41
42 i. Applicability. The provisions of this section shall apply to all new off-
43 street parking or other vehicular use areas.

44
45 a) Existing landscaping which does not comply with the
46 provisions of this Code shall be brought into conformity to
47 the maximum extent possible when: the vehicular use area
48 is altered or expanded except for restriping of lots/drives,
49 the building square footage is changed, or the building

- 1 improvements exceed 50 percent of the value of the
- 2 structure.
- 3
- 4 b) These provisions shall apply to all non-residential
- 5 development within the IUAOD.
- 6
- 7 c) Any appeal from an administrative determination relating to
- 8 these regulations shall be to the board of zoning appeals or
- 9 equivalent.
- 10
- 11 d) Prior to issuing occupancy permits for new construction,
- 12 implementation, and completion of landscaping
- 13 requirements in off-street vehicular facilities shall be
- 14 required.
- 15
- 16 e) Where a conflict exists between the strict application of this
- 17 section and the requirements for the number of off-street
- 18 parking spaces or area of off-street loading facilities, the
- 19 requirements of this section shall apply.
- 20
- 21 ii. Standards for landscaping in Vehicular Use Areas. For projects
- 22 subject to architectural design standards, see LDC section 4.02.27
- 23 B.2. for related provisions.
- 24
- 25 a) Landscaping required in interior of vehicular use areas. At
- 26 least ten percent of the amount of vehicular use area onsite
- 27 shall be devoted to interior landscaping areas. The width of
- 28 all curbing shall be excluded from the required landscaped
- 29 areas. All interior landscaped areas not dedicated to trees
- 30 or to preservation of existing vegetation shall be landscaped
- 31 with grass, ground cover, shrubs, or other landscape
- 32 treatment. One tree shall be provided for every 250 square
- 33 feet of the required interior landscaped area. Interior
- 34 landscaped areas shall be a minimum of five feet in width
- 35 and 150 square feet in area. The amount of required interior
- 36 landscape area provided shall be shown on all preliminary
- 37 and final landscape plans.
- 38
- 39 b) All rows of parking spaces shall be bordered on each end
- 40 by curbed terminal landscape islands. Each terminal
- 41 landscape island shall measure inside the curb not less than
- 42 eight feet in width and extend the entire length of the single
- 43 or double row of parking spaces bordered by the terminal
- 44 landscape island. Type D or Type F curb per current FDOT
- 45 Design Standards is required around all terminal landscape
- 46 islands. A terminal landscape island for a single row of
- 47 parking spaces shall be landscaped with at least one
- 48 canopy tree. A terminal landscape island for a double row of
- 49 parking spaces shall contain not less than two canopy trees.
- 50 The remainder of the terminal landscape island shall be

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landscaped with sod, ground covers or shrubs or a combination of any of the above.

c) Interior landscaping areas shall be provided within the interior of all vehicular use areas. Landscaped areas, wall structures, and walks shall require protection from vehicular encroachment through appropriate wheel stops or curbs or other structures.

d) Required landscape islands and perimeter planting beds shall be graded to provide positive drainage. Curbing around landscape areas shall include curb cuts where necessary so as not to inhibit positive drainage.

e) Green space required in shopping centers and freestanding retail establishments with a floor area greater than 40,000 square feet. An area that is at least seven percent of the size of the vehicular use areas must be developed as green space within the front yard(s) or courtyards of shopping centers and retail establishments and must be in addition to the building perimeter planting area requirements. The courtyards must only be located in areas that are likely to be used by pedestrians visiting the shopping center and retail establishment. The seven percent green space area must be in addition to other landscaping requirements of this division, may be used to meet the open space requirements (section 4.02.01), and must be labeled "Green Space" on all subdivision and site plans (Refer to section 4.02.27 A.). The interior landscape requirements of these projects must be reduced to an amount equal to five percent (5 percent) of the vehicular use area on site. Green space must be considered areas designed for environmental, scenic, or noncommercial recreation purposes and must be pedestrian-friendly and aesthetically appealing. Green space may only include the following: lawns, mulch, decorative plantings, nonprohibited exotic trees, walkways within the interior of the green space area not used for shopping, fountains, manmade watercourses (but not water retention areas), wooded areas, park benches, site lighting, sculptures, gazebos, and any other similar items that the planning service director deems appropriate. Green space must include: walkways within the interior of the green space area not used for shopping, a minimum of one (1) foot of park bench per 1,000 square feet of building area. The green space area must use existing trees where possible and landscaping credits will be allowed as governed by table 4.06.04 B. The green space areas must be located in areas that are in close proximity to the retail shopping area. Benches may also be located in interior landscaped areas and 75 percent of the benches may be located adjacent to

1 the building envelope along paths, walkways and within
2 arcades or malls.

3
4 f) Required landscaping for buildings over 20,000 square feet
5 shall be pursuant to LDC section 4.02.27 A. The following
6 requirements will be counted toward the required
7 greenspace and open space requirements of this Chapter
8 of this Code.

9
10 i) Trees in vehicular use areas must be a minimum of
11 14- to 16-foot height with a six- to eight-(6-8) foot
12 spread and a three- to four- (3-4) inch caliper and
13 must have a clear trunk area to a height of six feet.

14
15 ii) The first row of landscape islands located closest to
16 the building front and sides must be landscaped with
17 trees, palms, shrubs, and groundcovers and must
18 have a clear trunk area to a height of seven (7) feet.

19
20 f. Building foundation plantings.

21
22 i. All non-residential buildings shall provide building foundation
23 plantings in the amount of 10 percent of the overall building footprint
24 area and a minimum planting width of five (5) feet.

25
26 ii. Foundation planting areas shall be located adjacent to building
27 entrance(s), and along primary façades.

28
29 iii. Building foundation plantings shall consist of shrubs, ground cover,
30 raised planter boxes, and/or ornamental grass plantings.

31
32 iv. A maximum of 50 percent of the required foundation planting may
33 be located in perimeter buffers.

34
35 v. Water management shall not occur in foundation planting areas.

36
37 5. Off-street parking.

38
39 a. Purpose and Intent. The following standards are intended to guide the
40 development of off-street parking, loading and transportation access within
41 the IUAOD to recognize the higher levels of bicycle and pedestrian activity
42 in Immokalee, to encourage the continued use of alternative modes of
43 transportation, and to provide safe and functional circulation patterns and
44 connectivity for off-street parking.

45
46 b. Applicability. In addition to LDC section 4.05.00 Off-street Parking and
47 Loading, the following regulations shall apply to all non-residential
48 development within the IUAOD. If any of the provisions noted herein
49 conflict with other regulations within LDC section 4.05.00, the following
50 shall apply.

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- i. The provisions of this section shall apply to all new off-street parking or other vehicular use areas.
 - ii. Existing landscaping which does not comply with the provisions of this Code shall be brought into conformity to the maximum extent possible when: the vehicular use area is altered or expanded except for restriping of lots/drives, the building square footage is changed or building improvements exceed 50 percent of the value of the structure.
 - iii. Prior to issuing occupancy permits for new construction, implementation, and completion of landscaping requirements in off-street vehicular facilities shall be required.
 - c. Shared Parking. Shared parking arrangements between adjoining developments shall be encouraged.
 - d. Parking Reduction. Off-street parking requirements may be reduced by up to 25 percent through the substitution of one required parking space by providing and maintaining a bicycle rack able to hold four bicycles throughout the IUAOD.
 - e. Bicycle parking.
 - i. Applicability. Due to the significance of pedestrian and bicycle modes of travel within the IUAOD, bicycle parking spaces shall be required for safe and secure parking of bicycles. These regulations replace LDC section 4.05.08 Bicycle Parking Requirements. If any of the provisions noted herein conflict with other regulations within the Land Development Code, the following shall apply.
 - ii. Number. Provisions for the safe and secure parking of bicycles shall be furnished at a ratio of five (5 percent) percent of requirements for motor vehicles as set forth in section 4.05.04. but not to exceed a maximum of 20 total bicycle parking spaces. A minimum of two (2) bicycle parking spaces shall be provided.
 - iii. Design.
 - a) A bicycle parking facility suited to a single bicycle ("parking space") shall be of a stand-alone inverted-U design measuring a minimum of 36 inches high and 18 inches wide [of one and one-half (1½) inch Schedule 40 pipe, ASTM F 1083] bent in one (1) piece ("bike rack") mounted securely to the ground [by a ¾-inch thick steel base plate, ASTM A 36] so as to secure the bicycle frame and both wheels.
 - b) Each parking space shall have a minimum of three (3) feet of clearance on all sides of the bike rack.

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- c) Bicycle spaces shall be surfaced with the same or similar materials approved for the motor vehicle parking lot, lighted and located no greater than 100 feet from the main building entrance.
 - d) Extraordinary bicycle parking designs which depart from the bike rack standard but are consistent with the development's design theme shall be considered by the County architect. Bike racks which function without securing the bicycle frame, require the use of a bicycle kick stand, or which may be freely reoriented are not allowable.

