



**JOINT MEETING  
OF THE IMMOKALEE LOCAL  
REDEVELOPMENT ADVISORY  
BOARD (CRA) &  
THE IMMOKALEE  
BEAUTIFICATION  
MSTU  
(Municipal Service Taxing Unit)  
ADVISORY COMMITTEE**

**January 15 , 2025  
8:30 A.M.**



**Immokalee**  
Florida in the 21st century

# IMMOKALEE

## CRA Collier County Community Redevelopment Agency

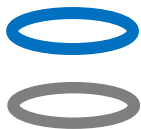


### 2025

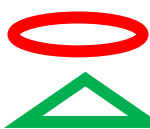
CRA Meetings held  
every third  
Wednesday of the  
month.

MSTU Meetings held  
every fourth  
Wednesday of the  
month.

January	February	March	April
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		30	



CRA Meeting



MSTU Meeting



Special Meeting



BCC Joint

Workshop

Joint Meeting



Cancelled



No Meeting

All meetings held at CareerSource SWFL located at 750 South 5th Street, Immokalee FL unless otherwise noted.

All meetings are held at the CareerSource SWFL Conference Room located at 750 South 5th Street, Immokalee, FL 34142 unless otherwise noted. CRA Meetings are held every third Wednesday of the month. MSTU Meetings are held every fourth Wednesday of the month.



Hybrid Remote Public Meeting

Some of the Board Members and staff may be appearing virtually, with some Board Members and staff present in person. The public may attend either virtually or in person. Space will be limited.



### CRA Board

Commissioner  
William McDaniel Jr.  
Co-Chair  
District 5

Commissioner  
Dan Kowal  
Co-Chair  
District 4

Commissioner  
Burt L. Saunders  
District 3

Commissioner  
Chris Hall  
District 2

Commissioner  
Rick LoCastro  
District 1

### CRA Advisory Board

Mark Lemke  
Chairman

Anne Goodnight  
Vice-Chair

Mike Facundo  
Andrea Halman  
Estil Null  
Edward "Ski" Olesky  
Yvar Pierre  
Lupita Vazquez Reyes  
Paul Thein

### MSTU Advisory Committee

Andrea Halman  
Chairman

Bernardo Barnhart  
Vice-Chair

Cherryle Thomas  
David Turrubiarz Jr.  
Jimmy Nieves

### CRA Staff

John Dunnuck  
Executive Director  
Facilities & CRA

Christie Betancourt  
CRA Assistant Director

Yvonne Blair  
CRA Project Manager

Yuridia Zaragoza  
CRA Operations  
Support Specialist I

## **Joint Meeting of the Collier County Community Redevelopment Agency Immokalee Local Redevelopment Advisory Board and the Immokalee Beautification MSTU Advisory Committee.**

### **AGENDA**

#### **Hybrid Remote Public Meeting**

(\*Please see details below)

Immokalee CRA  
750 South 5<sup>th</sup> Street  
CareerSource SWFL  
Immokalee, FL 34142  
239.867.0025

**January 15, 2025 – 8:30 A.M.**

- A. Call to Order
- B. Pledge of Allegiance and Prayer
- C. Roll Call and Announcement of a Quorum
- D. Voting Privileges for Board Members via Zoom (*CRA & MSTU Action Item*)
- E. Approval of Agenda (*CRA & MSTU Action Item*)
- F. Approval of Consent Agenda (*CRA & MSTU Action Item*)
  1. Minutes
    - i. Joint CRA & MSTU Advisory Board Meeting for December 11, 2024 (Enclosure 1)
  2. Budget Reports (Enclosure 2)
  3. Code Enforcement Report (Enclosure 3)
  4. Staff Reports
    - i. Assistant Director Report (Enclosure 4)
    - ii. Project Manager Report (Enclosure 5)
    - iii. Project Manager Field Observation Report (Enclosure 6)
    - iv. Community Meetings (Enclosure 7)
- G. Announcements
  1. Public Comment speaker slips
  2. Communications Folder
- H. Other Agencies
  1. FDOT updates
  2. Other Community Agencies
- I. Community Presentations (*CRA Action Item*)
  1. Land Development Code Updates – The Neighborhood Company (Enclosure 8)
- J. Old Business
  1. Advisory Board update ((Enclosure 9) (*CRA & MSTU Action Item*))
  2. Nomination for Chair and Vice Chair (*CRA & MSTU Action Item*)
  3. Contactor Maintenance Reports
    - i. A&M Property Maintenance Report & Schedule (Enclosure 10)
  4. Brief Staff project update
    - i. Immokalee Sidewalk Phase III – Eustis Ave. and W. Delaware Ave. (Enclosure 11)
    - ii. First Street Corridor Safety Project update (Enclosure 12)
  5. 2050 Long Range Transportation Plan – Immokalee Roadway Needs (Enclosure 13)

K. New Business

L. Citizen Comments

M. Next Meeting Date

The **CRA Board** will be meeting on *Wednesday, February 19, 2025*, at 8:30 A.M. at Careersource SWFL.

The **MSTU Board** will be meeting on *Wednesday, February 26, 2025*, at 8:30 A.M. at Careersource SWFL.

N. Adjournment

**\* Hybrid Remote Public Meeting**

Some Advisory Board members and staff may be appearing remotely, with staff present in person. The public may attend either virtually or in person.

If you would like to provide public comment, participate, and/or attend the meeting, please contact Yuridia Zaragoza via email at [Yuridia.Zaragoza@colliercountyfl.gov](mailto:Yuridia.Zaragoza@colliercountyfl.gov) by January 14, 2025, at 4:00 P.M.

You may attend the meeting in person on January 15, 2025, at the CareerSource SWFL Conference Room, 750 South 5<sup>th</sup> Street, Immokalee, FL 34142.

The public is reminded that the CDC and Department of Health recommend social distancing and avoiding public gatherings when possible.

All meetings will be publicly noticed in the W. Harmon Turner Building (Building F), posted at the Immokalee Public Library, and provided to the County Public Information Department for distribution. Please contact Yuridia Zaragoza at 239.867.0025 for additional information. In accordance with the American with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact Christie Betancourt at least 48 hours before the meeting. The public should be advised that members of the CRA/MSTU Advisory Committee are also members of other Boards and Committees, including, but not limited to: the Immokalee Fire Commission. In this regard, matters coming before the Advisory Committee/Board may come before one or more of the referenced Board and Committees from time to time.



## **MINUTES**

Joint Meeting of the Collier County Community Redevelopment Agency Immokalee Local Redevelopment Advisory Board and the Immokalee MSTU Advisory Committee on December 11, 2024. The Advisory Board members, staff, and public appeared virtually and in person.

### **Hybrid Remote Public Meeting**

CareerSource  
750 South 5<sup>th</sup> Street  
Immokalee, FL 34142

A. Call to Order.

The meeting was called to order by CRA Chair Mark Lemke at 8:32 A.M.

B. Pledge of Allegiance and Moment of Silence.

Mark Lemke led the Pledge of Allegiance and Mike Facundo led the opening prayer.

C. Roll Call and Announcement of a Quorum.

Christie Betancourt opened roll call. A quorum was announced for the CRA and MSTU Board.

CRA Advisory Board Members Present in Person:

Mark Lemke, Patricia Anne Goodnight, Mike Facundo, Andrea Halman, Edward “Ski” Olesky, Lupita Vazquez Reyes, and Paul Thein.

CRA Advisory Board Members Present via Zoom:

None.

CRA Advisory Board Members Absent/Excused:

Estil Null and Yvar Pierre.

MSTU Advisory Committee Members Present:

Andrea Halman, Bernardo Barnhart, David Turrubiardez Jr., Cherryle Thomas, and Jimmy Nieves (8:38 A.M.).

MSTU Advisory Committee Members Present via Zoom:

None.

MSTU Advisory Committee Members Absent/Excused:

None.

Others Present in Person:

Canon Sandora, Bill Glass, Sylvia Ocanas, Jorge Ocanas, Evelyn Bahena, Mauricio Perez, Maria C. Huapilla, Jacinto Cervantes, Illiana Montez, Armando Yzaguirre, Carlos Garcia, Sarah Harrington, Lucio Quintana, Dusty Hansen, and Commissioner Bill McDaniel.

Others Present via Zoom:

Cristina Perez, Katiria Ocanas, Lorraine Lantz, Melissa Silva, Rosemary Ocanas, Sean Kingston, and Tricia De Cambra, Sonal Dodia and Colleen Ross.

Staff Present in Person: John Dunnuck, Christie Betancourt, Yvonne Blair, and Yuridia Zaragoza.

D. Voting Privileges for Board Members via Zoom

Staff announced no members will present via Zoom. No Action taken.

E. Approval of Agenda.

Staff presented the Agenda to the Boards for approval. Agenda was approved as presented.

**CRA Action:** *Ms. Patricia Anne Goodnight made a motion to approve the Agenda as presented. Ms. Andrea Halman seconded the motion, and it passed by unanimous vote. 7-0.*

**MSTU Action:** *Mr. David Turrubiardez Jr. made a motion to approve the Agenda as presented. Ms. Cherryle Thomas seconded the motion, and it passed by unanimous vote. 4-0.*

**F. Approval of Consent Agenda**

1. Minutes
  - i. Joint CRA & MSTU Advisory Board Meeting for October 16, 2024 (Enclosure 1)
  - ii. MSTU Advisory Committee Meeting for November 13, 2024 (Enclosure 2)
2. Budget Reports (Enclosure 3)
3. Code Enforcement Report (Enclosure 4)
4. Staff Reports
  - i. Assistant Director Report (Enclosure 5)
  - ii. Project Manager Report (Enclosure 6)
  - iii. Project Observation Field Report (Enclosure 7)
  - iv. Community Meetings (Enclosure 8)

Staff presented the Consent Agenda to the Boards for approval. Consent Agenda was approved as presented.

**CRA Action:** *Ms. Patricia Anne Goodnight made a motion to approve the Consent Agenda as presented. Ms. Lupita Vazquez Reyes seconded the motion, and it passed by unanimous vote. 7-0.*

**MSTU Action:** *Mr. David Turrubiardez Jr. made a motion to approve the Consent Agenda as presented. Ms. Cherryle Thomas seconded the motion, and it passed by unanimous vote. 4-0.*

**G. Announcements.**

1. Public Comments speaker slips  
CRA Staff reiterated on the public 3-minute speaker slip policy for each Topic. The Board will give more time if they feel it necessary.
2. Communications Folder  
Staff reviewed the communication folder with the board and members of the public. The folder included the public notice for the Joint CRA and MSTU meeting, Collier Area Transit (CAT) survey, the Community Campus attachments provided at the Neighborhood Information Meeting, Notice for the Neighborhood Information Meeting for the Sainvilus Development, Cowboy Christmas and Cherryle Thomas Christmas Around the World Parade and Gala Event flyer.

A thank you letter by the CRA Staff to all participants and for other county staff who helped was presented as well. CRA Staff thanked everyone for the success of the 11<sup>th</sup> Annual Christmas Tree Lighting. Staff also thanked Mr. Armando Yzaguirre and his team for decorating the Zocalo Plaza and the Christmas Tree. His staff trimmed the trees, added mulch to the area, and picked up trash. Overall, the area looked very nice.

Mr. Armando Yzaguirre commented that his wife deserves all the credit for the decorating of the Tree and Zocalo Plaza. He hopes this event continues so that they may continue to serve the community in this way. He provided a couple of maintenance updates, the banner arms are up on the poles that have been fixed, A&M staff are waiting on some of the poles. As soon as they are provided, they will put them up as well. Mr. Yzaguirre reiterated that he and his team enjoy serving the community and they hope to continue doing so.

Ms. Christie Betancourt commented that staff have received a complaint that a couple of the angels on the light poles are out. This is due to the transformer. Due to the time now, staff will not be able to fix it this year, however, they will make sure this is fixed for the upcoming year.

Mr. Armando Yzaguirre commented that when he puts the decorations on the poles, he has no power in the daytime due to the timer. Next year, a schedule could be done to solve some of these issues in this matter.

Ms. Andrea Halman commented that this event has been held for 10 years now and the number of cookies has not increased. Many people are coming to this event, and they are enjoying it. She commented that staff cannot get rid of this event. She hopes that more cookies can be purchased as more community members continue to attend this event.

Ms. Patricia Anne Goodnight provided information on what is set to be discussed at the Immokalee Water and Sewer District Meeting. She commented that a group of people would like to discuss with Immokalee Water and Sewer District from eliminating fluoride in their water. She has always worked to protect Immokalee, and in her opinion, eliminating fluoride from the water will affect many. The meeting will be held at 3:30 p.m. on Wednesday, December 20, 2024, at the Immokalee Water and Sewer District office.

3. Public Meeting Calendar (Enclosure 9)

i. Proposed 2025 Meeting Calendar

Staff presented the proposed 2025 Meeting Calendar. Both Boards are set to meet jointly on January, June, July, October, November, and December for 2025. The schedule could change depending on what staff brings forward for the merging of the boards. A decision for the Chair and Vice-Chair will be made by the board in January 2025. Staff will provide any further updates.

Staff also included the 2025 Holiday Schedule that the Board of Collier County Commissioners follow. Boards approved the 2025 Calendar as presented noting that meeting dates will change if board merger is approved.

**CRA Action:** *Ms. Patricia Anne Goodnight made a motion to approve the 2025 Public Meeting Calendar as presented. Ms. Lupita Vazquez Reyes seconded the motion, and it passed by unanimous vote. 7-0.*

**MSTU Action:** *Mr. David Turrubiardez Jr. made a motion to approve the 2025 Public Meeting Calendar as presented. Ms. Cherryle Thomas seconded the motion, and it passed by unanimous vote. 5-0.*

H. Other Agencies

1. FDOT Updates

No updates.

2. Other Community Agencies

No updates.

I. Community Presentations

1. Sainvilus Subdivision – Canon Sandora, PE (Enclosure 10)

Mr. Canon Sandora introduced himself and Mr. Bill Glass. Mr. Canon Sandora is the Civil Engineer for this project and Mr. Bill Glass is the Architect. Mr. Sandora commented that the developer is local, and his name is Mr. James Sainvilus.

Mr. Canon Sandora provided information on the property. There is an existing house on the property. The property is four and a half acres. The property is located South of Roberts Ave and North of Forrester Ave. The developer is going through a Planned Unit Development (PUD) process with Collier County to allow for the development of 27 units total.

Mr. Canon Sandora presented the conceptual plan of this development. They are proposing 13 buildings that are 2 single-family with a zero-lot-line attached and one common wall. The buildings will be on their own lot but are attached by one common wall. For lot 27, there will be a single-family home for the developers' parents to live at, the existing home will be taken down. The current use for this property is for a Residential Single Family 3 (RSF-3), which is 3 units per acre. The PUD would allow for 6 units per acre, which is under the Immokalee Future Land Use Plan, where land use for Medium Residential Subdistrict allows a base density of 6 units per acre. The developer is not going for affordable housing, so the developer will be able to choose the lot sizes that work for the site. There are plans to have one road coming down on Forrester Ave with a cul-de-sac at the end, which 24 units would access through Forrester where sidewalks will be put on both sides of the road. The other 3 units will have access through Roberts Ave, that is less of a road but allows them to keep a lot of retention area in case of a flooding. Mr. Sandora commented that the retention plan could vary since they are not at the final stages. He reiterated that this is all conceptual.

For lots size RSF-3, 10,000 square feet is the minimum lot size, setbacks are 30 feet in the front, 25 feet in the rear, 7 and a half on the sides, the minimum widths are 95 feet, and the corner lot and interior lot are 80 feet minimum width.

They are proposing a minimum lot size of 3,900 square feet, front setback of 23 feet, rear setback of 15 feet, unattached side setback of 7.5 feet and a side setback to the Right of Way of 15 feet.

Mr. Mike Facundo asked for clarification on where the property is located and asked why lots 25, 26, and 27 are accessible only through Roberts Ave. He also asked if they have reached out to the neighbors in Forrester Ave.

Mr. Canon Sandora commented that while doing the conceptual plan, the layout worked well with Forrester Ave. The traffic studies and the level of service did not change based on the 27 units. They have mailed letters to all neighbors surrounding the area. A neighborhood information will be held at the CareerSource SWFL Conference Room at 4:30 p.m. on December 11, 2024.

Mr. Mark Lemke asked for clarification on the buildings and was confirmed that there's one building on 2 lots.

Mr. Patricia Anne Goodnight commented whether this is affordable housing and if individuals will be able to own or rent the homes.

Mr. Canon Sandora said this development is not for affordable housing and the developer is planning for others to own the homes. The development will be for market rate housing. An Ad Valorem Tax would be paid for this development.

Ms. Lupita Vazquez Reyes commented the idea for this property to increase housing that attracts service professionals such as teachers and firefighters. She hopes this development is an average cost for them.

Mr. Bill Glass commented that Mr. James Sainvilus has been adamant about doing something that out of the ordinary. Mr. Sainvilus wanted to make these units multi-generational. They have designed 2 master bedrooms in the lower level with a master kitchen, living and dining room, and a 2-car garage. The higher level will consist of another master, 2 other bedrooms, and a big living room. He reiterated that this is still in the conceptual stages.

Mr. Glass presented the elevations of the units.

Ms. Christie Betancourt asked if this has been presented to the County. Mr. Canon Sandora commented that they are going through the PUD process, they are close to that point but have not presented anything yet.

Ms. Lupita Vazquez Reyes asked who would be managing the property or if an HOA will be established. Mr. Bill Glass followed up and said that a few discussions have been made with Mr. James Sainvilus and it could be that an HOA is established.

Ms. Cherrylle Thomas asked when they anticipate starting this development, if all is approved.

Mr. Bill Glass commented that he is unsure, it all depends on how Mr. James Sainvilus wants to phase this development.

Mr. Mark Lemke asked if they need an approval from the CRA Board.

Mr. Canon Sandora commented that they are just presenting to the CRA Board to receive feedback.

Ms. Andrea Halman commented on the roundabout in the plans presented and asked if they plan to stick with this concept. She mentioned that many people need to be able to get out of the property. She also asked if firetrucks will be able to go in and out of the property.

Mr. Canon Sandora commented that it allows some space for retention area; by not having a complete road to Roberts Ave. He commented on the cul-de-sac, and said it would be helpful to have only the community members of the area go in the property and hopefully help alleviate others from coming in. As for firetrucks, they will be able to get in and out of the property, the County has a standard on this matter.

Mr. Mike Facundo commented on the grid system and asked if it mirrors the existing grid system. Mr. Facundo provided brief information on a location in Gainesville, where the developer connected and tied into the city grid fabric. He asked if they have any consideration or any exploration on this.

Mr. Canon Sandora commented that they have viewed into adding an exit onto Roberts Ave and have a road go all the way through, which will add another stop sign on Roberts Ave. He commented that this could lead into an additional interruption in traffic but by just having traffic go through Forrester, there will not be much interruption.

Ms. Lupita Vazquez Reyes asked if there are any plans to extend Forrester Ave to Main Street.

Ms. Christie Betancourt commented that this may be developed later but it's not something that's in the plan. A previous developer looking to get the area was planning to make an access all the way through.

Mr. Mark Lemke asked on the amount of driveway for additional vehicles since the plans show for a 2-car garage. He provided concerns on having cars parked on the street or over the sidewalk if there's not enough space.

Mr. Mike Facundo further commented on the Arrowhead property in Immokalee and said that this is a good example of a development not having sufficient parking and how cars are piled up all over the yard and driveway. He also provided a few comments on the need of urban planning and gave an example of the TIGER grant and how there could have been more consideration into it. Overall, the goal is to have a development like this fit within the urban planning and create a neighborhood that fits with the community.



Mr. Canon Sandora commented that Mr. James Sainvilus is a local person, and he cares about the community, and how he probably understands the importance of taking in considerations such as landscaping and much more. Mr. Sandora provided information on the driveway and said there will be a 2-car garage and the driveway will allow for about 4 vehicles to fit comfortably.

Mr. Mike Facundo commented on the fact that Immokalee is a walking community and how we must consider others who will most likely have to walk around if there is no pathway to Roberts Ave. He said urban fabric allows not only for the vehicle to exist but for a person to be able to utilize and move around the area.

Mr. Mark Lemke further commented on Mr. Mike Facundo point and said even though there is no exit road onto Roberts Ave, a sidewalk that comes out Roberts Ave would be nice so that community members can come out and get to Main Street

Ms. Lupita Vazquez Reyes commented on a good example in Estero Park and said there's a neighborhood that is connected by a small trail to the park. She said this could be suggested to Mr. James Sainvilus and have him consider this as well.

Mr. Bill Glass commented that having some sort of connectivity like a sidewalk or trail is a good idea, however, he doesn't think that having open access for motor vehicles to go through is the best idea. Brief discussion was made that this development would not be a gated community.

Ms. Lupita Vazquez Reyes addressed that the person wanting to invest in the community is local and is wanting to do something with the property that will bring some impact on the tax base and provide middle to higher income homes. Especially culturally, since there are many who want to live with their families. She agreed that there needs to be some way of helping alleviate others from zooming into this community, but she also believes that there should be some type of pedestrians' connectivity since Immokalee is a walking community. She also elaborated on the access of food points.

Mr. Bernardo Barnhart commented that he loves the concept of this development. This will help bring value to the community. Mr. Barnhart commented to Mr. Canon Sandora and Bill Glass that they may need to consider talking to Mr. James Sainvilus on the 2-car garage. Mr. Bernardo Barnhart said that Ave Maria is a good example and said nobody uses 2-car garage. The majority use it for either storage or as an extra room.

Mr. Canon Sandora commented on the idea of the sidewalks and pedestrian connectivity. They will bring this up to Mr. James Sainvilus.

Ms. Sylvia Ocanas commented and said that Immokalee is an agricultural town where many people have huge trucks. She said that they will have a clutter in the area where there is not going to be a pathway.



She does not see why there's not 2 entrances and why they choose Forrester Ave as the access point if Forrester Ave is a dead-end street. She cannot imagine having 2 houses on that acreage and being able to keep it cleaned up and appropriate for the kids to play.

She acknowledged that this would be a good tax money revenue, however, there will be a lot of traffic on a dead-end street. She lives on Forrester Ave., and she commented that she is not satisfied with any kind of housing going on this property. She also commented on the trash and asked where the trash will be going and if there is going to be a trash can for each unit. She also commented that the garages will most likely be used for additional housing and said that people do need housing but, in an area where there is plenty of space for people to move around and where kids can play.

Mr. Canon Sandora commented that the acreage came about on the future land use according to the Immokalee Area Master Plan which allows a Medium Residential Sub District which allows for a base density.

Ms. Sylvia Ocanas further commented on how the property is being used right now and said that there are kids playing around in that empty lot and said there is no supervision out on this property. They will have to encounter more of this with 27 units.

Mr. Jacinto Cervantes lives off of Roberts Ave. He commented on the concept of this development and said the units will all be 2-story buildings and will have windows facing towards the neighbors. He asked what they plan to do to keep others from viewing other neighbors and making sure there is privacy for others.

Mr. Bill Glass commented that the zoning allows the ability of 35 feet, but they are below that. He commented that more landscaping could help with this matter.

Mr. Jacinto Cervantes asked if a privacy wall could be built since landscaping such as trees or bushes could get into others property and maintenance would be needed. Mr. Bill Glass followed up and commented that even with a privacy wall, the second floor still has view of the area surrounding them. Mr. Glass commented that landscaping will probably be the best way to help with others getting that privacy, however, they have not addressed this yet in their plan. Mr. Jacinto Cervantes commented that he is against this, and said it's not a great idea. He further commented on Mr. James Sainvilus other property.

Ms. Eveyln Bahena lives on Forrester Ave. She commented on an incident that occurred during Hurricane Milton. She said Mr. James Sainvilus tree fell on top of her roof; She and her husband went to speak with Mr. James Sainvilus about the incident; however, she was told by Mr. Sainvilus' son that it was not Mr. Sainvilus responsibility to remove the tree. Ms. Bahena husband had to pay to remove the tree. She provided this example to show the responsibility of Mr. Sainvilus and commented on who will take care of this property with all the units. She further commented that these units will be an inconvenience, and it will affect all the residents nearby especially with traffic, privacy, and the children who play in the area.

Mr. Mike Facundo commented that it may be that the developer and all who are working on this development consider making an access point off of Roberts Ave.

Ms. Bernardo Barnhart agreed with Mr. Mike Facundo and also commented on the garages. He has seen where many use the garages as a living space and said it would be helpful to have some type of communication with those who reside in the development on the amount of people who are able to live in the home.

Ms. Lupita Vazquez Reyes commented on the importance of management to occur in developments like this. At the FRA Conference, she and other board and staff members attended this year, she learned that many people who live in urban sprawl areas in Florida are accustomed to having their own space and she understand it a change to the community. She further commented on the concerns of the community with limited housing and empty lots being owned by people who are not doing anything with the property. She elaborated on the importance of having a good relationship with the community members and believes that Mr. James Sainvilus should have been present at this meeting to address the concerns made by the neighbors near this property.

Mr. Jimmy Nieves asked Mr. Canon Sandora and Mr. Bill Glass, if they have an idea as to how much trash will be accumulated or if they will be using a trash compactor. He also asked if a garbage truck will be able to access in and out of this property. Mr. Canon Sandora commented on this and expressed that progress is needed on how the disposal of trash will be. As for the access of a garbage truck, there will be accessibility since they have to follow the Collier County code.

Ms. Andrea Halman said that no one is able to control how this land will be used. She commented that others may view Mr. James Sainvilus differently than his neighbors.

Mr. Mark Lemke commented that Mr. Canon Sandora and Bill Glass should discuss all that was discussed at this meeting and what is set to be discussed at the Neighborhood Information Meeting to Mr. James Sainvilus.

Ms. Andrea Halman reiterated the Mr. James Sainvilus is allowed to do what he likes on his property, and said she takes pride in the fact that he is trying to something really well for the community.

Ms. Sarah Harrington introduced herself to the members of the public. She commented that as long as the property owner follows the Land Development Code and Growth Management Plan, one may do what they wish with their property. She noted that it's important to take information in meetings like this and relay it to the property owner to incorporate the best development possible in the neighborhood. She commented on the density and the structure that has been presented. She asked both Mr. Canon Sandora and Mr. Bill Glass on the current progress.

Mr. Bill Glass commented that they are in the soft schematics at this point. He further commented that discussions will be done with Mr. James Sainvilus on a connection to Roberts Ave. He also commented that an HOA structure would be beneficial and a trash compactor.

Ms. Patricia Anne Goodnight commented on the development and confirmed on the concept of the single-family home with room for another close family member and having this development be for families to buy.

Mr. Mike Facundo commented that they could have a design session with the community members to see other solutions they can come up with moving forward. He also commented that everyone has to keep an open mind, especially with trying to welcome development because we all need the tax base for the community.

Mr. Canon Sandora commented that a Neighborhood Information Meeting will be held, and this could help them understand those who live around the property and hear their suggestions.

Ms. Sarah Harrington provided information on the occurrence of a Neighborhood Information Meeting.

Ms. Christie Betancourt commented on the Neighborhood Information Meeting for the Sainvilus development.

Mr. Canon Sandora said that Mr. James Sainvilus will try to attend the Neighborhood Information Meeting online.

Mr. Jacinto Cervantes asked if there would be any other meetings for this development. Mr. Canon Sandora followed up and said there will be other public hearings.

Mr. Mark Lemke applauded the public who attended the meeting to voice out their concerns on this development. He commented that the board and staff like to see others show up when there is concern and wishes that others join as well when they have concerns. He asked that they continue to work together so that there is progress for all.

Mr. Canon Sandora commented that there is a Teams link for those who are interested in attending online.

2. 2050 LRTP (Long Range Transportation Plan) Collier Metropolitan Planning Organization (MPO), Anne McLaughlin, Executive Director (Enclosure 11) *(Time Certain 10:00 a.m.)*

Ms. Dusty Hansen introduced herself. She is a planner with the Collier Metropolitan Planning Organization (MPO), who is presenting on behalf of the Collier MPO Executive Director, who is sick.

Ms. Dusty Hansen thanked the CRA Board for placing them into the Agenda and allowing them to present. The Metropolitan Planning Organization (MPO) is working on the Long Range Transportation Plan, which looks at the anticipated transportation need through 2050. Jacobs Engineering, who is the consultant for the plan, will provide a presentation on the status and overview of the plan.

Ms. Sonal Dodia, who is representing Jacobs Engineering, introduced herself. Ms. Colleen Ross introduced herself as well. She is the with Jabos Engineering and is the Project Manager for the Long-Range Transportation Plan update.

Ms. Sonal Dodia presented the Agenda for the presentation. The LRTP overview, schedule, planning emphasis area and factors, vision and goals, roadway needs, cost feasible plan, Immokalee roadway needs, Immokalee resilience needs, and next steps are discussed.

Ms. Sonal Dodia provided information on the Long Range Transportation Plan (LRTP) and said it is updated every 5 years and it's a master plan for the MPO. The last update was for the 2045 LRTP and it was adopted in December 2020. The LRTP is required to receive federal transportation funds. The LRTP is a guiding document for the future improvements to the County transportation network and it covers a broad range of issues including environmental impacts, economic development, mobility, safety, security and quality of life.

#### The LRTP Schedule

- March 2024: Project kick off
- 2024: Establish Goals & Objective and Financial Resources
- 2024: System Needs.

MPO staff are currently in this process of developing the needs. They would like to receive input from the boards on this, however, they would like to introduce the vision and goals, all planning emphasis, factors, and sources they used to develop the plan.