6. Fencing and Walls, Excluding Sound Walls.

- a. Applicability. The provisions of LDC section 5.03.02 Fence and Walls, Excluding Sound Walls, are applicable within the IUAOD with the following exceptions:
 - i. LDC section 5.03.02.G Supplemental Standards
 - b. Supplemental standards.
 - i. All fences shall have their finished side facing outward.
 - ii. Fences on sites with structures which are subject to section 5.05.08 Architectural & Site Design Standards must comply with the following additional standards:
 - a) Chain link (including wire mesh) and wood fences are permitted forward of the primary façade.
 - b) Fences forward of the primary façade, including chain link, wire mesh, and wood are permitted under the following conditions:
 - i) Fences shall not exceed 4 feet in height.
 - ii) The fence provides either an open view at a minimum of 25 percent of its length or provides variation in its height for a minimum of 15 percent of its length with a deviation of at least 12 inches.
 - iii) The fence style must complement building style through material, color, and design.
 - iii. Use of chain link or wire mesh fencing (the requirements of this section are not applicable to single family dwellings). If located adjacent to an arterial or collector road in the urban coastal area,

1 the fence shall be placed no closer than three feet to the edge of
2 the right-of-way or property line.

3
4 iv. Barbed wire is only authorized within agricultural, commercial,
5 industrial districts and on fences surrounding public utility ancillary
6 systems in all districts. Razor or concertina wire is not permitted
7 except in the case of an institution whose purpose is to incarcerate
8 individuals, i.e., a jail or penitentiary, or by application and decision
9 by the County Manager or designee.

10
11 7. Outdoor lighting requirements.

12
13 a. Applicability. In addition to LDC section 4.02.08 Outside Lighting
14 Requirements, the following regulations shall apply to all non-residential
15 development within the IUAOD. If any of the provisions noted herein
16 conflict with other regulations within LDC section 4.02.08 Outside Lighting
17 Requirements, the following shall apply.

18
19 b. Design.

20
21 i. The design of the actual lighting fixtures shall be consistent with the
22 design of the project (including outparcels) in style, color, materials,
23 and location.

24
25 ii. Lighting shall be designed to comply with the intent of the
26 Illuminating Engineering Society of North America (Dark Skies). All
27 lighting shall be designed to eliminate uplighting.

28
29 iii. Lighting shall be designed to prevent the glare or spillage of light
30 onto adjacent properties and to prevent hazardous interference with
31 automotive and pedestrian traffic. In order to accomplish this, all
32 exterior lighting shall be directional, and use recessed light bulbs,
33 filters or shielding to conceal the source of illumination.

34
35 c. Security Lighting. Lighting for security purposes shall be directed away
36 from and shielded from adjacent properties and rights-of-way. This
37 requirement shall also apply to agricultural uses.

38
39 8. Signage.

40
41 a. Applicability. In addition to LDC section 5.06.00 Sign Regulations and
42 Standards by Land Use Classification, the following regulations shall apply
43 to all businesses within the IUAOD. If any of the provisions noted herein
44 conflict with LDC section 5.06.00 Sign Regulations and Standards by Land
45 Use Classification, the following shall apply.

46
47 b. Murals and Wall Art. Murals are allowed as public art within the IUAOD and
48 subject to the following:

49

- 1 i. Murals are only allowed on commercial, civic, or institutional
- 2 buildings.
- 3
- 4 ii. One mural is allowed per building.
- 5
- 6 iii. Murals are permitted on sections of buildings where there are no
- 7 windows or doors or where the mural will not interfere with the
- 8 building’s architectural details.
- 9
- 10 iv. The mural shall not contain text for the purpose of advertising any
- 11 business or commercial activity.
- 12
- 13 v. The mural cannot be temporary in nature and the building owner
- 14 must commit to maintaining the mural.
- 15
- 16 vi. Review and approval from the CRA Advisory Board is required to
- 17 ensure the mural complies with the conditions above and that the
- 18 artwork complements the design of the building in color, shape, and
- 19 location.
- 20

C. Immokalee Urban Area Mainstreet Overlay Subdistrict (MSOS).

1. Purpose and Intent. The standards described in this section shall apply to all non-residential uses in this overlay subdistrict. Where a conflict may arise between these regulations and LDC section 4.02.27, the subdistrict regulations shall control.

2. Dimensional Standards.

a. Height. Structures shall be no more than 35 feet in height, except that hotel/motel uses shall be no more than 50 feet in height.

b. Setback. The Main Street Overlay Subdistrict contains four (4) design districts as described below, which were created in order to maintain and enhance the urban character of downtown Immokalee and to encourage the desired pattern of development.

i. Main Street Corridor.

a) Main Street Corridor. The Main Street Corridor is for those properties abutting Main Street from Second Street East to Hancock Street or 11th.

b) First Street Corridor. The First Street Corridor extends along First Street from Eustis Avenue to West Main Street and is the connection between the Seminole Casino and the Main Street corridor.

c) Fifteenth Street Corridor. The Fifteenth Street Corridor is for those properties abutting Fifteenth Street from Hancock Street to Immokalee Drive.

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d) Side Streets. The interior streets include all streets running perpendicular and parallel to the Main Street, First Street and Fifteenth Street Corridors within the Main Street Overlay Subdistrict.

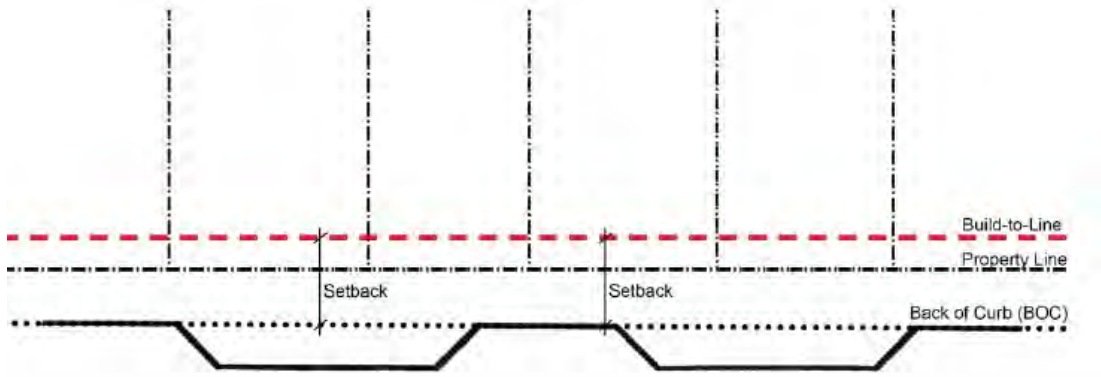
Table 1. Dimensional Requirements in the MSOS

<u>DESIGN DISTRICT</u>	<u>SETBACK FROM THE STREET(FRONT/CORNER)</u>	<u>SIDE YARD SETBACK</u>	<u>REAR YARD SETBACK</u>
<u>MAIN STREET CORRIDOR</u>	<u>0' from property line or 10' maximum from the back of the curb*</u>	<u>Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Illustration 3)</u> <u>Max. = 50% of lot width (both sides combined) (see Illustration 4)</u>	<u>5' or 20' when abutting residential</u>
<u>FIRST STREET CORRIDOR</u>	<u>0' from property line or 8' maximum from the back of the curb*</u>	<u>Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Illustration 3)</u> <u>Max. = 50% of lot width (both sides combined) (see Illustration 4)</u>	<u>5' or 20' when abutting residential</u>
<u>FIFTEENTH STREET CORRIDOR</u>	<u>0' from property line or 25' maximum from the back of the curb*</u>	<u>Per LDC</u>	<u>5' or 20' when abutting residential</u>
<u>INTERIOR STREETS</u>	<u>5' maximum for the first two stories, plus 5' additional setback for buildings over two stories; measured from property line</u>	<u>Per LDC</u>	<u>5' or 20' when abutting residential</u>

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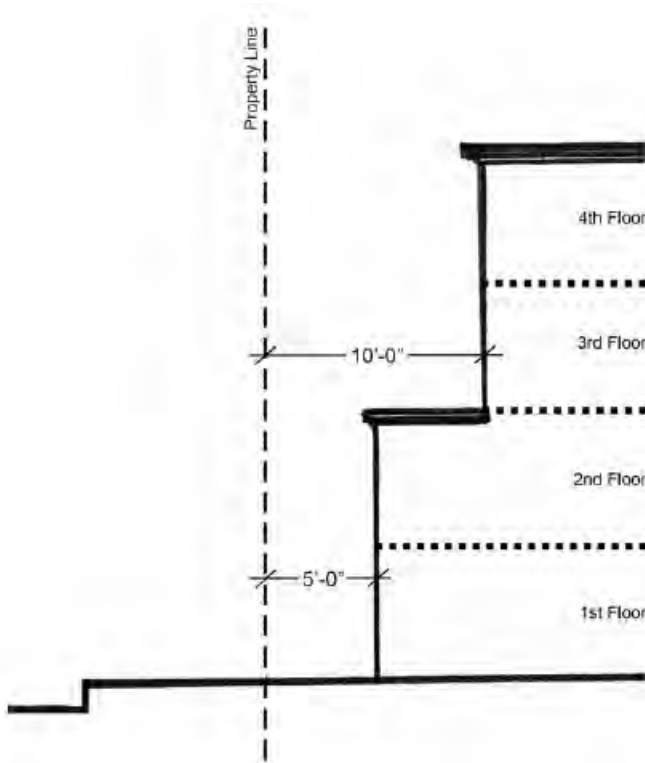
Illustration #1 General Building Setbacks Plan View