One of the major factors that contributed to the development of the LRTP vision and goals was the federal planning emphasis areas that were outline in the Infrastructure Investments and Jobs Act (IIJA). This law provides federal funding for highway safety programs, transit program, and other transportation programs. Under the IIJA, the Federal Transit Administration (FTA) and the Federal Highway Administration (FHA) issued the 2021 planning emphasis areas that are required for long range transportation planning.

The Planning Emphases Areas include transportation resilience, equity and justice 40, meaningful public involvement, infrastructure connectivity, complete streets, data sharing principles, and planning and environment linkages. MPO Staff considered all areas when they developed the vision, goals and objective for the LRTP update. Additionally, FDOT also periodically issue their own planning emphasis areas to encourage transportation planning agencies to give priority to particular issues when developing their planning programs.

The FDOT planning emphasis area include Safety, Equity, Emerging Mobility and Resilience. The FDOT planning emphasis area were also considered for the vision, goals and objectives.

The LRTP is also legally required to consider projects, strategies and services that will address the 10 Federal Planning Factors.

1. Economic Vitality
2. Safety
3. Security
4. Accessibility and Mobility
5. Environmental Quality
6. Multimodal Connectivity
7. System Efficiency
8. System Preservation
9. Resiliency & Reliability
10. Travel and Tourism

Many of the factors overlap with the Federal and State planning emphasis areas and were also considered when the vision, goals, and objectives were developed.

#### 2050 LRTP Vision:

The Collier MPO 2050 Long Range Transportation Plan envisions the development of an integrated, equitable, multimodal transportation system to facilitate the safe and efficient movement of people and goods while addressing current and future transportation demand, environmental sustainability, resilience, and community character.”

Ms. Sonal Dodia commented that the LRTP is a multimodal plan that incorporates the needs and cost feasible projects through the MPO’s other plans, which are incorporated by reference. The other plans include the Management Process, Bicycle and Pedestrian Master Plan, Safety Action Plan and Transit Development Plan. The LRTP goals and objective were developed to reflect the roadway needs specifically for Collier County.

The large component of the LRTP update is to project the roadway network needs by the year 2050. This involves coordination with FDOT’s District One Regional Planning Model. The first step for staff to develop the roadway needs is to understand what changes in the roadway network have taken place since the last LRTP update as well as the projected socioeconomic data distribution by the year 2050. To understand the changes, staff developed the 2028 Existing + Committed Network. This network includes existing projects which are new roadways or widened roadways that were constructed and open to the public by 2019 and the committed projects that will be in construction by 2028. The socioeconomic data for 2050 was developed and included factors such as population housing, employment, and school enrollment. A growth model was used to predict where growth in the County is likely to occur by 2050. FDOT used the MPO’s 2028 Existing + Committed Network and 2050 Socioeconomic data from the MPO’s and TPO’s within the district. The results are referred to as a deficiency analysis.

The deficiency analysis projects where significant congestion problems may occur by the year 2050. The deficiency analysis was used to develop the future roadway needs in Collier County. Ms. Sonal Dodia commented that staff would like to hear from Immokalee community members on the needs that have occurred since the last LRTP update.

FDOT allows each MPO to model five alternative networks to test potential networks that could resolve deficiencies. The first alternative network was to find deficiencies or needs for Collier. Jacob Engineering staff and Collier MPO staff have received the draft results of the alternative, one from FDOT which are being vetted. Ms. Sonia Dodia commented that they are now preparing alternative 2, which is being coordinated with the Lee County MPO. This alternative will examine the benefits of adding new potential reliever roadways that could improve connectivity between Lee and Collier County. Alternative 3 and 4 will build off the 1<sup>st</sup> and 2<sup>nd</sup> alternatives and help determine the future cost feasible plan. These alternatives are financial constraint and include cost associated with design, right of way construction and mitigation of environmental impacts. Jacob Engineering will be coordinating with Collier County Transportation Management, Lee County MPO and other stakeholder like the CRA and MSTU Board. Alternative 5 will be a transit run where staff will be provided an idea of where transit is used and needed and the best use of transit dollars.

Ms. Sonal Dodia presented the 2050 Potential Roadways Needs within the Immokalee CRA and MSTU. A summarized table was presented to show the current status of roadway projects that were identified in the 2045 update. The first two projects on State Road 29 are in the 2020 existing and committed network. The following two projects are funded or partially funded in the 2045 plan. The last State Road 29 project in the potential roadway needs table is a new need that was identified in this update.

The remaining projects are local projects that were identified as either fully funded, partially funded or a need in the 2045 plan. They were also identified as needs for the 2050 update. Staff would like to receive the boards input on this list.

Ms. Sonal Dodia also commented on another important topic that needs to be considered when developing the LRTP and that is resilience. The resilience is a federal planning emphasis area under both the IIJA and FDOT. Newer requirements have emphasized a greater need for resilience in Collier network since Collier County is susceptible to storm surge and flooding as well as other water related hazards.

The next phase of the LRTP includes continuing stakeholder coordination, obtaining input on roadway needs, and developing travel model alternatives to help inform on the cost feasible projects. Ms. Sonal Dodia asked if anyone had any input to what was presented.

Mr. John Dunnuck asked if they had any plans to look at existing cross section to bring them up to the standard that they should be. He commented that coming into Immokalee Road, the community is dealing with some of the improvements on First Street that deal with constrained Right of Way.



He further asked if there are any plans to acquire the necessary Right of Way to bring it up to a full standard for a 4-lane cross section.

Ms. Colleen Ross asked for further clarification on the road. Mr. John Dunnuck further commented that there is a project that staff is working on to do sidewalk improvements, but they are dealing with holes in the middle of the sidewalks due to an expansion of 4 lanes and it was expanded within the existing Right-of-Way.

Ms. Colleen Ross said that this would probably be part of the Bike Pedestrian Master Plan that will then be incorporated into this plan. She further commented that she is unaware if this project is in the plan, but they will find out and add it in the needs list. Ms. Colleen Ross provided information on the roadway needs and said the needs are modeled with FDOT District One D1 Regional Planning Model. This model does not get into the specifics and can only really recognize roadway expansion, new relievers, and extensions of a road. Ms. Colleen Ross asked if there are just sidewalks on 1<sup>st</sup> Street or if there are any bike lanes.

Mr. John Dunnuck commented that there are no bike lanes on First Street, just sidewalks. There are light poles in the sidewalk as well.

Ms. Colleen Ross commented that they will have to discuss this and see if this is in as a need and note it as an issue. She noted that the sidewalks on First Street might not be up to standards.

Ms. Dusty Hansen commented that she could provide Mr. Dunnuck comment to the Executive Director, Ms. Anne McLaughlin, and Project Manager for the Bike Master Plan, which is currently underway.

Mr. Mike Facundo commented on the Westclox Street Extension and asked for clarification if this will be a need in 2050. Ms. Colleen Ross commented that the extension was identified as a need in the 2050 plan. If it becomes cost feasible, then the cost feasible is broken up into funding periods. Staff are understanding what is cost feasible, how much funding they have, and in what year it could be funded from 2028 to 2050.

Mr. Mike Facundo acknowledged that there is set to be a 4-lane improvement from the roundabout on SR29 down to New Market Road, however, currently when there are accidents on the SR 29 there's no other outlet and how people have to go around. He doesn't understand on how the priorities are done but he would like to know if they had any alternative solution and if there's anything that can be done to move this item further along.

Ms. Colleen Ross commented that she understood what he meant and commented that the Westclox Extension is a priority for the community.



Ms. Christie Betancourt commented that the Little League Rd Extension and Westclox Street Extension have been in the list for a while. She noticed that they both now have the word funded and asked if specifics could be given as to when the design will become funded.

Ms. Colleen Ross clarified that the Little League Road Extension in 2045 update was funded for design and Right of Way. Westclox Street Extension in the 2045 update was funded for design, right of way and construction. She commented that they have less funds this time and that the needs are similar to the previous update. The only new need that was identified is SR29/North Main Street. Ms. Ross reiterated that the input from everyone is important as far as prioritizing the funding and if they are important, then they will note that as well. The needs do not change necessarily but the funding does. They will continue to work with the County as well on funding and other needs.

Brief discussion was made on the list and how input is received by other boards.

Commissioner McDaniel commented that this is the need analysis. There's a process on the needs, then cost feasibility, and the available amount of funding. He followed up on Mr. Mike Facundo comment and said that an alternative route would be a Little League Extension North up to SR 82. With the acquisition of the Williams Farm, the County should get the road Right of Way necessary to take Little League Road down to Immokalee Road and have an alternative route in case there is blockage on SR 29. He said with the improvements that are coming in with the 4-lane should help alleviate traffic significantly.

Ms. Andrea Halman commented on the other boards such as the Bicycle & Pedestrian Advisory Committee (BPAC), Technical Advisory Committee (TAC), and Citizens Advisory Committee (CAC) and is unaware if any other Immokalee community members are on these board to provide input.

Commissioner McDaniel commented that the BPAC, TAC, and CAC are all Advisory Committees. The presentation presented is for the Immokalee community to make their needs known. The Long Range Transportation Plan is done every 5 years.

Discussion was made on the need to have other representatives from Immokalee be part of Advisory Committee like the BPAC, TAC, and CAC and also provide input on the needs for Immokalee.

Ms. Colleen Ross commented on the number of years for a project to get into the list. She said as long as it's a need, it helps because if there's funding and it fits the requirement then there's a possibility that it could be completed. She reiterated that they have presented on what they identified as a need and would like to know if there are any other needs.

Ms. Dusty Hansen commented that there is an Immokalee representative on the Citizens Advisory Committee. As for the Technical Advisory Committee, all committee members are technical staff, although she is not aware if they reside in Immokalee.

She also provided information on the LTRP and said that the LRTP does place an emphasis on equity and the Justice 40 initiative and making sure that transportation disadvantaged individuals in areas that need connectivity the most are focused on.

Ms. Lupita Vazquez Reyes asked if any of the input received will be affected by Federal change and Federal administration on how funding occurs.

Commissioner McDaniel commented that administration after administration have emphasized on multimodal transportation.

Ms. Colleen Ross commented that IIA has a few more years to be in place. As each administration comes up, the administration will come up with their own funding mechanism for transportation.

Ms. Lupita Vazquez Reyes concern included on whether or not rural areas would become deprioritized.

Commissioner McDaniel commented that this will not be happening for rural areas. There are many movements that support economically deprived rural communities. Through his tenure, the priorities listed have remained on the list.

Ms. Christie Betancourt asked if the Little League Extensions Road to Immokalee Road will be added to the list or if it will be tackled separately.

Ms. Colleen Ross commented that it would be added in the needs list. Staff will be coming back to the boards once they know how much funding they have and where they will be able to spend it on and what they can afford to do.

Discussion was made on having an advocate for Immokalee on other boards. Commissioner McDaniel further commented on the blended funding source coming out of Federal, State, and Local dollars. He also commented on the priorities of Collier County and the success of tax savings for the community that has occurred.

Ms. Dusty Hansen commented that there will be opportunities for public workshops for everyone to attend. Residents and Advisory Committee members will be welcomed and are encouraged to attend and provide their input. They can keep the boards updated on this.

Ms. Colleen Ross reiterated that they will be reaching back out and will be getting public input on both the roadway needs and cost feasible. They are looking to start public outreach in January and will most likely post it on social media with maps that show where the needs are at. She also said they are open taking input on intersection improvements.

Mr. Mark Lemke asked on the Little League Extension South from Lake Trafford Rd to Immokalee Road. Commissioner McDaniel commented that the Little League Extension South is from a separate local funding source. He also reiterated that everyone is welcome to provide input on any intersection improvements.

Ms. Colleen Ross said everyone may also email County Staff, Ms. Anne McLaughlin and Ms. Dusty Hansen, if anyone would like to provide any needs.

Commissioner McDaniel commented on how long the community has to provide input before the LRTP is complete. Ms. Colleen Ross said that all who would like to provide comments have about a couple of months, they would like to receive comments by the end of January. Commissioner McDaniel suggested that an Agenda Item be made on the next few months for the CRA and MSTU to provide input on the Immokalee list for the 2050 Potential Roadway Needs.

Ms. Lupita Vazquez Reyes asked if including other suggestion or needs would affect the listing and bump other needs off the list. Ms. Colleen Ross commented that from a need standpoint there will be an adding to the list, no bump offs will occur, and all become documented for when future money is available. She suggested that all needs be provided so that it assists when funding becomes available.

Ms. Lupita Vazquez Reyes asked if it's multi-funding for various different projects and if there is a certain way to know what would move up to a priority. Ms. Colleen Ross commented that some funding has strings attached to it. Ms. Ross reiterated that they will be coming back to the boards to inform other on their funding and what they believe is cost feasible.

Ms. Dusty Hansen commented that the most important thing is to make sure that a need is documented because if a funding source becomes available later in the future or there's a new funding source, it provides the ability to secure the money.

Ms. Colleen Ross provided information on the Resilience Needs. She commented that FDOT have identified a couple of areas in Immokalee. SR29 and South 1<sup>st</sup> Street are on the map. She commented that if there are significant issues in the area as far as resilience like flooding, they would also like to hear input on that as well so that it's at least documented.

Ms. Christie Betancourt commented that New Market Road should be added in the resilience needs list. She provided information on the specific limits and how the TIGER Grant is addressing some areas of concerns. Ms. Colleen Ross asked if the TIGER grant information could be provided to them, so they have a better understanding on how this is being addressed.

Ms. Andrea Halman commented on whether or not Zoom will ever become available for other Immokalee community members to attend other meeting as well like the BPAC. Ms. Dusty Hansen addressed this matter and said that many have noticed that having the ability to attend by Zoom has affected the in-person quorum requirement for the MPO Advisory Committees. However, there are several public workshops, and public meetings that offer virtual participation related to the plans.

She further commented that there may be a public outreach event in Immokalee, at least one for the Long Range Transportation Plan and also for the Transit Development Plan.

Ms. Christie Betancourt asked on the Alternative 5 – Transit Run, and if there are any comments being taken for public transit connectivity.

Ms. Colleen Ross said through the Transportation Development Plan, they are taking public comments. The alternatives help staff in exploring the different ways with a cost feasible plan in mind.

Ms. Christie Betancourt commented that the transit from Lee County Transit to Collier County Transit would benefit many.

Ms. Colleen Ross commented that the needs are there, but they are working through it.

Ms. Dusty Hansen commented that the analysis will be presented in Immokalee in a public workshop as for the connectivity with Lee and Collier, this is something that staff anticipate being incorporated into the Transit Development Plan overall. The Long Range Transportation Plan is a higher-level view of the transit, and the Transit Development Plan goes more into the details of the needs, recommendations, and services. Ms. Dusty Hansen said she will provide the public workshop information to all so that plenty of time is given to spread the word.

Commissioner McDaniel commented that the expansion of transit with Lee and Collier are being discussed within both MPOs.

CRA Staff thanked County staff and Johnson Engineering staff.

CRA Staff will add the needs list to the agenda in the next meeting and continue to take comments.

J. Old Business.

1. Advisory Board update

Staff will provide information in the January meeting.

2. Contractor Maintenance Reports

i. A&M Property Maintenance Report & Schedule (Enclosure 12)

CRA Staff provided Enclosure 12, which is the maintenance report and the look ahead for January. Staff commented that any pending invoices approved and processed are shown in the footnotes of the reports. Staff approved a 50% payment to A&M Property Maintenance for the tree and decorations at the Zocalo. The rest will be paid when everything is put away.

Ms. Christie Betancourt commented that she does have an assignment through the County for the maintenance department to provide a listing of the A&M contract, the work FDOT and A&M does, and to also provide the 60% plans of Main Street, even though it's on a stop work notice. Staff noticed in their walk through that the areas that need improvement on Main Street have been marked.

Ms. Lupita Vazquez Reyes asked if there has been a significant increase with A&M Property Maintenance.

Ms. Christie Betancourt commented that there is a very strenuous solicitation process. Staff have a 3-year contract with 2-year renewable every 5 years. This is the third time A&M has won the bid, in the last round staff received 5 bids but A&M won the bid. Maintenance was in the lower ends of \$175,000, however staff have included other work for A&M, so the cost is up to \$200,000 plus more.

Ms. Lupita Vazquez Reyes asked if Parks and Recreation had any budgeting to help with the Zocalo Maintenance.

Ms. Chrisie Betancourt commented that there is a cost share between the CRA and MSTU for the Zocalo. Parks and Recreation Park Rangers and the Sheriff's Department are still monitoring the area. Parks and Recreation staff have been very helpful with the event and there was a full staff helping CRA Staff during the tree lighting event.

3. Brief Staff Project update

i. Immokalee Sidewalk Phase III – Eustis Ave. and W. Delaware Ave. (Enclosure 13)

Staff provided a staff report so that board and members of the public have an update on this project. The solicitation process ended in September, staff had to make sure that the contractors met all the requirements and had all the paperwork. The selected contractor is Marquee Development, Inc. Staff hope to take this award to the Board of Collier County Commissioners in January, this award is still with Procurement. Staff commented that this was under the cost the staff estimated. The grant received by staff was \$987,000 but the proposed cost is \$1,101,179.50. Staff provided a brief step process once the award is approved.

Mr. Mark Lemke asked how many linear feet of sidewalks are set to be installed. Staff commented that it's 2,500 linear feet on each side, so overall 5,000 feet.

Ms. Lupita Vazquez Reyes asked if water and sewer, and drainage are of any concern in this area. Staff commented that they are working on this project to address the concerns.

Ms. Lupita Vazquez Reyes asked if the Immokalee Water and Sewer have the resources or infrastructure to help address this matter as well. Staff commented that the Immokalee Water and Sewer District have seen the plans and provided comments on most conflicts, however, there are issues at times once work is being done.

ii. First Street Corridor Safety Project update

Staff will provide a staff report at the next meeting. Staff are working to phase this project. A Grant Agreement was presented to the Board of Collier County Commissioners and staff will have an Amendment to the second Agreement for the construction. The staff report at the next meeting will give an update on the progress for this project.

iii. Land Development Code (LDC) update

Staff provided an update. A presentation will be given at the next meeting. The CRA and MSTU Board will be meeting jointly to get an update on added language for a Community Facility (CF) mobile food truck vehicles to be allowed on Community Facility zone areas. The Executive Director, Mr. John Dunnuck, asked that this be presented to the boards.

K. New Business.

No new business.

L. Citizen Comments

Ms. Christie Betancourt commented that the CRA, Immokalee Library and the Shelter for Abused Woman and Children will be presenting at the Interagency Meeting, all are invited to attend. The meeting is today at 11:30 a.m. in this room.

Commissioner McDaniel provided information on the Private Emergency Repair Roads. The Board of Collier County Commissioners approved an amendment to Ordinance 2023-71 to remove roadways that are no longer unpaved, add unpaved private roadways and establish an opt out provision. He commented that in order to do spend taxpayer money on private land, a state of emergency must be declared. He hopes that in the second BCC meeting in January, they will be able to issue the declaration of emergency. Commissioner McDaniel also addressed that when one decides to live on a private road, it their responsibility to fix their own. Since this is the first time something like this is done in Florida, Commissioner McDaniel hopes that this item continues to progress.

M. Next Meeting Date

The CRA Board and MSTU Board will be meeting jointly on Wednesday, **January 15, 2025**, at 8:30 A.M. at CareerSource SWFL.

N. Adjournment

Meeting adjourned at 11:04 A.M.

*\* Zoom Meeting chat is attached to the minutes for the record.*

SITE CONCEPTUAL PLAN FOR SAINVILUS SUBDIVISION

LAKE TRAFFORD RD.

W. MAIN ST.

IMMOKALEE DR.

ROBERTS AVE. W.

PROJECT SITE

LOCATION MAP

SITE DATA TABLE

PROPERTY ADDRESS:	1300 ROBERTS AVE W. 1215 FORRESTER AVE. IMMOKALEE, FL
PARCEL NUMBER:	00121520003 00127565509 00127564005 00127520007
SITE AREA:	4.67 ACRES
UNINCORPORATED AREA:	COLLIER COUNTY
CURRENT ZONING:	RSF-3
FUTURE LAND USE:	MR
EXISTING LAND USE:	SINGLE-FAMILY HOUSE, VACANT
PROPOSED LAND USE:	PUDZ - SINGLE-FAMILY ATTACHED

ADJACENT ZONING / FLU / USE

NORTH: RSF-5 / MR / SINGLE-FAMILY HOMES  
SOUTH: MPUD / CMU / SINGLE-FAMILY HOMES  
EAST: RSF-3 / MR / SINGLE-FAMILY HOMES  
WEST: RSF-3 / CMU / VACANT

LOT BUILDING SETBACKS

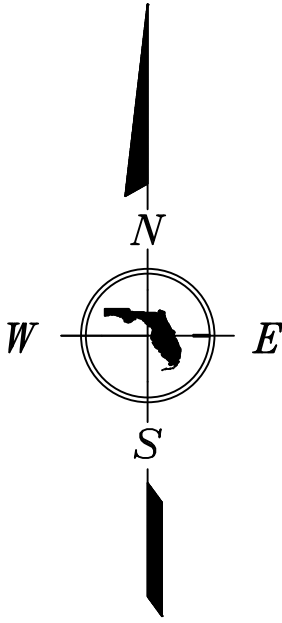
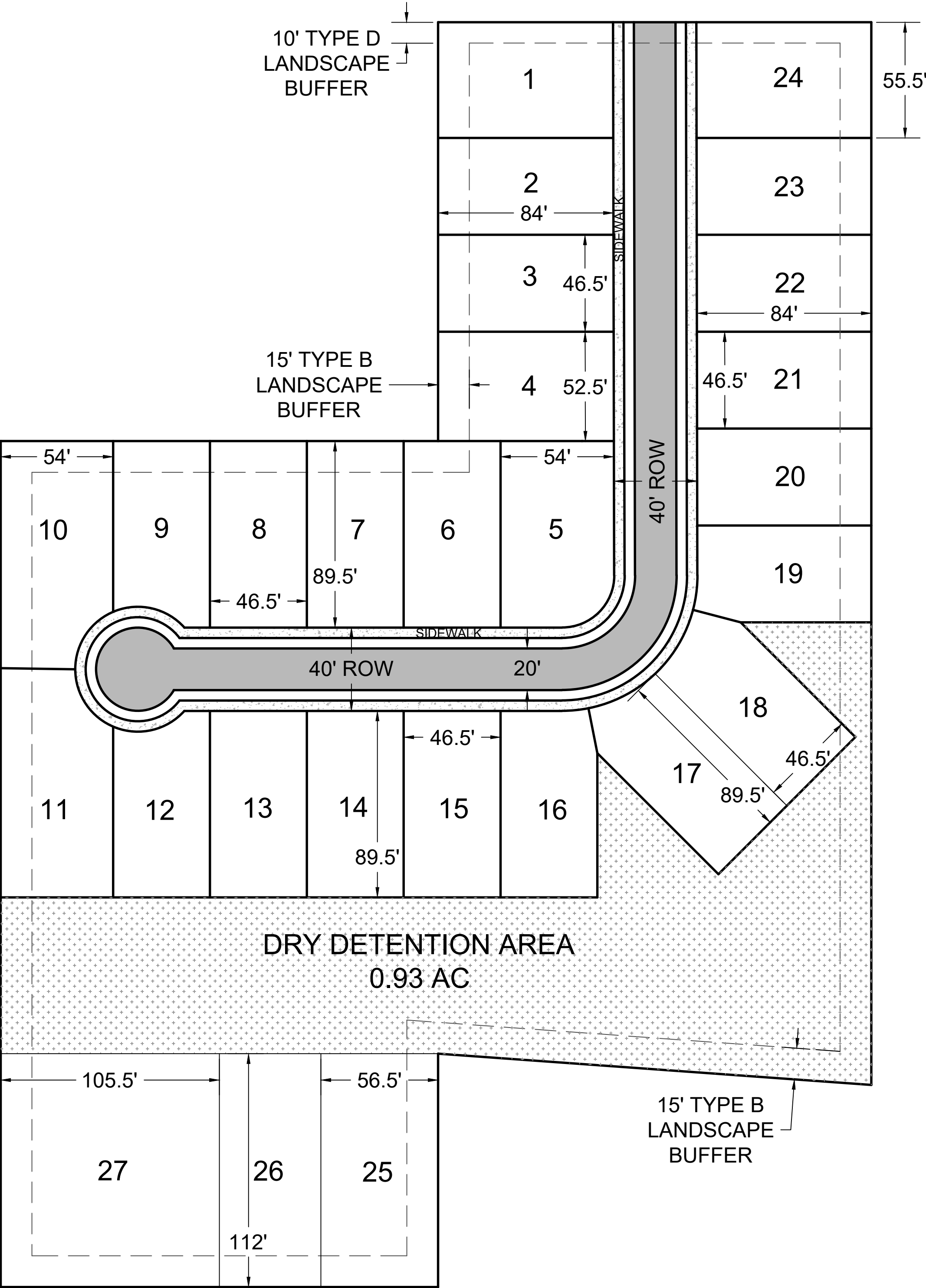
FRONT: 20'  
REAR: 15'  
UNATTACHED SIDE: 7.5'  
SIDES ADJACENT TO ROW: 15'

LAND USE CALCULATION

SINGLE-FAMILY HOME LOTS: 3.21 AC  
RIGHT-OF-WAY: 0.53 AC  
DRY DETENTION: 0.93 AC

LOT CALCULATIONS

MINIMUM LOT DIMENSIONS: 84' X 46.5' = 3,906 SF  
MAXIMUM BUILDING FOOTPRINT DIMENSIONS: 44' X 30' = 1,320 SF  
DRIVEWAY AND WALKWAY FOOTPRINT = +/-500 SF  
MINIMUM OPEN SPACE PROVIDED: 66%



SITE DENSITY

ALLOWABLE BASE DENSITY:  
6 UNITS/AC X 4.67 AC = 28 UNITS  
PROPOSED UNITS: 28 UNITS

PARKING

REQUIRED SPACES:  
27 UNITS X 2 SPACES/UNIT = 54 SPACES  
PROPOSED SPACES:  
1 CAR GARAGE + 1 CAR DRIVEWAY  
27 UNITS X 2 SPACES/UNIT = 54 SPACES

REQUESTED DEVIATION

DEVIATION #1 SEEKING RELIEF FROM LDC  
SECTION 6.06.01.N STREET SYSTEM  
REQUIREMENTS, WHICH REQUIRES MINIMUM  
LOCAL STREET RIGHT-OF-WAY WIDTH OF 60  
FEET.

NOTE

THIS PLAN IS CONCEPTUAL IN NATURE AND IS  
SUBJECT TO MODIFICATION AT THE TIME OF  
AGENCY PERMITTING, PLAT APPROVAL, OR  
DEVELOPMENT ORDER. HOWEVER, ANY SUCH  
MODIFICATIONS SHALL BE IN COMPLIANCE WITH  
THE APPLICABLE LAND DEVELOPMENT CODE (LDC)  
DESIGN STANDARDS AND GUIDELINES.

ENGINEER: CANON SANDORA, PE  
STATE OF FLORIDA LICENSE # 95303  
9201 TANGELO BLVD. FT. MYERS, FL 33967  
CANON@CS-CE.COM WWW.CS-CE.COM  
(239)-692-6738

CANON SANDORA  
CIVIL ENGINEERING, INC.