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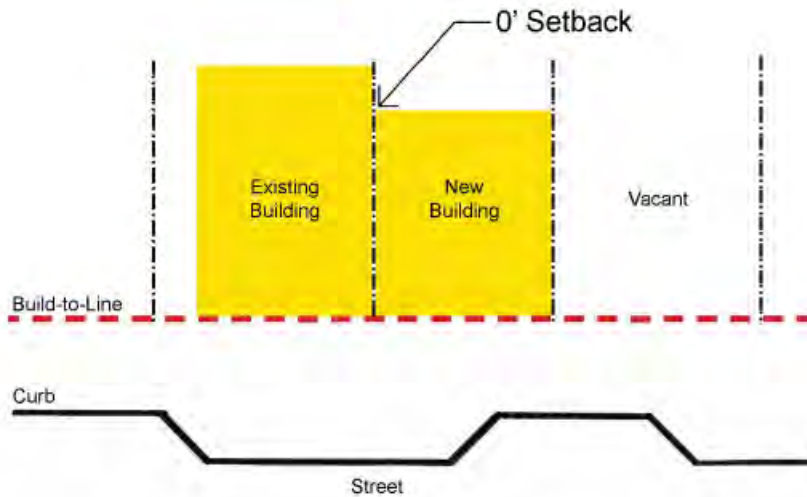
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Illustration #2 Setback requirements along Side Streets



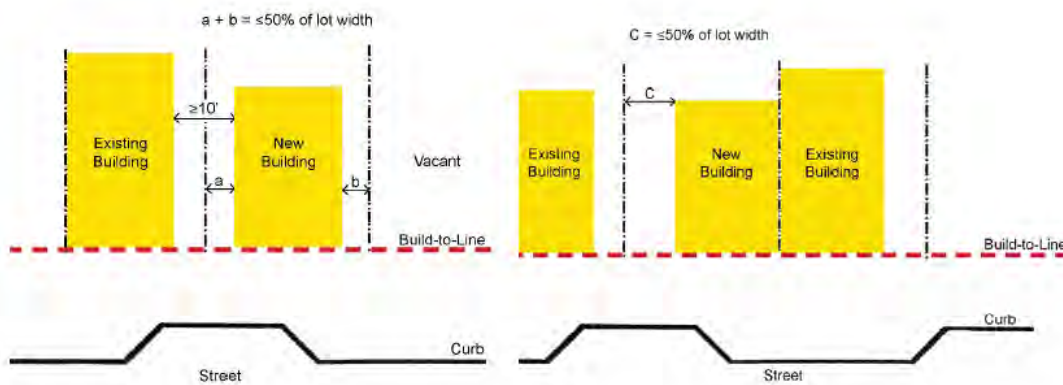
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Illustration #3 Side Yard Setback Requirements – Alternative 1



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Illustration #4 Side Yard Setback Requirements – Alternative 2



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c. Exceptions to Building Setback Requirements.

i. Public Space: Street setbacks may be permitted up to 30 feet if pedestrian courtyards, plazas, cafes, fountains, or other public gathering places are provided in front of the recessed portion of the building. For buildings greater than 40 feet in width, the increased setback area shall not exceed 50 percent of the building frontage and shall incorporate a street wall along the original setback line.

ii. Arcades: The use of arcades is encouraged and therefore allowed to extend up to the property line. They may have enclosed space, balconies, or verandas above them. Arcades should be open and non-air conditioned.

3. Building and site design standards.

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- a. Architectural Styles. All new non-residential buildings within the MSOS are required to adopt architectural elements consistent with one of the following types of architecture. Architectural style descriptions and their attributes are listed below and in Table 1.

Table 1. Architectural style descriptions

	<u>Spanish Vernacular</u>		<u>Frame Vernacular</u>	<u>Contemporary</u>
	<u>Mediterranean</u>	<u>Mission</u>		
<u>Roof Types</u>	<u>Multi-level roofs</u> <u>Gable</u> <u>Hip</u> <u>Pent/Visor</u> <u>Parapets</u>	<u>Flat roof with curvilinear parapets are most common</u> <u>Gable and Hip also used.</u> <u>Pent/Visor</u>	<u>Gable</u> <u>Hip</u> <u>Pent/Visor</u> <u>Parapets</u>	<u>Flat overhanging roof</u> <u>Gable</u> <u>Hip</u> <u>Pent</u>
<u>Roof Materials</u>	<u>Barrel Tile (half cylinders) or Spanish Tile (s-curved shape) in red and earth tones.</u>	<u>Barrel Tile (half cylinders) or Spanish Tile (s-curved shape)</u>	<u>Metal roof (5v panels or narrow standing seam)</u>	<u>Metal roof</u> <u>Concrete tiles</u> <u>Solar tiles</u>
<u>Facade Materials</u>	<u>Stucco with sand finish or hand troweled</u>	<u>Stucco with sand finish or hand troweled</u>	<u>Lapped siding with corner boards (wood or vinyl)</u> <u>Vertical board & batten siding</u> <u>Pattern shingles (for accent only)</u>	<u>Concrete</u> <u>Glass</u> <u>Steel</u>
<u>Windows</u>	<u>Arched windows (some triple-arched)</u> <u>Vertical in proportion</u> <u>Half round transom above windows</u> <u>Sashed</u>	<u>Vertical</u> <u>Half round transom</u> <u>Sashed</u>	<u>Tall and narrow proportion</u> <u>Sashed</u> <u>Window and door trim projects out from wall cladding</u>	
<u>Building Color</u>	<u>Typically earth tones; however, due to heavy influence from Central & South America brighter colors are encouraged</u>	<u>Typically earth tones; however, due to heavy influence from Central & South America brighter colors are encouraged</u>	<u>Typically, pastel colors with white trim/accent; however, due to heavy influence from Central & South America brighter colors are encouraged</u>	

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<u>Ornamentation</u>	<u>Arcades</u> <u>Balconies</u> <u>Full arches</u> <u>Wrought iron,</u> <u>wood or cast</u> <u>stone railings.</u> <u>Patterned tiles</u> <u>or single tiles</u> <u>used for accent.</u> <u>Carved</u> <u>stonework</u> <u>Wood or iron</u> <u>window grilles</u> <u>Tile vents</u>	<u>Arcades</u> <u>Balconies</u> <u>Full arches</u> <u>Wrought iron,</u> <u>wood or cast</u> <u>stone railings.</u> <u>Patterned tiles or</u> <u>single tiles used</u> <u>for accent.</u> <u>Carved</u> <u>stonework</u> <u>Wood or iron</u> <u>window grilles</u> <u>Tile</u>	<u>Porches</u> <u>Columns,</u> <u>spindles (square</u> <u>or turned)</u> <u>Gable end or</u> <u>eave brackets</u> <u>Shutters</u> <u>Transom</u> <u>windows</u>	
<u>Fences</u>	<u>Combination of</u> <u>masonry and</u> <u>wrought iron</u>	<u>Combination of</u> <u>masonry and</u> <u>wrought iron</u>	<u>Wood picket</u> <u>fences</u>	

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i. Spanish vernacular.

a) Mediterranean Style: Also known as Spanish Eclectic or Spanish Colonial Revival. Characteristics typically include barrel tile, low-pitched roofs usually with little or no overhang, parapets, arches, stucco, and asymmetrical facades. Mediterranean style buildings typically contain the following: multi-level roofs composed of barrel tile (half cylinders) or Spanish Tiles (s-curved shape) in red and earth tones, façade of stucco and sand finish or hand troweled, arched windows (some triple-arched), ornamentation contain full arches and patterned tiles or single tile for accent.

b) Mission Style: Influenced by the Spanish Colonial Style. Characteristics typically include barrel tile roofs, arches, earth tone colors, and asymmetrical façades finished in stucco. Similar to the Mediterranean Style but exhibiting much less ornamentation and detailing. Mission Style buildings typically contain flat roof with curvilinear parapets are most common, barrel tile (half cylinders) or Spanish Tile (s-curved shape), stucco with sand finish or hand troweled, and ornamentation containing full arches.