PROPERTY OWNER:  
SAINVILUS

NO.	DESCRIPTION	DATE

PROJECT:  
SAINVILUS  
SUBDIVISION

EXHIBIT C  
MASTER PLAN

PROJECT NO.  
23-022  
DATE 4/15/24  
BY CGS  
SHEET  
1 OF 1  
SCALE 1"=40'





3525 BONTA BEACH RD. #110  
BONTA SPRINGS, FL 34134  
OFFICE: 239-319-0105  
CELL: 239-877-2500  
WGGLASS@GMAIL.COM

www.g2archinc.com

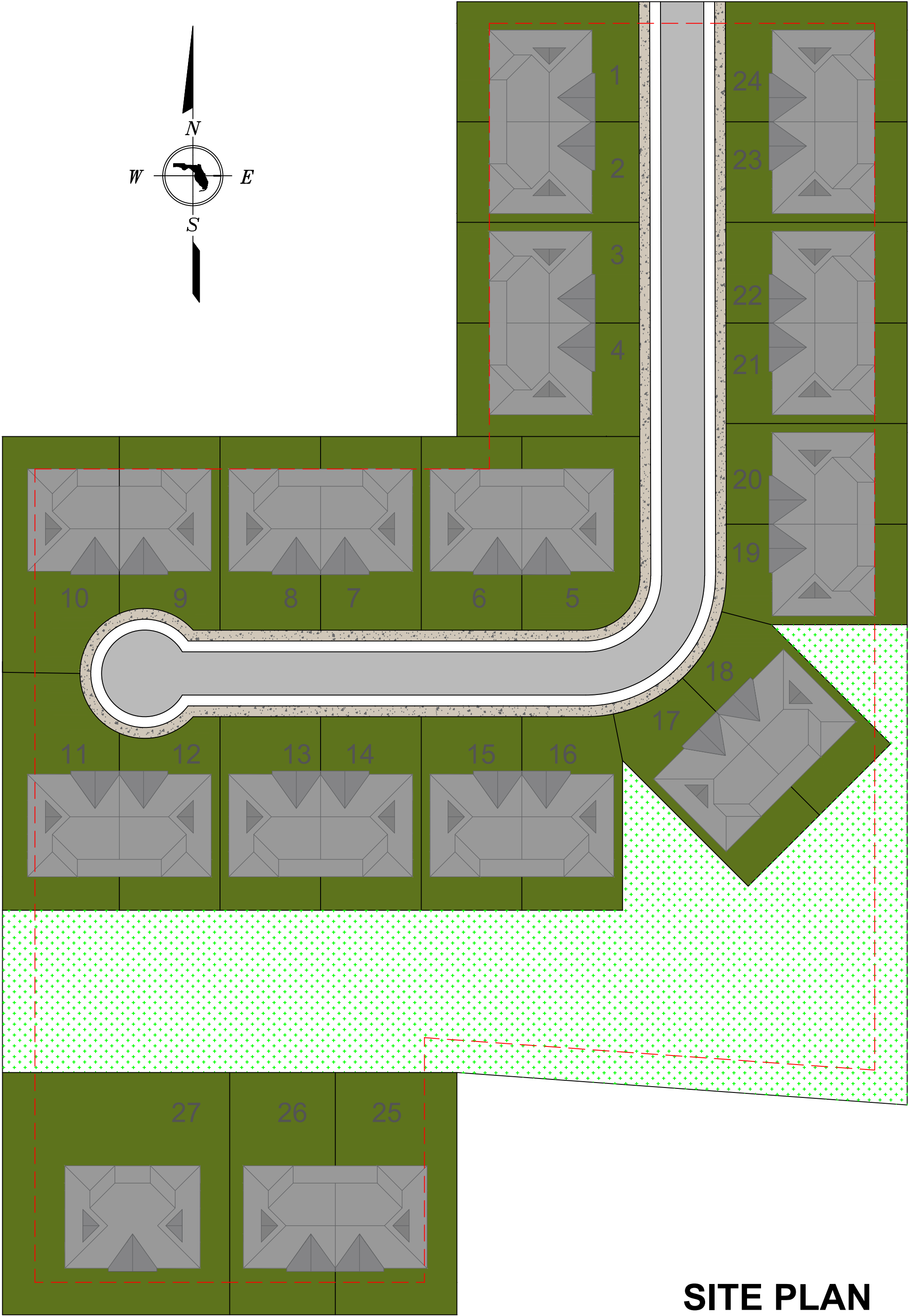
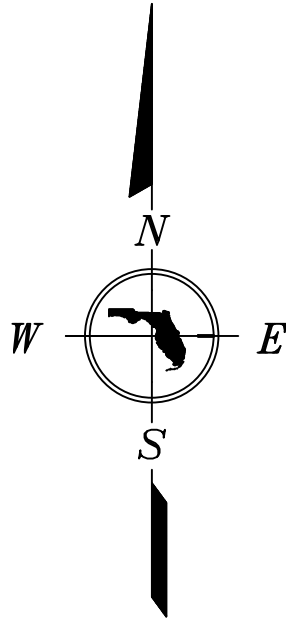
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No.	Description	Date

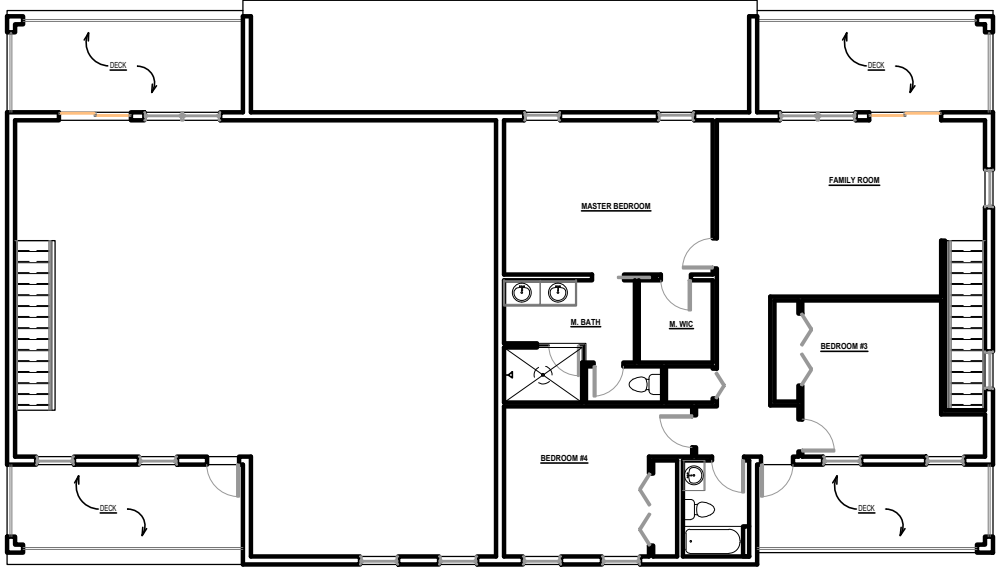
WILLIAM K . GLASS  
#AR 929260  
SEAL:

Project:  
Sainvilus Subdivision

Site Plan - Floor Plans	
Project number	-
Date	12-11-2024
Drawn by	MBR
Checked by	WG
A1	
Scale	As Indicated



**SITE PLAN**  
Scale : 1" = 40'



**SECOND FLOOR PLAN**  
Scale : 1/16" = 1' - 0"



**FIRST FLOOR PLAN**  
Scale : 1/16" = 1' - 0"



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No.	Description	Date

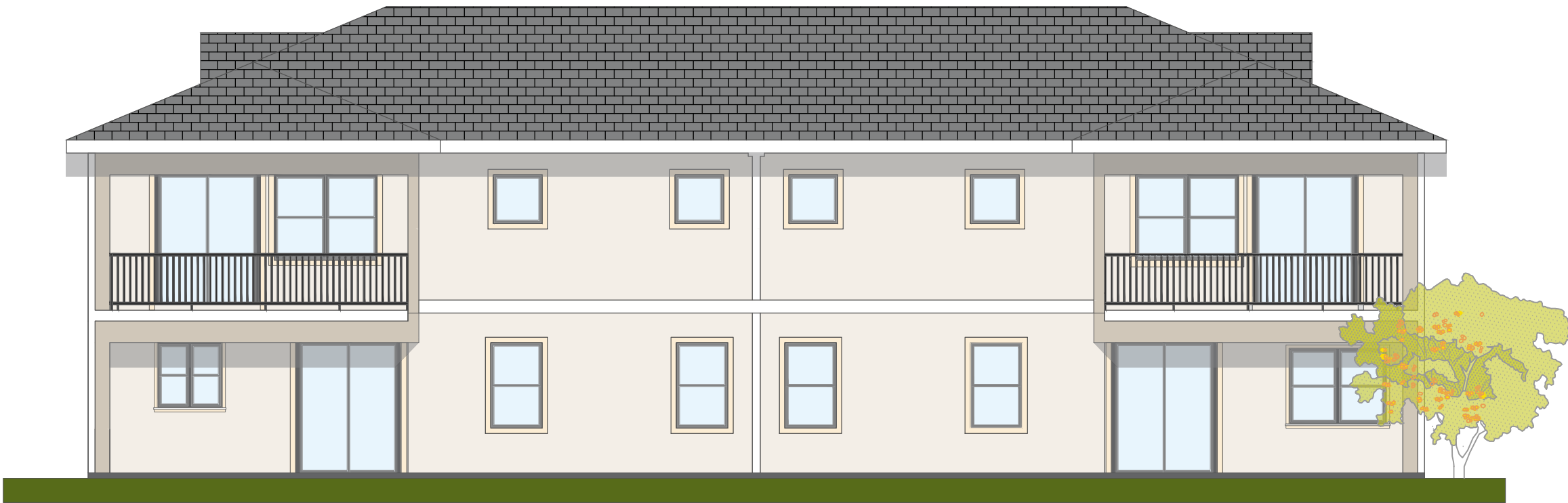
WILLIAM K . GLASS  
#AR 929260  
SEAL:

Project:  
Sainvilus Subdivision

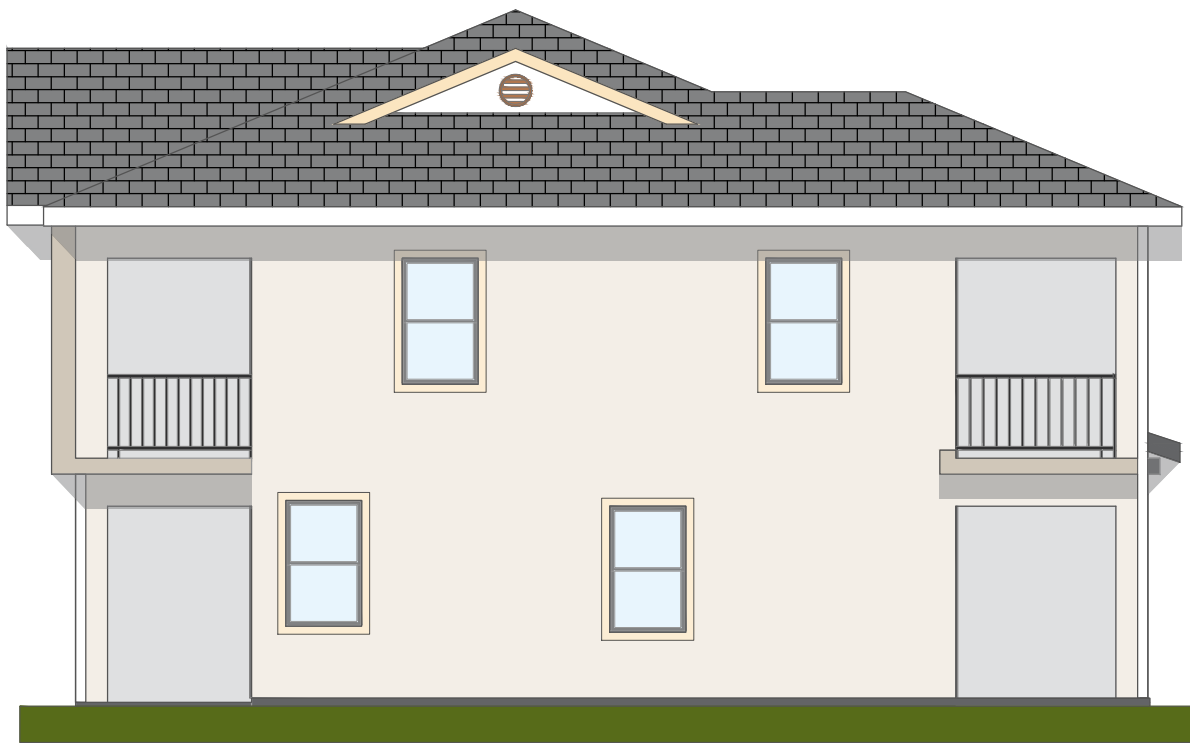
Elevations	
Project number	-
Date	12-11-2024
Drawn by	MBR
Checked by	WG
A2	
Scale	1/8" =1' 0"



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



3525 BONTA BEACH RD. #110  
BONTA SPRINGS, FL 34134  
OFFICE: 239-319-0105  
CELL: 239-877-2500  
WGLASS@GMAIL.COM

www.g2archinc.com

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No.	Description	Date

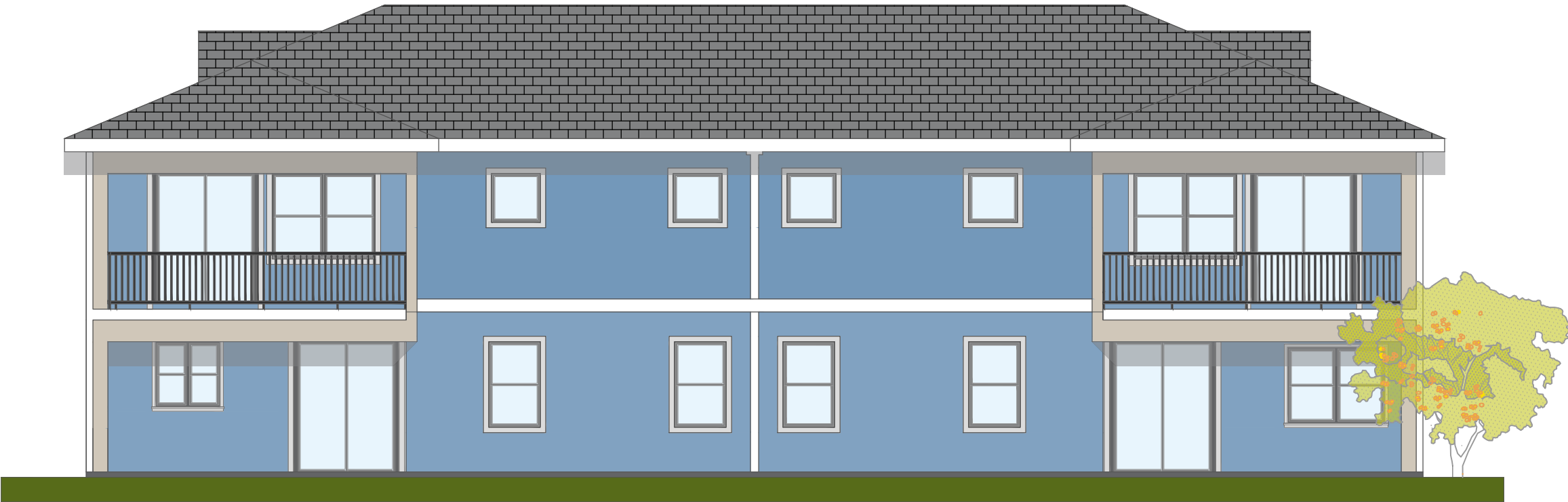
WILLIAM K . GLASS  
#AR 929260  
SEAL:

Project:  
Sainvilus Subdivision

Elevations	
Project number	-
Date	12-11-2024
Drawn by	MBR
Checked by	WG
A2	
Scale	1/8" =1' 0"