c) Frame Vernacular: Also known as Florida Cracker or Key West Style. Some frame vernacular buildings in Florida exhibit a Caribbean influence, while others are more utilitarian or rural in nature. Most familiar elements of this style are the use of horizontal siding for façade finish, elaborate wood balustrades, large porches, and metal roofs. Frame Vernacular buildings typically contain metal roofs (5v panels or narrow standing seam), lapped siding with corner

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boards (wood or vinyl) and ornamentation of gable end or eave brackets.

d) Contemporary: Contemporary architecture focuses on innovation while being in harmony with nature through the use of clean geometric lines and elements such as openness both in interiors and to the outside, natural light, eco-friendly materials and creative styles. This is achieved through the use of a range of building materials such as concrete, glass, wood, and metals.

b. Building Façade Design. Buildings shall have architectural features and patterns that provide visual interest from the perspective of the pedestrians and motorists. All additions and alterations shall be compatible with the principal structure in design, color, and materials.

i. Façade orientation. New buildings shall orient the principal entrance façade parallel to the public right-of-way. If the building fronts on more than one public right-of-way, all facades facing the public rights-of-way shall be designed consistent with primary façade requirements.

ii. Façade continuity. Facades along Main Street should limit building gaps along the block. If a gap is created between two buildings, one of the following should be provided.

a) A pedestrian courtyard (connecting to rear parking areas or alleys), or

b) A decorative façade connecting the two buildings, or

c) A low street wall along that portion of the lot along the right-of-way not devoted to pedestrian or vehicular access.

iii. Façade variation.

a) Primary façades shall not exceed 20 horizontal feet and 10 vertical feet, without three (3) of the following elements. When selecting these elements, there shall be a combination of vertical and horizontal elements in order to create variation in the façade.

i) A change in plane, such as an offset, reveal, or projecting rib (columns, built in planters, arches, voids, etc.). Such plane projections or recesses shall have a width of no less than 20 inches, and a depth of at least six (6) inches.

ii) Awnings.

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- ii. Windowless façades facing the public right-of-way are prohibited.
 - iii. Transparency requirements include the following:
 - a) The ground floor building wall facing the street shall contain windows and doors occupying at least 50 percent of the first-floor façade. The first-floor windows shall be located between three (3) and eight (8) feet measured from ground level. All other floors and elevations shall contain at least 25 percent glazing.
 - b) Clear glass (88 percent light transmission) should be installed on the first floor. Tinted glass allowing a minimum of fifty percent light transmission should only be allowed on second floor windows and above. Stained or art glass is allowed only if it is in character with the style of the building, such as in a church.
 - c) Office uses shall have front exterior walls containing a minimum of 25 percent transparent or translucent materials on each story. The side exterior walls (facing the street) shall each contain a minimum of 15 percent transparent or translucent materials on each story.
 - d) Transparent materials on walls that are not parallel or approximately parallel to the public right-of-way and on doors shall not be counted toward the minimum transparency requirement.
 - e) Garage or service bay doors shall not be included in the transparency/translucency calculation.
 - e. Landscaping and buffering. To encourage redevelopment, the following landscape criteria shall apply to all commercially zoned properties and those residential properties with permitted commercial uses, except where otherwise prohibited by this subdistrict. The following landscape buffering criteria shall be applicable to projects with a total building square footage of less than or equal to 5,000 square feet. For all others, 4.02.27.B.4 applies:
 - i. Properties adjacent to residentially zoned lots/parcels shall provide a minimum 10 foot wide landscape buffer, six (6) foot high hedge or wall (four (4) feet at planting; six (6) feet within one (1) year) with trees spaced no more than 25 feet on center;
 - ii. Properties adjacent to commercially zoned lots/parcels shall provide a minimum seven and a half (7.5) foot wide landscape buffer with a single row hedge and trees spaced no more than 30 feet on center. The hedge shall at a minimum consist of three (3)

1 gallon plants, two (2) feet in height spaced a minimum of three (3)
2 feet on center at planting.

3
4 iii. A minimum five (5) foot buffer, with at least two (2) trees per
5 lot/parcel or one (1) tree per 40 linear feet whichever is greater,
6 shall be required adjacent to all rights-of-way;

7
8 iv. Lots/parcels that are unable to meet the minimum landscape criteria
9 above, shall be required to provide landscaping to the greatest
10 extent practicable, or an alternative enhancement plan that may
11 include planters and/or flower boxes for each property, as
12 recommended by the County Manager or designee.

13
14 f. Off-street parking. Minimum off-street parking and off-street loading.
15 Standards for parking within the MSOS, and as set forth below:

16
17 i. Outdoor café/seating areas shall be exempt from parking
18 calculations.

19
20 ii. All properties within the MSOS, having frontage on Main Street,
21 First Street, or Ninth Street are required by this subdistrict to locate
22 all parking areas in the rear yard and/or side yards.

23
24 a) Lots, parcels, or uses which have frontage on West Main
25 Street (SR 29) or First Street (CR 846) shall comprise the
26 primary areas within the MSOS.

27
28 b) Uses in existence, as of the effective date of this LDC
29 section, are exempt from the minimum parking
30 requirements as set forth in section 4.05.00 except that
31 existing uses shall not reduce the number of spaces below
32 what is provided as of the effective date of this LDC.

33
34 c) A change of use shall be exempt from the minimum parking
35 requirements as set forth in LDC section 4.05.00 up to an
36 intensity level of one (1) parking space per 100 square feet.
37 A change of use to an intensity of greater than one (1) space
38 per 100 square feet shall require parking at one (1) parking
39 space per 150 square feet.

40
41 d) Any use in a building constructed after the effective date of
42 this LDC will be required to provide parking at 50 percent of
43 the minimum requirement as set forth in LDC section
44 4.05.00.

45
46 iii. Lots, parcels, or uses which do not have frontage on Main Street or
47 First Street shall comprise the secondary area within the MSOS.

48
49 a) Uses in existence as of the effective date of this LDC
50 Section are exempt from the minimum parking requirements

1 as set forth in LDC section 4.05.00 except that existing uses
2 shall not reduce the number of spaces below that which is
3 provided as of the effective date of this LDC.

4
5 b) A change of use shall be exempt from the minimum parking
6 requirements as set forth in LDC section 4.05.00 up to an
7 intensity level of one (1) parking space per 100 square feet.
8 A change of use to an intensity greater than one (1) parking
9 space per 100 square feet shall require parking at 50
10 percent of the minimum requirement as set forth under LDC
11 section 4.05.00. No change in use shall allow for a reduction
12 of the current number of parking spaces provided.

13
14 iv. The provisions of the MSOS do not prevent establishments utilizing
15 shared parking agreements and off-site parking arrangements as
16 set forth in LDC section 4.05.00. Furthermore, the maximum
17 distances set forth in LDC section 4.05.00 shall be increased to
18 1,000 feet within the boundaries of the MSOS. Properties within the
19 MSOS entering into off-site parking agreements with properties
20 outside the MSOS may utilize the 1,000-foot rule.

21
22 v. Standards for landscaping in vehicular use areas within the MSOS.

23
24 a) Landscaping is required in the interior of vehicular use
25 areas. At least ten percent of the gross square footage of
26 onsite vehicular use area shall be devoted to interior
27 landscaping areas.

28
29 b) All rows of parking spaces shall be bordered on each end
30 by curbed landscape islands/Terminal Landscape Islands.
31 Each terminal island shall measure no less than eight feet
32 in width from inside the curb and extend the entire length of
33 the single or double row of parking spaces bordered by the
34 island. Type D or Type F curb per current FDOT Design
35 Standards is required around all landscape islands.
36 Terminal islands shall be landscaped with at least one
37 canopy tree. The remainder of the terminal island shall be
38 landscaped with sod, ground covers or shrubs or a
39 combination of any of the above.

40
41 c) Vehicular use areas under fifty required parking spaces
42 within the MSOS are exempt from the LDC section 4.05.00
43 requirement that does not allow more than 10 contiguous
44 parking spaces without being separated by a landscape
45 island.

46 g. Fencing.

47
48
49 i. Street walls are required to screen off-street parking facilities
50 (spaces or driveways) from the right-of-way.

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- ii. Street walls shall be a minimum of three (3) feet and a maximum of five (5) feet in height.
 - iii. Street walls greater than three (3) feet in height above grade shall be no more than 50 percent solid.
 - iv. Street walls should be designed to complement the principal building style, materials, and colors.
 - v. In lieu of a street wall, a continuous hedge row no more than four (4) in height can be provided.
 - vi. Utilities/service areas.
 - a) Accessory structures shall have the same architectural detail, design elements and roof design as the primary structure.
 - b) Rooftop mechanical equipment should be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables, parapets, or similar features. Plain boxes as the only screening mechanism are not acceptable.
 - c) Equipment installed at ground level shall be screened by low walls or landscaping.
 - d) Areas for outdoor storage, trash collection, and loading shall be incorporated into the primary building design. The materials used shall be of comparable quality and appearance to those of the primary building.
 - e) Loading areas or docks, outdoor storage, waste disposal, mechanical equipment, satellite dishes, truck parking, and other service support equipment shall be located behind the building line and shall be fully screened from the view of public rights-of-way.
 - h. Signage.
 - i. Projecting signs are permitted in addition to permitted signs provided such signs do not exceed six (6) square feet in size and are elevated to a minimum of eight (8) feet above any pedestrian way.
 - ii. Sandwich boards are permitted, one (1) per establishment, not to exceed six (6) square feet in size and shall only be displayed during business hours.

- 1 D. State Road 29A Commercial Overlay Subdistrict (SR 29OS).
- 2
- 3 1. Purpose and intent. The standards described in this section shall apply to all non-
- 4 residential uses in this overlay subdistrict. Where a conflict may arise between
- 5 these regulations and LDC section 4.02.27, the subdistrict regulations shall control.
- 6
- 7 a. Exceptions. Owners of lots or combination of lots having less than the
- 8 required street frontage may petition the Board of Zoning Appeals for a
- 9 variance from the standard in this subdistrict as will not be contrary to the
- 10 public interests when owing to special conditions peculiar to the property,
- 11 a literal enforcement of these standards would result in unnecessary and
- 12 undue hardship.
- 13
- 14 2. Dimensional standards.
- 15
- 16 a. Height. Buildings shall have a maximum height of 50 feet.
- 17
- 18 b. Setback.
- 19
- 20 i. Front Setback – Minimum 25 feet when abutting S.R. 29, all others
- 21 shall comply with their underlying zoning and use standards.
- 22
- 23 ii. Rear Setback – Minimum of 25 feet when abutting S.R. 29, all
- 24 others shall comply with their underlying zoning and use standards.
- 25
- 26 3. Landscaping and buffering.
- 27
- 28 a. Projects with a total building square footage of less than or equal to 5,000
- 29 square feet shall provide a 10-foot Type A landscape buffer as described
- 30 in section 4.06.00 along vehicular rights-of-way with required sidewalks
- 31 and adjacent residential development. ~~Adjacent commercial projects can~~
- 32 ~~provide a shared 10-foot Type A buffer or a coordinated landscape plan, or~~
- 33 ~~if there is an existing buffer on the adjacent property, the buffer width can~~
- 34 ~~be reduced to 5-feet with standard Type A shrub plantings required.~~
- 35
- 36 b. Projects with a total building square footage exceeding 5,000 square feet
- 37 shall provide landscape buffering in accordance with section 4.06.00 of this
- 38 LDC.
- 39
- 40 4. Off-street parking.
- 41
- 42 a. Access points to SR-29 shall comply with Florida State Department of
- 43 Transportation (FDOT) access management regulations. Parcels that have
- 44 less than 440 feet of street frontage shall provide access off existing
- 45 adjacent roadways, when possible, and should not directly access SR-29.
- 46
- 47 b. Shared parking arrangements and interconnections between adjoining
- 48 developments shall be encouraged.
- 49

c. Sidewalks shall be provided to encourage pedestrian traffic. The location of said sidewalks shall be coordinated with adjacent projects.

E. Jefferson Avenue Commercial Overlay Subdistrict (JACOS).

1. Purpose and intent. The standards described in this section shall apply to all non-residential uses in this overlay subdistrict. Where a conflict may arise between these regulations and LDC section 4.02.27, the subdistrict regulations shall control.

2. Dimensional standards.

a. Height. Commercial buildings shall have a maximum height of 50 feet excluding 10 feet for under-building parking.

b. Setback.

i. Front Setback – A minimum of 25 feet for all commercial buildings when abutting Jefferson Avenue. All other setbacks shall comply with their underlying zoning and use standards.

ii. All other setbacks shall be in accordance with the underlying zoning and use standards.

3. Landscaping and buffering.

a. Projects with a total building square footage of less than or equal to 5,000 square feet shall provide a 10 foot Type A landscape buffer, as identified in LDC section 4.02.27 B.4, on Jefferson Avenue.

b. Projects with a total building square footage exceeding 5,000 square feet shall provide landscape buffering in accordance with LDC section 4.02.27 B.4.

4. Off-street parking.

a. Access points for future commercial development shall be limited to a maximum of one (1) per 150 feet of street frontage.

b. Properties with less than the required street frontage, shall be encouraged, and may be required as a condition of site development plan approval, to utilize shared access points with adjoining commercial development.

i. Owners of lots or combination of lots having less than the 150-foot of required frontage may petition the Board of Zoning Appeals for a variance from the standard in this subdistrict as will not be contrary to the public interest when owing to special conditions peculiar to the property, a literal enforcement of these standards would result in unnecessary and undue hardship.

1
2 1. Purpose and intent. The standards described in this section shall apply to all non-
3 residential uses in this overlay subdistrict. Where a conflict may arise between
4 these regulations and LDC section 4.02.27, the subdistrict regulations shall control.

5
6 2. Dimensional standards.

7
8 a. Height. Building height shall be a maximum of 50 feet.

9
10 b. Setback. A minimum 75-foot building setback is required for all
11 development adjacent to residentially or agriculturally zoned properties.
12 This setback may be reduced to 50 feet if a minimum six (6) foot tall
13 decorative wall or fence, providing at least 80 percent, opacity is installed
14 within the reduce setback, and the required 20-foot landscape buffer is
15 located between the wall or fence and the adjacent residentially and/or
16 agriculturally zoned properties.

17
18 3. Landscaping and buffering.

19
20 a. A minimum 20-foot-wide vegetated landscape buffer shall be provided.
21 This vegetated buffer shall be located adjacent to all property lines and
22 shall contain, at a minimum, two staggered rows of trees that shall be
23 spaced no more than 30 feet on center, and a double hedge row at least
24 24 inches in height at time of planting and attaining a minimum of three (3)
25 feet in height within one year.

26
27 b. Existing native trees must be retained within this 20-foot-wide buffer area
28 to aid in achieving this buffer requirement; other existing native vegetation
29 shall be retained where possible, to aid in achieving this buffer requirement.

30
31 c. Water retention/detention aeras shall be allowed in this buffer area if left in
32 a natural state, and drainage conveyance thorough the buffer area shall be
33 allowed if necessary to reach an external outfall.

34
35 I. Specific Design Standards for New Mobile Home Lots in the Immokalee Urban Area
36 Overlay District (IUAOD).

37
38 1. Purpose and intent. The purpose of this section is to provide relief form the
39 dimensional standards established in LDC section 4.02.01 for new mobile home
40 lots approved through an existing conditions site improvement plan or
41 amendments thereof within the Nonconforming Mobile Home Site Overlay
42 Subdistrict as established in LDC section 2.03.07 G.3.g. This section shall not
43 apply to the replacement of mobile home units identified on lots established by an
44 existing conditions site improvement plan.

45
46 2. Dimensional standards.

47
48 Table 1. Dimensional Standards for New Mobile Home Lots within the IUAOD

49

<u>Design Standard</u>

<u>Minimum lot requirements</u>	
<u>Single-wide units</u>	<u>2,400 square feet</u>
<u>Double-wide units</u>	<u>3,500 square feet</u>
<u>Minimum lot widths</u>	
<u>Single-wide units</u>	<u>35 feet</u>
<u>Double-wide units</u>	<u>45 feet</u>
<u>Minimum setback requirements</u>	
<u>Interior roads</u>	<u>10 feet</u>
<u>Front yard</u>	<u>5 feet</u>
<u>Side yard</u>	<u>8 feet</u>
<u>Rear yard</u>	<u>20 feet</u>
<u>Public Road frontages</u>	
<u>Minimum separation between structures</u>	<u>10 feet</u>
<u>Minimum floor area for replacement units</u>	<u>320 square feet</u>

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3. Dumpster/Enclosure. A dumpster or enclosure for individual containers is required in accordance with LDC section 5.03.04. No dumpster shall be located closer than fifteen (15) feet from any public street.

4. Private Roads. Private roads leading to and serving the mobile home park or mobile home lots must be improved and maintained and shall consist of a dust-free surface with a minimum width of 20 feet. The dust free surface may consist of aggregate material treated with oil-based material that will bind the aggregate material into a form of macadam road finish. A drainage ditch capable of storing the first one inch of rainfall shall be incorporated into the right-of-way design-cross section, exclusive of the required 20 feet. Drainage shall be directed to a public road via the private road and/or easement conveyance, unless it can be proved that the on-site percolation rates exceed the on-site retention requirement.

J. Deviation Regulations (previously LDC section 2.03.07 G.7). Property owners within the Immokalee Urban Overlay District may request deviations from specific dimensional requirements as described in this section. A deviation request may be reviewed administratively or by the Planning Commission depending upon its scope. This section addresses the permissible deviations, limitations thereon, and the review process.