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

**Fund 1025 Immokalee Community Redevelopment Agency**  
12/27/2024

Enclosure 2

C.C. 1025-138324

<b>Fund / Comm Item</b>	<b>BCC Adopt Budget</b>	<b>Tot Amend Budget</b>	<b>Commitment</b>	<b>Actual</b>	<b>Available</b>
<b>1025000000 IMMOKALEE REDEVELOPMENT</b>			<b>177,283.38</b>	<b>634,888.79-</b>	<b>457,605.41</b>
<b>REVENUE Sub Total</b>	<b>1,460,100.00-</b>	<b>1,483,665.00-</b>		<b>1,362,699.30-</b>	<b>120,965.70-</b>
<b>REVENUE - OPERATING Sub-Total</b>	<b>7,200.00-</b>	<b>7,200.00-</b>		<b>2,199.30-</b>	<b>5,000.70-</b>
361170 OVERNIGHT INTEREST				1,141.48-	1,141.48
361180 INVESTMENT INTEREST	7,200.00-	7,200.00-		1,057.82-	6,142.18-
<b>CONTRIBUTION AND TRANSFERS Sub-Total</b>	<b>1,452,900.00-</b>	<b>1,476,465.00-</b>		<b>1,360,500.00-</b>	<b>115,965.00-</b>
410001 TRANSFER FROM 0001 GENERAL FUND	1,108,500.00-	1,108,500.00-		1,108,500.00-	
411011 TRANSFER FROM 1011 UNINC AREA MSTD GENERAL	252,000.00-	252,000.00-		252,000.00-	
487999 REIMBURSEMENT INTERDEPARTMENTAL	92,800.00-	92,800.00-			92,800.00-
489200 CARRY FORWARD GENERAL					
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		23,565.00-			23,565.00-
489900 NEGATIVE 5% ESTIMATED REVENUES	400.00	400.00			400.00
<b>EXPENSE Sub Total</b>	<b>1,460,100.00</b>	<b>1,483,665.00</b>	<b>177,283.38</b>	<b>727,810.51</b>	<b>578,571.11</b>
<b>PERSONAL SERVICE</b>	<b>337,700.00</b>	<b>337,700.00</b>	<b>47,664.00</b>	<b>54,230.54</b>	<b>235,805.46</b>
<b>OPERATING EXPENSE</b>	<b>443,700.00</b>	<b>467,265.00</b>	<b>129,619.38</b>	<b>35,679.97</b>	<b>301,965.65</b>
631400 ENGINEERING FEES	50,000.00	73,565.00	23,565.00		50,000.00
634210 IT OFFICE AUTOMATION ALLOCATION	10,700.00	10,700.00	10,700.00		
634970 INDIRECT COST REIMBURSEMENT	29,300.00	29,300.00	29,300.00		
634980 INTERDEPT PAYMENT FOR SERV	160,000.00	160,000.00			160,000.00
634990 LANDSCAPE INCIDENTALS	10,000.00	10,000.00			10,000.00
634999 OTHER CONTRACTUAL SERVICES	45,200.00	45,200.00			45,200.00
639967 TEMPORARY LABOR			2,179.28	7,820.72	10,000.00-
640300 OUT OF COUNTY TRAVEL PROFESSIONAL DEVEL	8,000.00	8,000.00		4,849.27	3,150.73
640410 MOTOR POOL RENTAL CHARGE	600.00	600.00			600.00
641230 TELEPHONE ACCESS CHARGES	200.00	200.00		23.78	176.22
641400 TELEPHONE DIRECT LINE	6,000.00	6,000.00	5,602.88	1,897.12	1,500.00-
641700 CELLULAR TELEPHONE	1,200.00	1,200.00	2,690.96	309.04	1,800.00-
641950 POSTAGE FREIGHT AND UPS	200.00	200.00			200.00
641951 POSTAGE	100.00	100.00		38.72	61.28
643100 ELECTRICITY	3,100.00	3,100.00	2,619.64	380.36	100.00
643400 WATER AND SEWER	3,200.00	3,200.00	3,359.30	440.70	600.00-
644100 RENT BUILDINGS	40,000.00	40,000.00	26,254.80	13,127.40	617.80
644620 LEASE EQUIPMENT	1,800.00	1,800.00	1,370.25	456.75	27.00-
645100 INSURANCE GENERAL	2,400.00	2,400.00	2,400.00		
645260 AUTO INSURANCE	500.00	500.00	500.00		
646360 MAINTENANCE OF GROUNDS ALLOCATED	25,000.00	25,000.00	10,900.00	2,180.00	11,920.00
646430 FLEET MAINT ISF LABOR AND OVERHEAD	600.00	600.00		94.00	506.00
646440 FLEET MAINT ISF PARTS AND SUBLET	100.00	100.00		76.69	23.31
647110 PRINTING AND OR BINDING OUTSIDE VENDORS	3,000.00	3,000.00			3,000.00
648160 OTHER ADS			200.00		200.00-
648170 MARKETING AND PROMOTIONAL	6,000.00	6,000.00	3,500.00		2,500.00
649100 LEGAL ADVERTISING	5,000.00	5,000.00	2,000.00		3,000.00
651110 OFFICE SUPPLIES GENERAL	3,500.00	3,500.00	121.50	192.86	3,185.64
651210 COPYING CHARGES	3,500.00	3,500.00	2,355.77	819.03	325.20

C.C. 1025-138324

<b>Fund / Comm Item</b>	<b>BCC Adopt Budget</b>	<b>Tot Amend Budget</b>	<b>Commitment</b>	<b>Actual</b>	<b>Available</b>
651910 MINOR OFFICE EQUIPMENT	500.00	500.00			500.00
651930 MINOR OFFICE FURNITURE	400.00	400.00			400.00
651950 MINOR DATA PROCESSING EQUIPMENT	10,000.00	10,000.00			10,000.00
652110 CLOTHING AND UNIFORM PURCHASES	500.00	500.00			500.00
652210 FOOD OPERATING SUPPLIES	2,000.00	2,000.00		38.97	1,961.03
652490 FUEL AND LUBRICANTS ISF BILLINGS	1,100.00	1,100.00		249.20	850.80
652920 COMPUTER SOFTWARE	600.00	600.00			600.00
652990 OTHER OPERATING SUPPLIES	1,000.00	1,000.00			1,000.00
652999 PAINTING SUPPLIES	500.00	500.00			500.00
654110 BOOKS PUBLICATIONS AND SUBSCRIPTIONS	400.00	400.00			400.00
654210 DUES AND MEMBERSHIPS	4,500.00	4,500.00		2,639.00	1,861.00
654310 TUITION	1,000.00	1,000.00			1,000.00
654360 OTHER TRAINING EDUCATIONAL EXPENSES	1,200.00	1,200.00			1,200.00
654370 ORGANIZATIONAL DEVELOPMENT	800.00	800.00		46.36	753.64
<b>CAPITAL OUTLAY</b>	<b>22,500.00</b>	<b>22,500.00</b>			<b>22,500.00</b>
763100 IMPROVEMENTS GENERAL	22,500.00	22,500.00			22,500.00
<b>TRANSFERS</b>	<b>637,900.00</b>	<b>637,900.00</b>		<b>637,900.00</b>	
911026 TRANSFER TO 1026 IMM CRA CAPITAL	637,900.00	637,900.00		637,900.00	
<b>RESERVES</b>	<b>18,300.00</b>	<b>18,300.00</b>			<b>18,300.00</b>
991000 RESERVE FOR CONTINGENCIES	18,300.00	18,300.00			18,300.00



## Fund 1629 Immokalee Beautification MSTU

C.C. 1629-162524

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>1629000000 IMMOKALEE BEAUTIFICATION</b>			<b>401,968.42</b>	<b>409,303.91-</b>	<b>7,335.49</b>
<b>REVENUE Sub Total</b>	<b>2,143,900.00-</b>	<b>2,325,090.17-</b>		<b>466,002.93-</b>	<b>1,859,087.24-</b>
<b>REVENUE - OPERATING Sub-Total</b>	<b>636,400.00-</b>	<b>636,400.00-</b>		<b>466,002.93-</b>	<b>170,397.07-</b>
311100 CURRENT AD VALOREM TAXES	629,400.00-	629,400.00-		457,231.96-	172,168.04-
311200 DELINQUENT AD VALOREM TAXES				23.42-	23.42
361170 OVERNIGHT INTEREST	5,000.00-	5,000.00-		4,880.83-	119.17-
361180 INVESTMENT INTEREST	2,000.00-	2,000.00-		3,866.72-	1,866.72
361320 INTEREST TAX COLLECTOR					
<b>CONTRIBUTION AND TRANSFERS Sub-Total</b>	<b>1,507,500.00-</b>	<b>1,688,690.17-</b>			<b>1,688,690.17-</b>
486600 TRANSFER FROM PROPERTY APPRAISER					
486700 TRANSFER FROM TAX COLLECTOR					
489200 CARRY FORWARD GENERAL	1,539,400.00-	1,539,400.00-			1,539,400.00-
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		181,190.17-			181,190.17-
489900 NEGATIVE 5% ESTIMATED REVENUES	31,900.00	31,900.00			31,900.00
<b>EXPENSE Sub Total</b>	<b>2,143,900.00</b>	<b>2,325,090.17</b>	<b>401,968.42</b>	<b>56,699.02</b>	<b>1,866,422.73</b>
<b>OPERATING EXPENSE</b>	<b>469,700.00</b>	<b>650,890.17</b>	<b>401,968.42</b>	<b>46,240.33</b>	<b>202,681.42</b>
631400 ENGINEERING FEES	50,000.00	192,855.65	169,230.40	831.25	22,794.00
634970 INDIRECT COST REIMBURSEMENT	5,400.00	5,400.00	5,400.00		
634980 INTERDEPT PAYMENT FOR SERV	110,000.00	110,000.00			110,000.00
634990 LANDSCAPE INCIDENTALS	30,000.00	30,000.00			30,000.00
634999 OTHER CONTRACTUAL SERVICES	180,000.00	212,380.47	61,356.97	14,500.00	136,523.50
639961 PAINTING CONTRACTORS	20,000.00	20,000.00			20,000.00
641951 POSTAGE	100.00	100.00			100.00
643100 ELECTRICITY	1,800.00	1,800.00	100,000.00	289.26	98,489.26-
645100 INSURANCE GENERAL	1,500.00	1,500.00	1,500.00		
646311 SPRINKLER SYSTEM MAINTENANCE	2,000.00	2,000.00	1,000.00		1,000.00
646318 MULCH	1,600.00	1,600.00			1,600.00
646360 MAINTENANCE OF GROUNDS ALLOCATED	20,000.00	20,000.00	57,527.00	30,553.00	68,080.00-
646451 LIGHTING MAINTENANCE	40,000.00	45,954.05	5,954.05		40,000.00
649010 LICENSES AND PERMITS	2,000.00	2,000.00			2,000.00
649100 LEGAL ADVERTISING	3,000.00	3,000.00			3,000.00
651110 OFFICE SUPPLIES GENERAL	100.00	100.00			100.00
651910 MINOR OFFICE EQUIPMENT	1,000.00	1,000.00			1,000.00
652210 FOOD OPERATING SUPPLIES	500.00	500.00		66.82	433.18
652990 OTHER OPERATING SUPPLIES	500.00	500.00			500.00
652999 PAINTING SUPPLIES	200.00	200.00			200.00
<b>CAPITAL OUTLAY</b>	<b>350,000.00</b>	<b>350,000.00</b>			<b>350,000.00</b>
763100 IMPROVEMENTS GENERAL	350,000.00	350,000.00			350,000.00
<b>TRANSFER CONST</b>	<b>17,200.00</b>	<b>17,200.00</b>		<b>10,458.69</b>	<b>6,741.31</b>
930600 BUDGET TRANSFERS PROPERTY APPRAISER	4,500.00	4,500.00		1,102.82	3,397.18
930700 BUDGET TRANSFERS TAX COLLECTOR	12,700.00	12,700.00		9,355.87	3,344.13
<b>RESERVES</b>	<b>1,307,000.00</b>	<b>1,307,000.00</b>			<b>1,307,000.00</b>
991000 RESERVE FOR CONTINGENCIES	20,500.00	20,500.00			20,500.00
993000 RESERVE FOR CAPITAL OUTLAY	1,286,500.00	1,286,500.00			1,286,500.00

C.C. 1011-163805

Cost Center 163805 Immokalee Rd and SR 29

<b>Fund / Comm Item</b>	<b>BCC Adopt Budget</b>	<b>Tot Amend Budget</b>	<b>Commitment</b>	<b>Actual</b>	<b>Available</b>
<b>163805 IMMOKALEE RD &amp; STATE ROAD 29</b>	<b>237,600.00</b>	<b>237,600.00</b>	<b>174,611.13</b>	<b>46,024.47</b>	<b>16,964.40</b>
<b>EXPENSE Sub Total</b>	<b>237,600.00</b>	<b>237,600.00</b>	<b>174,611.13</b>	<b>46,024.47</b>	<b>16,964.40</b>
<b>OPERATING EXPENSE</b>	<b>237,600.00</b>	<b>237,600.00</b>	<b>174,611.13</b>	<b>46,024.47</b>	<b>16,964.40</b>
634990 LANDSCAPE INCIDENTALS	20,000.00	20,000.00	5,910.00	9,090.00	5,000.00
634999 OTHER CONTRACTUAL SERVICES					
643100 ELECTRICITY	12,000.00	12,000.00	9,331.40	2,018.60	650.00
643300 TRASH AND GARBAGE DISPOSAL	3,000.00	3,000.00	2,169.69	830.31	
643400 WATER AND SEWER	12,500.00	12,500.00	10,573.04	2,226.96	300.00-
646311 SPRINKLER SYSTEM MAINTENANCE	1,000.00	1,000.00			1,000.00
646318 MULCH	3,500.00	3,500.00		3,485.60	14.40
646360 MAINTENANCE OF GROUNDS ALLOCATED	185,000.00	185,000.00	146,627.00	28,373.00	10,000.00
652310 FERTILIZER HERBICIDES AND CHEMICALS	600.00	600.00			600.00



C.C. 1026-138346

## Fund 1026 Immokalee CRA Projects

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>1026000000 IMMOKALEE CRA PROJECT FUND</b>		-	201,215.60	656,178.31-	454,962.71
<b>REVENUE Sub Total</b>	644,100.00-	4,605,475.00-		656,178.31-	3,949,296.69-
<b>REVENUE - OPERATING Sub-Total</b>	6,500.00-	6,500.00-		18,278.31-	11,778.31
361170 OVERNIGHT INTEREST				10,725.55-	10,725.55
361180 INVESTMENT INTEREST	6,500.00-	6,500.00-		7,552.76-	1,052.76
<b>CONTRIBUTION AND TRANSFERS Sub-Total</b>	637,600.00-	4,598,975.00-		637,900.00-	3,961,075.00-
411025 TRANSFER FROM 1025 IMMOKALEE REDEVELOPMENT	637,900.00-	637,900.00-		637,900.00-	
489201 CARRY FORWARD OF ENCUMB AMT BY ADC CODE		3,961,375.00-			3,961,375.00-
489900 NEGATIVE 5% ESTIMATED REVENUES	300.00	300.00			300.00
<b>EXPENSE Sub Total</b>	644,100.00	4,605,475.00	201,215.60		4,404,259.40
<b>OPERATING EXPENSE</b>		318,000.00			318,000.00
634999 OTHER CONTRACTUAL SERVICES		318,000.00			318,000.00
<b>CAPITAL OUTLAY</b>	644,100.00	4,102,475.00	201,215.60		3,901,259.40
763100 IMPROVEMENTS GENERAL	644,100.00	4,102,475.00	201,215.60		3,901,259.40
<b>GRANTS AND DEBT SERVICE</b>		185,000.00			185,000.00
884200 RESIDENTIAL REHAB		185,000.00			185,000.00

## Fund 1026 Project 50243 Imm CRA-Stormw In

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>50243 IMMOKALEE CRA PROJECT FUND</b>		278,000.00			278,000.00
<b>EXPENSE Sub Total</b>		278,000.00			278,000.00
<b>OPERATING EXPENSE</b>		68,000.00			68,000.00
634999 OTHER CONTRACTUAL SERVICES		68,000.00			68,000.00
<b>CAPITAL OUTLAY</b>		210,000.00			210,000.00
763100 IMPROVEMENTS GENERAL		210,000.00			210,000.00

## Fund 1026 Project 50244 Imm CRA-S Sidewalk

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>50244 IMMOKALEE CRA PROJECT FUND</b>		519,800.00	101,215.60		418,584.40
<b>EXPENSE Sub Total</b>		519,800.00	101,215.60		418,584.40
<b>OPERATING EXPENSE</b>		50,000.00			50,000.00
631400 ENGINEERING FEES					
634999 OTHER CONTRACTUAL SERVICES		50,000.00			50,000.00
<b>CAPITAL OUTLAY</b>		469,800.00	101,215.60		368,584.40
763100 IMPROVEMENTS GENERAL		469,800.00	101,215.60		368,584.40

## Fund 1026 Project 50245 Imm CRA-Park &amp; Rec

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>50247 IMMOKALEE CRA PROJECT FUND</b>		50,000.00			50,000.00
<b>EXPENSE Sub Total</b>		50,000.00			50,000.00
<b>OPERATING EXPENSE</b>		50,000.00			50,000.00
634999 OTHER CONTRACTUAL SERVICES		50,000.00			50,000.00

C.C. 1026-138346

## Fund 1026 Project 50246 Imm CRA-Neigh R

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>50246 IMMOKALEE CRA PROJECT FUND</b>		<b>158,875.00</b>	<b>100,000.00</b>		<b>58,875.00</b>
<b>EXPENSE Sub Total</b>		<b>158,875.00</b>	<b>100,000.00</b>		<b>58,875.00</b>
<b>OPERATING EXPENSE</b>		<b>50,000.00</b>			<b>50,000.00</b>
634999 OTHER CONTRACTUAL SERVICES		50,000.00			50,000.00
<b>CAPITAL OUTLAY</b>		<b>108,875.00</b>	<b>100,000.00</b>		<b>8,875.00</b>
763100 IMPROVEMENTS GENERAL		108,875.00	100,000.00		8,875.00

## Fund 1026 Project 50248 Imm CRA-Main St C.

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
<b>50248 IMMOKALEE CRA PROJECT FUND</b>		<b>974,000.00</b>			<b>974,000.00</b>
<b>EXPENSE Sub Total</b>		<b>974,000.00</b>			<b>974,000.00</b>
<b>OPERATING EXPENSE</b>		<b>100,000.00</b>			<b>100,000.00</b>
634999 OTHER CONTRACTUAL SERVICES		100,000.00			100,000.00
<b>CAPITAL OUTLAY</b>		<b>874,000.00</b>			<b>874,000.00</b>
763100 IMPROVEMENTS GENERAL		874,000.00			874,000.00

C.C. 1026-138346

## Fund 1026 Project 50250 Imm CRA-First St

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50250 IMMOKALEE CRA PROJECT FUND	644,100.00	1,114,800.00			1,114,800.00
EXPENSE Sub Total	644,100.00	1,114,800.00			1,114,800.00
CAPITAL OUTLAY	644,100.00	1,114,800.00			1,114,800.00
763100 IMPROVEMENTS GENERAL	644,100.00	1,114,800.00			1,114,800.00

## Fund 1026 Project 50252 Imm CRA-Com Gra

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50252 IMMOKALEE CRA PROJECT FUND		185,000.00			185,000.00
EXPENSE Sub Total		185,000.00			185,000.00
GRANTS AND DEBT SERVICE		185,000.00			185,000.00
884200 RESIDENTIAL REHAB		185,000.00			185,000.00

## Fund 1026 Project 50269 Imm CRA-Lighting

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
50269 IMMOKALEE CRA PROJECT FUND		125,000.00			125,000.00
EXPENSE Sub Total		125,000.00			125,000.00
CAPITAL OUTLAY		125,000.00			125,000.00
763100 IMPROVEMENTS GENERAL		125,000.00			125,000.00

## Fund 1026 Project 80320 Imm Sports Complex Renovations

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
80320 IMMOKALEE CRA PROJECT FUND		1,200,000.00			1,200,000.00
EXPENSE Sub Total		1,200,000.00			1,200,000.00
CAPITAL OUTLAY		1,200,000.00			1,200,000.00
763100 IMPROVEMENTS GENERAL		1,200,000.00			1,200,000.00

C.C. 1027-138315

## Fund 1027 Immokalee CRA Grant

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
1027000000 IMM CRA GRANT		-	93,568.75	30,630.46-	62,938.29-
REVENUE Sub Total		2,129,994.75-		30,630.46-	2,099,364.29-
REVENUE - OPERATING Sub-Total		987,000.00-		2.29	987,002.29-
331555 HUD GRANTS		987,000.00-			987,000.00-
361170 OVERNIGHT INTEREST				2.29	2.29-
CONTRIBUTION AND TRANSFERS Sub-Total		1,142,994.75-		30,632.75-	1,112,362.00-
487999 REIMBURSEMENT INTERDEPARTMENTAL		1,142,994.75-		30,632.75-	1,112,362.00-
EXPENSE Sub Total		2,129,994.75	93,568.75		2,036,426.00
OPERATING EXPENSE		141,623.75	93,568.75		48,055.00
631400 ENGINEERING FEES		141,623.75	93,568.75		48,055.00
CAPITAL OUTLAY		1,988,371.00			1,988,371.00
763100 IMPROVEMENTS GENERAL		1,988,371.00			1,988,371.00

## Fund 1027 Project 33831 First Street Pedestrian Safety Improvements

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
33831 IMM CRA GRANT			93,568.75	30,632.75-	62,936.00-
REVENUE Sub Total		1,142,994.75		30,632.75-	1,112,362.00-
CONTRIBUTION AND TRANSFERS Sub-Total		1,142,994.75		30,632.75-	1,112,362.00-
487999 REIMBURSEMENT INTERDEPARTMENTAL		1,142,994.75		30,632.75-	1,112,362.00-
EXPENSE Sub Total		1,142,994.75	93,568.75		1,049,426.00
OPERATING EXPENSE		141,623.75	93,568.75		48,055.00
631400 ENGINEERING FEES		141,623.75	93,568.75		48,055.00
CAPITAL OUTLAY		1,001,371.00			1,001,371.00
763100 IMPROVEMENTS GENERAL		1,001,371.00			1,001,371.00

## Fund 1027 Project 33873 EDI/CPF

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
33873 IMM CRA GRANT					
REVENUE Sub Total		987,000.00-			987,000.00-
REVENUE - OPERATING Sub-Total		987,000.00-			987,000.00-
331555 HUD GRANTS		987,000.00-			987,000.00-
EXPENSE Sub Total		987,000.00			987,000.00
CAPITAL OUTLAY		987,000.00			987,000.00
763100 IMPROVEMENTS GENERAL		987,000.00			987,000.00

## Immokalee Code Enforcement Open Case Report

December, 2024

Case Number	Case Type	Status	Date Entered	Location Description	Detailed Description
CESD20240011963	SD	Open	12/10/2024	Parcel 41341760000	Installing lighting on poles, RV and storage containers on the property as well.
CESD20240012070	SD	Open	12/13/2024	Folio: 0071960001 - RCMA PUD	RCMA Immokalee PUD has failed to submit their required monitoring report.
CEN20240012200	N	Open	12/18/2024	On the side of the road in front of their home on palm dr	walls of my house when they turn them on and rev their engines in the morning from the times of 4-6am. These trucks should be parked where
CEROW20240012359	ROW	Open	12/23/2024	On Carson in front of the Jubliation subdivision	Semi parked on easement blocking the view of traffic. Tag QA0 0TA
CESD20240011507	SD	Open	12/01/2024	1610 7TH AVE	New addition to home with out permits
CESD20240011515	SD	Open	12/02/2024	1461 Bush Street W	Unpermitted sewer line dug to sevice unpermitted garage conversion.
CESD20240011680	SD	Closed	12/03/2024	A single mobile home that has rooms added on and bathroom plus they are	in progress of more add ons to this residence. Believe 3 rooms have been added additional bathroom and now adding onto front porch. They also are
CENA20240011771	NA	Open	12/04/2024	1103 ALLEGIANCE WAY	litter cardboard boxes, sink, drywall, plastic
CESD20240011813	SD	Closed	12/05/2024	1509 Immokalee Drive	Work being done without permits- electrical, remodeling indoors, etc. Units C15 & C18 ( there may be a lot more than these 2)
CELU20240011943	LU	Open	12/10/2024	901 CHARLOTTE ST	Operating a car wash
CEN20240011991	N	Open	12/11/2024	205 Airpark Rd Immokalee Regional Raceway	barriers erected. They start about 7pm and go after 11:30pm. Makes it hard to sleep.
CENA20240012012	NA	Open	12/11/2024	56405920001 - Vacant Lot School Dr	High Weeds
CENA20240012162	NA	Open	12/17/2024	366 S 8TH ST	High Weeds
CESD20240012242	SD	Open	12/19/2024	1036 Ringo LN, Immokalee	unpermitted additions
CEPE20240012367	PE	Open	12/23/2024	Our Lady of Guadalupe, 205 S 9th St, Immokalee	by cones, especially during special events. This is causing church attendees with disabilities to have to park in available spaces (not

15 cases opened

Code Enforcement Monthly Open Code Cases December 1 - December 31, 2024





**Assistant Director Report**  
**January 06, 2025**

1. **Immokalee Area Master Plan (IAMP) Restudy**

(PL201880002258) Approved by BCC for final adoption on 12/10/2019.

Copy of IAMP as amended by Ordinance 2019-47 can be found at [www.ImmokaleeCRA.com](http://www.ImmokaleeCRA.com) website.

- Implementation schedule was provided at the November 2020 Meeting.
- Staff is continuing with implementation of the Immokalee Initiatives.

2. **Immokalee Area Overlay District LDC Update**

County staff discussed IAMP Policies 6.1.3 (Downtown Pedestrian Amenities) and 3.1.4 (Central Business District) at the CRA meeting on March 17, 2021. The first Land Development Code (LDC) workshop followed on May 19, 2021. On June 16, 2022, the county held a kick-off meeting with The Neighborhood Company (TNC), the project's consultant, followed by a site visit on August 12, 2022. Over the next several months, TNC provided updates, including a February 2023 CRA Advisory Board presentation and a June 2023 joint CRA & MSTU meeting.

In September 2023, TNC submitted a "White Paper" on the Immokalee Land Development Code, followed by workshops and updates in early 2024. By May 2024, TNC presented draft language to the CRA Board and submitted revisions to the county. The Development Services Advisory Committee (DSAC) reviewed the project in July and September 2024.

On September 24, 2024, TNC informed staff that DSAC approved the proposed LDC amendments on September 4. However, concerns arose about implementing architectural design standards on Main Street due to Senate Bill 250, which bans restrictive development requirements until October 2026. TNC is considering omitting these regulations for now. Additionally, the Loop Road Overlay is under review for potential conflicts with existing zoning rules. While the amendments are progressing, these issues may cause delays in the overall timeline.

On October 31, 2024, TNC met with CRA staff and county staff to review county attorney comments. Both issues of concern will be tabled until Senate Bill 250 expires, and the Loop Road is completed. TNC staff will revise the LDC amendments and proceed with the adoption process.

On January 15, 2024, County staff will present updated language that includes provisions for Mobile food dispensing vehicles, may be allowed on lands zoned Community Facility District (CF) within the IUAOD, subject to Conditional Use approval and contingent upon compliance with LDC section 5.05.16.



3. **CRA Office**

Yuridia has accepted the Full Time Employee (FTE) Operations Support Specialist I position start date was November 18, 2024. CRA Staff is collaborating with Facilities Department to prepare office space at the Clerk of Courts building, located at 106 South 1<sup>st</sup> Street or to maintain at CareerSource building.

4. **Redevelopment Plan**

On May 10, 2022, the BCC, acting as the (CRA) board, approved a Resolution recommending approval to the BCC an amendment to the Collier County Community Redevelopment Area Plan.

5. Infrastructure Projects (County) in Immokalee (Not funded by CRA/MSTU)

1) ***Carson Road Project-Eden Park Elementary Safe Routes to School***

- 6' Sidewalk on the south and west side of the road.
- Construction costs is \$1,314,943.50.
- Funded with Safe Routes to School funds.
- Construction to start in FY 24.
- Construction Contract was awarded to Marquee Development on February 27, 2024.



6. Commercial Façade Grant Program

In accordance with objective 1.2 in the Immokalee Area Master Plan, the CRA continues to provide financial incentives to business in Immokalee via the Commercial Façade Improvement grant program. The CRA initiated the Program in October 2008. Since that time, 17 façade grants have been awarded to local businesses for a total of \$294,621.67. Eligible applicants may receive grant funding up to \$20,000 as reimbursement, using a one-half (1/2) to 1 match with equal applicant funding for funding for façade improvements to commercial structures. Program is in place and being reviewed for revisions. No update.



7. FHERO – Florida Heartland Economic Region of Opportunity

Staff attends monthly FHERO board meetings via Zoom or in person. The last FHERO board meeting was held on December 10<sup>th</sup>.

Please see link to view copy of [2021 Retail Demand Analysis](#).

On June 28, 2021, Governor DeSantis issued Executive Order Number 21-149 which re-designated the South-Central RAO for another five-year term with an expiration date of June 28, 2026. For more information on FHERO please visit <https://flaheartland.com/>

The new digital flip-book edition of the **FHERO Guide** is live, active, and public. For complete 32-page guide please visit [http://passportpublications.com/FHERO\\_Guide.html](http://passportpublications.com/FHERO_Guide.html)



8. Immokalee Unmet Needs Coalition

The Immokalee Unmet Needs Coalition (IUNC) is a long-term recovery group that formed in the fall of 2017 as the result of Hurricane Irma. This group is composed of non-profits, faith based, local, state, or national organizations who work together to meet the unmet needs of Immokalee residents impacted by disaster. At the February 2024 IUNC Housing meeting it was announced that the coalition received a Voluntary Organizations Active in Disaster (VOAD) grant for \$100,000 for the Immokalee area to assist the community with disaster improvements due to Hurricane Ian. As of November 2024, IUNC still had some funds available.



The Housing committee meetings are held the second Friday of every month via zoom at 10:00 a.m. The next meeting is scheduled for February 14, 2025, at 10:00 a.m. via Zoom. For information on housing assistance please visit website at: <https://www.colliercountyhousing.com/community-assistance-program/>.