1. Review process. Insubstantial deviations will be reviewed administratively by the County Manager or designee. Substantial deviations will be reviewed by the Hearing Examiner. This section is not intended to replace the current established process of requesting deviations through the PUD rezoning process. Any deviations from the LDC which are not expressly provided for in this section shall be processed as variances in accordance with LDC section 9.04.00.

2. Concurrent deviation application required. All deviation requests shall be made concurrently with an application for an SDP or amendment, SIP, or Final Subdivision Plat, or in the case of sign deviations, with a building permit. The applicant shall list all requested deviations on the required site plan(s) and shall depict the deviation(s) graphically on the plan(s). Additional graphic information may also be required by staff, on a case-by-case basis.

1 3. Insubstantial deviation. Requested deviations that do not exceed 10 percent of the
2 required dimension, amount, size, or other applicable dimensional standard, with
3 the exception of the required number of parking spaces, which may not exceed 20
4 percent of the LDC requirement (not more than 10 spaces), are insubstantial. To
5 be approved, the following criteria must be considered:

6
7 a. The proposed deviation is compatible with adjacent land uses and
8 structures, achieves the requirements of the regulations as closely as is
9 practicable, and meets the intent of the related LDC provisions; and

10
11 b. The applicant proposes equitable tradeoffs for the proposed diminution in
12 development standards, such as increased open space, landscaping,
13 pedestrian spaces, buffering or architectural features, in order to meet the
14 intent of the regulation being diminished.

15
16 4. Substantial deviations. Requested deviations that do not qualify as insubstantial
17 deviations are substantial deviations. The CCPC shall consider the following:

18
19 a. Whether or not the proposed deviation is compatible with adjacent land
20 uses and achieves the requirements and/or intent of the regulations as
21 closely as is practicable.

22
23 b. Whether the proposed deviation is the minimum amount necessary to allow
24 for reasonable use of the property and/or address the issue necessitating
25 the deviation request.

26
27 c. Whether the reduced or increased standard requested by the deviation is
28 mitigated for, either on the subject site or by providing a public benefit on
29 the subject site. Examples of such on-site mitigation include but are not
30 limited to: increasing setbacks from the adjacent road right-of-way when
31 proposing to deviate from sign size limitations; increasing plantings or
32 planting sizes or installing a fence or wall where a reduced buffer width is
33 proposed; providing public pedestrian and/or bicycle pathway easements
34 or other similar mobility improvements including transit enhancements;
35 providing public parking; providing beautification in the public realm,
36 including street trees, street furniture, lighting and other similar public
37 benefits.

38
39 5. Applicability – List of Development Standards Eligible for Deviation Requests.
40 Property owners shall be eligible to seek a deviation from the dimensional
41 requirements of the following LDC sections, unless otherwise noted.

42
43 a. LDC section 2.03.01, limited to subsection A.1.b.4.ii.

44
45 b. LDC section 2.03.03, limited to the following subsections:

46
47 i. A.1.c.11.vii. limited to a maximum of three stories, viii., and ix.; and

48
49 ii. E.1.c.4.iv.
50

- 1 c. LDC section 2.03.04, limited to subsection A.1.c.2.iv., minimum lot area
- 2 only.
- 3
- 4 d. LDC section 3.05.07 B.1 Preservation Standards, Specific Standards
- 5 Applicable Outside the RMFU and RLSA districts, Required Preservation
- 6 Percentages (Table 1 inset).
- 7
- 8 e. LDC section 4.02.01 A Dimensional Standards for Principal Uses in Base
- 9 Zoning Districts:
- 10
- 11 i. Table 1. Lot Design Requirements for Principal Uses in Base
- 12 Zoning Districts.
- 13
- 14 ii. Table 2. Building Dimension Standards for Principal Uses in Base
- 15 Zoning Districts, excluding building height and in the case of
- 16 commercial parcels, no deviation shall be granted, for new
- 17 development, from the required 50-foot building setback when
- 18 abutting residentially zoned properties, or from the minimum 10-foot
- 19 wide landscaped strip between the abutting road right-of-way and
- 20 the off-street parking area for new development, but deviations from
- 21 these requirements may be considered in the case of
- 22 redevelopment where existing structures and/or encroachments
- 23 are proposed to remain;
- 24
- 25 iii. Table 2.1 - Table Of Minimum Yard Requirements (Setbacks) for
- 26 Base Zoning Districts.
- 27
- 28 f. LDC section 4.02.02 Dimensional Standards for Conditional Uses and
- 29 Accessory Uses in Base Zoning Districts, limited to subsection E, except
- 30 building height.
- 31
- 32 g. LDC section 4.02.03 Specific Standards for Location of Accessory
- 33 Buildings and Structures, Dimensional Standards, except that in the case
- 34 of new development on commercial parcels, no deviation shall be granted
- 35 from the required 50-foot building setback when abutting residentially
- 36 zoned properties, or from the minimum 10-foot wide landscaped strip
- 37 between the abutting road right-of-way and the off-street parking area.
- 38 Deviations from these requirements may be considered in the case of
- 39 redevelopment where existing structures and/or encroachments are
- 40 proposed to remain.
- 41
- 42 h. LDC section 4.02.03 B. Accessory Building Lot Coverage.
- 43
- 44 i. LDC section 4.02.27 D. Specific Design Standards for the Immokalee—
- 45 State Road 29A Commercial Overlay Subdistrict, Building Design
- 46 Standards.
- 47
- 48 j. LDC section 4.02.27 E. Same—Jefferson Avenue Commercial Overlay
- 49 Subdistrict, Building Design Standards.
- 50

- 1 k. LDC section 4.02.27 G. Same—Agribusiness/Farm Market Overlay
 2 Subdistrict, Dimensional Standards.
- 3
- 4 l. LDC section 4.02.27 C. Same—Main Street Overlay Subdistrict, limited to
 5 the following subsections: A.; C.1; D.3 and D.4; and E.1, E.2, and E.3.
- 6
- 7 m. LDC section 4.05.04 G. (Spaces Required) Table 17 and 4.05.06 B
 8 Loading Space Requirements, utilizing the existing administrative deviation
 9 process set forth in LDC Section 4.05.04 F.4., recognizing that the reduced
 10 need for off-street parking in Immokalee may be offered as a viable basis
 11 for such administrative deviation.
- 12
- 13 n. LDC section 4.02.27 B.4 Buffer Requirements (limited to required width)
 14 except that in the case of new development on commercial parcels, no
 15 deviation shall be granted from the required 50-foot building setback when
 16 abutting residentially zoned properties, or from the minimum 10-foot-wide
 17 landscaped strip between the abutting road right-of-way and the off-street
 18 parking area. Deviations from these requirements may be considered in
 19 the case of redevelopment where existing structures and/or
 20 encroachments are proposed to remain.
- 21
- 22 o. LDC section 4.02.27 B.4.e Landscaping Requirements for Vehicular Use
 23 Areas and Rights-of-Way, Standards for Landscaping in Vehicular Use
 24 Areas.
- 25
- 26 p. LDC section 4.06.05 B. General Landscaping Requirements, Landscaping
 27 requirements for industrial and commercial development, limited to
 28 subsection B.3.
- 29
- 30 q. LDC section 4.02.27 B.4.f. General Landscaping Requirements, Building
 31 Foundation Planting Requirements.
- 32
- 33 r. LDC section 4.02.27 B.2. Architectural and Site Design Standards, Building
 34 Design Standards. Deviations from non-dimensional provisions of this
 35 Section are also allowed as substantial deviations.
- 36
- 37 s. LDC section 4.02.27 B.3. Design Standards for Specific Uses. Deviations
 38 from non-dimensional provisions of this section are also allowed as
 39 substantial deviations.
- 40
- 41 t. LDC section 4.02.27 B.3. Architectural and Site Design Standards, Site
 42 Design Standards, limited to subsections a, b, c. Deviations from non-
 43 dimensional provisions of this section are also allowed as substantial
 44 deviations. Note: Nothing in LDC section 5.05.08, Architectural and Site
 45 Design Standards, shall be deemed to prohibit the use of murals on exterior
 46 walls of commercial buildings in the Immokalee Urban Overlay District,
 47 provided that: 1) such murals are reviewed and accepted by the Collier
 48 County Redevelopment Agency staff; and 2) such murals do not contain
 49 text for the purpose of advertising any business or commercial activity.
- 50

1 u. LDC section 5.06.04 Development Standards for Signs in Nonresidential
2 Districts, limited to subsection F.

3
4 6. Public notice. Public notice, including signage, notice to property owners and an
5 advertised public hearing, is required for substantial deviation requests, and shall
6 be provided in accordance with the applicable provisions of section 10.03.05 B, for
7 Variances.

8
9 7. Appeals. Within 30 days of the issuance of the decision of staff or of the CCPC,
10 the owner or any aggrieved person may appeal the decision to the Board of Zoning
11 Appeals pursuant to section No. 250-58 of the Codes of Laws and Ordinances.

12
13 ~~A. Access points to SR-29 shall comply with Florida State Department of Transportation~~
14 ~~(FDOT) permitting regulations. Parcels that have 440-foot or less of street frontage shall~~
15 ~~provide access off existing adjacent roadways, when possible, and should not directly~~
16 ~~access SR-29.~~

17
18 ~~B. Owners of lots or combinations of lots having less than the required street frontage may~~
19 ~~petition the Board of Zoning Appeals for a variance from the standard in this subdistrict as~~
20 ~~will not be contrary to the public interest when owing to special conditions peculiar to the~~
21 ~~property, a literal enforcement of these standards would result in unnecessary and undue~~
22 ~~hardship.~~

23
24 ~~C. Building design standards.~~

25
26 ~~1. Buildings shall be set back from SR-29 a minimum of twenty-five (25) feet and from~~
27 ~~the rear lot line a minimum of twenty-five (25) feet.~~

28
29 ~~2. Projects with a total building square footage of less than or equal to 5,000 square~~
30 ~~feet shall provide a ten (10) foot Type A landscape buffer as described in section~~
31 ~~4.06.00 between vehicular rights-of-way with required sidewalks and adjacent~~
32 ~~residential development. adjacent commercial projects shall provide coordinated~~
33 ~~landscape plans.~~

34
35 ~~3. Projects with a total building square footage of less than or equal to 5,000 square~~
36 ~~feet shall provide an area equal to a minimum of two and one-half (2½) percent of~~
37 ~~the total interior vehicular use area which shall be landscaped to provide visual~~
38 ~~relief.~~

39
40 ~~4. Projects with a total building square footage exceeding 5,000 square feet shall~~
41 ~~provide landscape buffering in accordance with section 4.06.00 of this LDC.~~

42
43 ~~5. Buildings shall have a maximum height of fifty (50) feet.~~

44
45 ~~D. Transportation.~~

46
47 ~~1. Shared parking arrangements between adjoining developments shall be~~
48 ~~encouraged.~~

49

1 ~~2. Deceleration and acceleration lanes shall be consistent with the ROW Permitting~~
2 ~~and Inspection Handbook and subject to FDOT approval where applicable.~~

3
4 ~~3. Pedestrian traffic shall be encouraged by providing sidewalks. The location of~~
5 ~~these sidewalks shall be coordinated with adjacent projects.~~

6
7 **4.02.28 – Reserved Specific Design Standards for the Immokalee—Jefferson Avenue**
8 **Commercial Overlay Subdistrict**

9
10 ~~A. Building design standards.~~

11
12 ~~1. Projects with a total building square footage of less than or equal to 5,000 square~~
13 ~~feet shall provide a ten (10) foot Type A landscape buffer as identified in section~~
14 ~~4.06.00 of this LDC on Jefferson Avenue.~~

15
16 ~~2. Projects with a total building square footage exceeding 5,000 square feet shall~~
17 ~~provide landscape buffering in accordance with section 4.06.00 of this LDC.~~

18
19 ~~3. Commercial buildings shall be set back from Jefferson Avenue a minimum of~~
20 ~~twenty-five (25) feet.~~

21
22 ~~4. Commercial building shall have a maximum height of fifty (50) feet excluding ten~~
23 ~~(10) feet for under building parking.~~

24
25 ~~B. Transportation.~~

26
27 ~~1. Access points for future commercial development shall be limited to a maximum~~
28 ~~one (1) per 150 feet of street frontage. Properties with less than the required street~~
29 ~~frontage, shall be encouraged, and may be required as a condition of site~~
30 ~~development plan approval, to utilize shared access points with adjoining~~
31 ~~commercial development.~~

32
33 ~~2. Owners of lots or combination of lots having less than the 150 foot of required~~
34 ~~frontage may petition the Board of Zoning Appeals for a variance from the standard~~
35 ~~in this subdistrict as will not be contrary to the public interest when owing to special~~
36 ~~conditions peculiar to the property, a literal enforcement of these standards would~~
37 ~~result in unnecessary and undue hardship.~~

38
39 ~~3. Provisions for shared parking arrangements with adjoining developments shall be~~
40 ~~encouraged.~~

41
42 **4.02.29 – Reserved Specific Design Standards for the Immokalee Farm Market Overlay**
43 **Subdistrict**

44
45 ~~A. Dimensional standards shall be as required for the C-5 zoning district except that the~~
46 ~~minimum floor area shall be 500 square feet gross floor area for permitted principal~~
47 ~~agricultural structures.~~

48

1 ~~B. The following uses, as identified in the Standard Industrial Classification Manual (1987),~~
2 ~~are exempt from the provisions set forth in section 5.05.08, Architectural and Site Design~~
3 ~~Standards for Commercial buildings and Projects.~~

4
5 ~~1. Agricultural Services (0723)~~

6
7 ~~2. Wholesale Trade (5148)~~

8
9 ~~3. Agricultural Outdoor Sales~~

10
11 **4.02.30 – Reserved ~~Specific Design Standards for the Immokalee—Agribusiness Overlay~~**
12 **~~Subdistrict~~**

13
14 ~~The following uses, as identified in the Standard Industrial Classification Manual (1987),~~
15 ~~are exempt from the provisions set forth in section 5.05.08. of the Architectural and Site Design~~
16 ~~Standards for Commercial buildings and Projects: Agricultural Services (0723) and Wholesale~~
17 ~~Trade (5148).~~

18
19 **4.02.31 – Reserved ~~Specific Design Standards for the Immokalee—Central Business~~**
20 **~~Overlay Subdistrict~~**

21
22 ~~Parking within the Immokalee Central Business Subdistrict shall meet the following~~
23 ~~standards:~~

24
25 ~~A. Lots, parcels, or uses which have frontage on West Main Street (SR 29) or First Street~~
26 ~~(CR 846) shall comprise the primary areas.~~

27
28 ~~1. Uses in existence as of the effective date of this LDC are exempt from the minimum~~
29 ~~parking requirements as set forth in section 4.05.00 except that existing uses shall~~
30 ~~not reduce the number of spaces below that which is provided as of the effective~~
31 ~~date of this LDC.~~

32
33 ~~2. The expansion of any use shall require parking at fifty (50) percent of the minimum~~
34 ~~requirement as set forth in section 4.05.00 for the expansion only.~~

35
36 ~~3. A change of any use shall be exempt from the minimum parking requirements as~~
37 ~~set forth in section 4.05.00 up to an intensity level of one (1) parking space per 100~~
38 ~~square feet. A change of use to an intensity of greater than one (1) space per 100~~
39 ~~square feet shall require parking at one (1) parking space per 150 square feet.~~

40
41 ~~4. Any use in a building constructed after the effective date of this LDC will be~~
42 ~~required to provide parking at fifty (50) percent of the minimum requirement as set~~
43 ~~forth in section 4.05.00.B.Lots, parcels, or uses which do not have frontage on~~
44 ~~Main street or First street shall comprise the secondary area.1.Uses in existence~~
45 ~~as of the effective date of this LDC are exempt from the minimum parking~~
46 ~~requirements as set forth in section 4.05.00 except that existing uses shall not~~
47 ~~reduce the number of spaces below that which is provided as of the effective date~~
48 ~~of this LDC.2.The expansion of any use shall require an addition to any parking of~~
49 ~~the minimum number of required spaces as set forth under section 4.05.00, for the~~
50 ~~expansion only.3.A change of any use shall be exempt from the minimum parking~~

~~requirements as set forth in section 4.05.00 up to an intensity level of one (1) parking space per 100 square feet. A change of use to an intensity greater than one (1) parking space per 100 square feet shall require parking at fifty (50) percent of the minimum requirement as set forth under section 4.05.00. No change in use shall allow for a reduction of the current number of parking spaces provided.4.Any use in a building constructed after the effective date of this LDC will be required to provide parking at sixty seven (67) percent of the minimum requirement as set forth in section 4.05.00.~~

~~C. In no way shall the provisions of the Immokalee central business subdistrict (ICBSD) be construed so as to prevent establishments within the boundaries from taking advantage of off-site parking arrangements as set forth in section 4.05.00. Furthermore, the maximum distances set forth in section 4.05.00 shall be increased to 600 feet within the boundaries of the ICBSD, Properties within the ICBSD entering into off-site parking agreements with properties outside the ICBSD may utilize the 600-foot rule.~~

4.02.32 – Reserved Specific Design Standards for the Immokalee—Main Street Overlay Subdistrict

~~A. Dimensional Standards.~~

- ~~1. Front yard. Ten (10) feet except in the event of an awning, arcade or colonnade which may extend up to seven (7) feet into the required yard.~~
- ~~2. Side yard. Zero (0) in the event a wall is contiguous to another wall on an adjacent property, otherwise ten (10) feet.~~
- ~~3. Rear yard. Five (5) feet.~~
- ~~4. Rear yard abutting residential. Twenty (20) feet.~~
- ~~5. Structures shall be no more than thirty five (35) feet in height, except that hotel/motel uses shall be no more than fifty (50) feet in height.~~

~~B. Minimum off-street parking and off-street loading. As permitted by section 4.02.31. standards for parking within the Immokalee Central Business district, and as set forth below:~~

- ~~1. Outdoor cafe areas, shall be exempt from parking calculations.~~
- ~~2. All properties within the Main Street Overlay subdistrict, having frontage on Main Street, First Street or Ninth Street are required, by this subdistrict to locate all parking areas in the rear yard and/or in side yards.~~

~~C. Signs.~~

- ~~1. Projecting signs are permitted in addition to permitted signs provided such signs do not exceed six (6) square feet in size and are elevated to a minimum of eight (8) feet above any pedestrian way.~~

- 1 ~~2. Sandwich boards are permitted, one (1) per eating establishment, not to exceed~~
- 2 ~~six (6) square feet in size and shall only be displayed during business hours.~~
- 3
- 4 ~~D. Development shall be subject to the provisions of section 5.05.08, Architectural and site~~
- 5 ~~design standards for commercial buildings and projects, except as set forth below:~~
- 6
- 7 ~~1. Properties having frontage on Main Street or First Street or Ninth Street are~~
- 8 ~~required to locate their primary business entrance on that street. Parcels fronting~~
- 9 ~~both Main Street and First Street or both Main Street and Ninth Street are required~~
- 10 ~~to locate their primary business entrance on Main Street.~~
- 11
- 12 ~~2. Reflective or darkly tinted glass is prohibited on ground floor windows.~~
- 13
- 14 ~~3. Properties with less than fifty (50) feet of road frontage shall only require a~~
- 15 ~~minimum of one (1) roof change.~~
- 16
- 17 ~~4. Commercial projects 5,000 square feet in size or less shall only require a minimum~~
- 18 ~~of two (2) design features, as described within section 5.05.08 of this LDC.~~
- 19
- 20 ~~5. To encourage redevelopment within the Main Street Overlay subdistrict, for~~
- 21 ~~proposed redevelopment of existing projects that do not increase impervious~~
- 22 ~~surface area and whose total building area is less than or equal to 5,000 square~~
- 23 ~~feet in size, the applicant shall be exempt from section 4.06.00 of the landscaping~~
- 24 ~~and buffering provisions, requiring the seal of a landscape architect and shall also~~
- 25 ~~be exempt from section 5.05.08., Architectural and Site Design Standards and~~
- 26 ~~Guidelines for Commercial buildings and Projects, requiring the seal of an~~
- 27 ~~architect.6. The minimum commercial design criteria, as set forth above, shall be~~
- 28 ~~applicable to projects with a total building square footage of less than or equal to~~
- 29 ~~5,000 square feet.~~
- 30
- 31 ~~E. To encourage redevelopment, the following landscape criteria shall apply to all~~
- 32 ~~commercially zoned properties and those residential properties with permitted commercial~~
- 33 ~~uses, except where otherwise prohibited by this subdistrict. The following landscape~~
- 34 ~~buffering criteria shall be applicable to projects with a total building square footage of less~~
- 35 ~~than or equal to 5,000 square feet:~~
- 36
- 37 ~~1. Properties adjacent to residentially zoned lots/parcels shall provide a minimum ten~~
- 38 ~~(10) foot wide landscape buffer, six (6) foot high hedge or wall (four (4) feet at~~
- 39 ~~planting; six (6) feet within one (1) year) with trees spaced no more than twenty~~
- 40 ~~(25) feet on center;~~
- 41
- 42 ~~2. Properties adjacent to commercially zoned lots/parcels shall provide a minimum~~
- 43 ~~five (5) foot wide landscape buffer with a single row hedge and trees spaced no~~
- 44 ~~more than thirty (30) feet on center. The hedge shall at a minimum consist of three~~
- 45 ~~(3) gallon plants, two (2) feet in height spaced a minimum of three (3) feet on center~~
- 46 ~~at planting.~~
- 47
- 48 ~~3. A minimum five (5) foot buffer, with at least two (2) trees per lot/parcel or one (1)~~
- 49 ~~tree per forty (40) linear feet whichever is greater, shall be required adjacent to all~~
- 50 ~~rights-of-way;~~

1
2 4. ~~Lots/parcels that are unable to meet the above minimum landscape criteria, shall~~
3 ~~be required to provide landscape planters and/or flower boxes for each such~~
4 ~~property, as recommended by the County Manager or designee.~~

5
6 **4.02.33 – Reserved Specific Design Standards for New Mobile Home Lots in the Immokalee**
7 **Urban Overlay Subdistrict**

8
9 The purpose of this section is to provide relief from the dimensional standards established
10 in LDC section 4.02.01 for new mobile home lots approved through an existing conditions site
11 improvement plan or amendments thereof within the Nonconforming Mobile Home Site Overlay
12 Subdistrict, as established in LDC section 2.03.07 G.6. This section shall not apply to the
13 replacement of mobile home units identified on lots established by an existing conditions site
14 improvement plan.

15
16 A. ~~Dimensional standards.~~

17
18 ~~Table 15. Dimensional standards for the Nonconforming Mobile Home Site Overlay Subdistrict~~

Design Standard	
Minimum lot requirements	
Single wide units	2,400 square feet
Double wide units	3,500 square feet
Minimum lot width	
Single wide units	35 feet
Double wide units	45 feet
Minimum setback requirements	
Interior roads	
Front yard	10 feet
Side yard	5 feet
Rear yard	8 feet
Public road frontages	20 feet
Minimum separation between structures	10 feet
Minimum floor area for replacement units	320 square feet

20
21 B. ~~A dumpster or enclosure for individual containers is required in accordance with section~~
22 ~~5.03.04. of this LDC. No dumpster shall be located closer than fifteen (15) feet from any~~
23 ~~public street.~~

24
25 C. ~~Private roads leading to and serving the mobile home park or mobile home lots must be~~
26 ~~improved and maintained, and shall consist of a dust free surface with a minimum width~~
27 ~~of twenty (20) feet. The dust free surface may consist of aggregate material treated with~~
28 ~~oil-based material that will bind the aggregate material into a form of macadam road finish.~~
29 ~~A drainage ditch capable of storing the first one inch of rainfall shall be incorporated into~~
30 ~~the right of way design cross section, exclusive of the required twenty (20) feet. Drainage~~
31 ~~shall be directed to a public road via the private road and/or easement conveyance, unless~~
32 ~~it can be proved that the on-site percolation rates exceed the on-site retention~~
33 ~~requirement.~~

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5.03.02 - Fences and Walls, Excluding Sound Walls

* * * * *

G. Supplemental Standards.

1. Fences on sites with structures which are subject to LDC section 5.05.08 Architectural & Site Design Standards, except for residential properties located in the IUAOD, must comply with the following additional standards:

a. Chain link (including wire mesh) and wood fences are prohibited forward of the primary façade and shall be a minimum of 100 feet from a public right-of-way. If these types of fences face a public or private street then they shall be screened with an irrigated hedge planted directly in front of the fence on the street side. Plant material shall be a minimum of 3 gallons in size and planted no more than 3 feet on center at time of installation. This plant material must be maintained at no less than three-quarters of the height of the adjacent fence.

b. Fences forward of the primary façade, excluding chain link, wire mesh and wood are permitted under the following conditions:

- i. Fences shall not exceed 4 feet in height.
- ii. The fence provides either an open view at a minimum of 25 percent of its length or provides variation in its height for a minimum of 15 percent of its length with a deviation of at least 12 inches.
- iii. The fence style must complement building style through material, color and design.

2. Use of chain link or wire mesh fencing (the requirements of this section are not applicable to single family dwellings):

a. If located adjacent to an arterial or collector road in the urban coastal area, the fence shall be placed no closer than three feet to the edge of the right-of-way or property line.

b. Except when located in the IUAOD, ~~the~~ the fence shall be screened by an irrigated, living plant hedge at least thirty (30) inches in height at planting and spaced a distance apart that will achieve opacity of 80 percent sight-obscuring screen within one year of planting.

Residential properties within the IUAOD shall allow coated chain link fences (black or green) which shall not exceed four feet in height.

Exhibit A – List of LDC Amendments

Ord. 1982-29
Ord. 1982-32
Ord. 1991-12
Ord. 1991-72
Ord. 1995-58
Ord. 1997-26
Ord. 1998-63
Ord. 2000-08
Ord. 2000-92
Ord. 2001-34
Ord. 2002-03
Ord. 2002-31
Ord. 2004-72
Ord. 2008-63
Ord. 2010-23
Ord. 2015-44
Ord. 2016-27
Ord. 2019-35
Ord. 2022-04