9. Development in Immokalee

1) ***Immokalee Foundation Learning Lab 18-home subdivision***

The Immokalee Foundation Learning Lab 18-home subdivision is currently under construction. Collier Enterprises donated the 8.3 acres of land for a housing subdivision that will serve as a hands-on learning laboratory for student in the foundation's program., Career Pathways: Empowering Students to Succeed. BCB Homes, is serving as the general contractor.



On July 13, 2021, BCC board meeting (Agenda item 16.F.10) board approved a recommendation to direct staff to develop a workforce development grant agreement with The Immokalee Foundation, to offset development costs on the housing subdivision for the Career Pathways Learning Lab, in the amount of \$500,000. The new homes will be sold at market price to support the construction of the other home in the subdivision. The Foundation sold its first home in December 2021 and closed on another home in October 2024. In December the Esperanza (Hope) Model was completed and available for purchase. To date 11 homes have been completed.



2) ***Immokalee Fair Housing Alliance (IFHA)***

The Immokalee Fair Housing Alliance housing development consist of 8 buildings with 16 apartments each or 128 Units in all. Construction will progress in phases. Housing units will be two- and three-bedroom apartments ranging in size from about 750 to 950 square feet. Land clearing started in September 2021.

IFHA has partnered with the Shelter for Abused Woman & Children to allocate 16 apartments for those who have completed the program. They are hoping to break ground on the second building, which will be occupied by members of the Shelter for Abused Woman and Children.

Due to this occurring, the Immokalee Fair Housing Alliance would likely move up the timing for the first children's playground. They have amended their phasing plan to move this amenity up and start a fundraiser for the playground.

At the April 9, 2024, BCC meeting the Board approved an Immokalee Impact Fee Installment Payment Plan Agreement with the Immokalee Fair Housing Alliance Inc., to allow \$195,160.96 in impact fees to be paid over 30 years as a special assessment for the 16 affordable Multi-Family Rental Units within the Immokalee Fair Housing Alliance RPUD Project.

A Move-In Celebration to celebrate the Opening of Building 1 was held on August 23, 2024.

Link to [IFHA Wink News story](https://www.winknews.com/story/news/immokalee-fair-housing-alliance/2024/08/23/immokalee-fair-housing-alliance-opening/118888888/)

For more information, please visit <http://www.ifha.info/>.



3) ***Habitat for Humanity of Collier County Kaicasa Housing Development***

Kaicasa is located at the Southeast corner of Immokalee, on State Road 29 as you enter the agricultural village from the south. The new affordable community will sit adjacent to the existing Farm Workers Village (subsidized housing built in the 1970s for local and migrant farm workers that is often criticized for its conditions). Many Habitat Collier partner families have lived there prior to purchasing their homes. Once complete, this neighborhood will have 280 homes, making it one of the largest Habitat subdivisions in the country.

Construction started in August 2022 and the first homes closed in June 2023. Approximately 32 homes have closed since the summer. There are currently 12 homes under construction. The minimum income to apply is \$35,000 and the maximum up to 80% AMI. Habitat is accepting applications for this development.



For more information, please visit <https://www.habitatcollier.org/communities/kaicasa/>

4) ***Redlands Christian Migrant Association (RCMA) Childcare Development Center and Community Hub***

The RCMA proposed childcare center and community hub consist of childcare classrooms, area office, and playground. The development will accommodate 234 children and 30 employees. Approximately 8 acres will be designation for housing. Q. Grady Minor presented updated plan for the RCMA Immokalee MPUD (PL20200001827) at the CRA June 16, 2021, Board Meeting. RCMA is reviewing partnership options for the development of the recreational fields with Collier County. Construction started in March 2023

Lipman Family Farms, a long-time supporter of RCMA, made a \$3 million donation to the organization; the largest donation Lipman has ever made to any one organization. The groundbreaking for the new campus was held on May 25, 2023. When completed, the \$16.4 million campus will feature two new child development centers, a community center, two soccer fields and a new charter school. The campus is scheduled to open in July 2025.





5) **Casa San Juan Diego PL20230018133 SDP – 133 Hancock Street**

The proposed Casa San Juan Diego Multi-Family affordable housing development in Immokalee is a partnership between the National Development of America, Inc., and the Diocese of Venice to develop 80 affordable rental units on 9.6 acres of land adjacent to Our Lady of Guadalupe Church. The project consists of two buildings, a club house, a multi-use play field, and a multi-use court.

National Development of America, Inc., has received funding from Florida Housing and has applied for Collier County grant funding in February 2024. The development is currently in the design phase with plans to submit permits this year, aiming for a closing date in early 2025. Project updates were presented at the February 21, 2024, CRA Advisory Board Meeting. Bowman Consulting will present project updates at an upcoming CRA meeting.



6) **LGI Homes**

LGI is offering new homes for sale in Immokalee at Arrowhead Reserve. They are one of the largest new home builders in Immokalee. CRA staff received updates from LGI representative.



7) **Pulte Foundation PL20220004087 - PFCF/NSV Immokalee PUD (PUDZ)**

The Nuestra Señora de la Vivienda Community Foundation and the Pulte Family Charitable Foundation are proposing up to 250 single-family homes for rent and an early education center for 250 students. The foundations first presented at the CRA meeting on September 21, 2022, and again on January 18, 2023, followed by a Neighborhood Information Meeting on June 7, 2023. The project was presented to the Collier County Planning Commission on August 17, 2023, and on October 10, 2023, the Board of County Commissioners approved a rezoning ordinance for the PFCF/NSV Immokalee MPUD, allowing up to 250 units (170 affordable) and an early education center on 50± acres northeast of Westclox Street and Carson Road in Immokalee.





The Local Redevelopment Advisory Board requested an update after receiving comments from the County. The Foundation provided updates at the CRA Meeting on April 17, 2024. The community will be named Monarca, symbolized by the Monarch butterfly. A revised site plan includes space for oversized vehicles, and they are in discussions with a local education center about expanding into the early education center. The Foundation will not be involved in developing the 3-acre space.

They are currently submitting a Site Development Plan (SDP) to Collier County for Phase 1, which includes 64 units, a community center, playground, stormwater management, lake, and pathway. Phases 2 or 3 will depend on Phase 1's progress and funding.

Mr. VanValin presented income and rent limits and the project timeline, emphasizing the goal of providing stable, affordable housing for low-income families.



**8) Immokalee Community Campus (PUDZ) (Catholic Charities) PL20240000390**

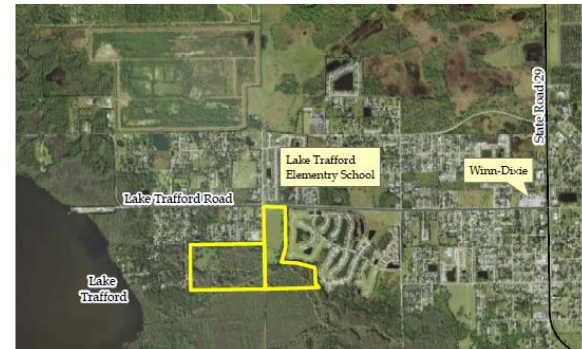
Rezone the property (909 and 917 W. Main Street, and 107 S. 9<sup>th</sup> Street) from C-4 – MSOSD Overlay and RMF-6 to a Mixed-Use Planned Development (MPUD) to allow for 100 multifamily dwelling units ( $\pm 14$  dwelling units per acre); and up to 91,300 square feet of gross floor area (GFA) of limited C-4 Commercial Intermediate District uses. As part of the 91,300 square feet of GFA of commercial uses, the MPUD shall include a community center a minimum of 28,000 square feet in size; a medical clinic and associated medical uses a minimum of 25,000 square feet; and retail/commercial uses a minimum of 10,300 square feet. Rezone application was submitted on May 20, 2024. Application is currently being reviewed by county staff. A meeting is being coordinated to discuss potential on street parking. A Neighborhood Information Meeting (NIM) was held on November 18, 2024.





9) **Williams Farms of Immokalee (James E Williams Jr. Trust)**  
**RPUD (PUDZ) PL20210001434**

Lake Trafford Road near Arrowhead (Property ID# 00113600106 & 0011360009) Current Zoning is A-MHO. 171 acres +/- . Williams Farms applied for a residential community on the south side of Lake Trafford Road. The consultant Daniel Delisi held an information meeting on August 30, 2022. They presented to the CRA on September 21, 2022. The application was approved by the Collier County Planning Commission in April 2023. On May 23, 2023, the Collier County Board of County Commissioners approved Agenda items 17.A. (Ordinance #2023-23).

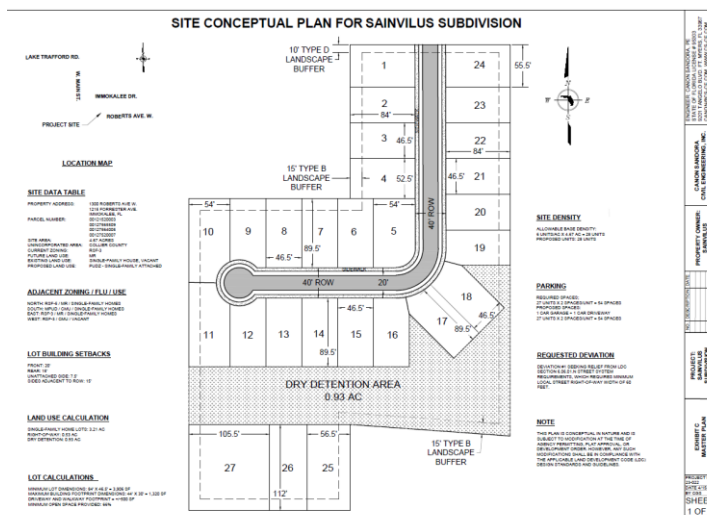


This property is under contract with Collier County as part of the Williams Reserve at Lake Trafford. The land is approximately 2,247 +/- acres of which 412 acres is allocated for affordable housing.

10) **Sainvilus Subdivision PUDZ (PL20230016622)**

Property owner is proposing to rezone 4.52-acre property located at 1215 Forrester Ave. and 1300 Roberts Ave. West. The rezone from RSF-3 to RPUDZ has been proposed to accommodate for new, safe, hurricane resistant single-family units (zero lot line) and detached single-family units on the property (27 units total).

Canon Sandora Civil Engineering, Inc. presented to the CRA board on December 11, 2024, and held a neighborhood information meeting that evening as well.



10. Collier County Parks & Recreation – Immokalee area

CRA staff and Parks & Recreation staff are coordinating monthly meetings to discuss improvements of all Immokalee Parks. Immokalee Parks & Recreation updates are provided in communications folder, when available.

11. Impact Fee Installment Payment Program

The Impact Fee Installment Payment Program was extended for five years on July 25, 2023, by the Board of County Commissioners. For questions, please call Gino Santabarbara at 239-252-2925 or email him at [Gino.Santabarbara@colliercountyfl.gov](mailto:Gino.Santabarbara@colliercountyfl.gov).

Program details:

- Pay your impact fees in installments over a 30-year term.
- Available for single-family, multi-family and commercial projects.
- Non-ad valorem special assessment on property tax bill.

- 5% fixed interest rate (2023 applicants).
- An approved agreement must be executed and recorded prior to issuance of a Certificate of Occupancy or payment of impact fees.
- Assessment is superior to all other liens, titles, and claims, except State, County, and municipal taxes.
- Call or email for complete program requirements.

## 12. Adopt A Road Program

Adopt-A-Road Program Update: The program was dormant for two years due to COVID and staffing changes. In August 2021, Rich Koenigsknecht took over, and Road Maintenance began assessments with Samantha Roe as the primary contact for participation. Initial efforts included identifying active organizations and inspecting signage.

Area 4, encompassing Immokalee, currently has 13 road segments within the CRA boundary (8.75 miles). While 10 segments previously had sponsors, none are currently active. Additional segments can be added based on community interest. Call 252-8924 to request trash pickup after cleanups.

In March 2023, Tonya Phillips shared efforts to revamp the program and update the 1990 resolution. The focus is on reactivating the program, and interested parties are encouraged to call the brochure's contact number. At the March 27, 2024, MSTU Meeting, the board requested a status update, and CRA staff have contacted Transportation Management Services for updates.

## 13. Unpaved Private Road Emergency Repair MSTU (Municipal Service Taxing Unit)

At the March 28, 2023, Board of County Commissioners meeting the Board considered an Ordinance to create a municipal service taxing unit to handle the unpaved private roads. At the December 12, 2023, Board of County Commissioners meeting the Board approved an Ordinance which would create the unpaved private road emergency repair municipal service taxing unit by authorizing a levy of not to exceed one (1.0000) mil of ad valorem taxes per year.

There are approximately 25 roads that contain approximately 13.694 miles of unpaved private road considered impassable for emergency vehicles. The taxable value of the 625 properties benefitting from these roads is estimated to be \$61,452,001. A millage rate of 1.0000 will generate \$61,452 annually. With the average repair cost of \$12,000 per mile, approximately four (4) miles of impassable private lime rock road per year can be repaired.

At the September 24, 2024, Board of County Commissioner meeting the Board made a recommendation to direct the County Attorney to advertise and bring back for a public hearing an amendment to Ordinance 2023-71 to remove roadways that are no longer unpaved, add unpaved private roadways, and establish an opt out provision.

On December 10, 2024, the Board of County Commissioner approved to amend Ordinance 2023-71, which created the unpaved private road emergency repair municipal service taxing unit and provide that the Board of County Commissioners be the Unit's governing body and have a levy of one (1.0000) mil of ad valorem taxes per year.

## 14. Collier County Opportunity Zone Program

This program is a community and economic development tool to drive long-term private investment in low-income communities! Collier County hopes to leverage Opportunity Zones as an important tool to support the development of jobs, affordable housing, and economic vitality in five areas in Golden Gate, Naples Manor and in and around Immokalee. Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators. To become a Qualified Opportunity Fund, an eligible corporation or partnership self-certifies by filing [Form 8996](#), Qualified Opportunity Fund, with its federal income tax return.

Three areas in and around Immokalee, from Lake Trafford to the west to the county line to the east

- 1) [Census Tract 112.05](#) area surrounding Immokalee.
- 2) [Census Tract 113.01](#) area surrounding Immokalee.
- 3) [Census Tract 114](#) area surrounding Immokalee.

*Report by: Christie Betancourt, CRA Assistant Director*

## Project Manager Report 01/07/2025

### 1. **First Street Zocalo Plaza (107 N. 1<sup>st</sup> Street) and Main Street (1<sup>st</sup> Street – 9<sup>th</sup> Street)**

#### i. *Monthly Maintenance*

A&M Property Maintenance (A&M) is currently providing short-term maintenance work and is keeping Zocalo Plaza clean, green, and in a safe condition. Staff prepared a Scope of Work to process an Invitation to Bid for a 3-year term with two (2) one-year renewals to finalize the selection of a contractor to maintain Zocalo Plaza. Procurement posted Solicitation #24-8287 in OpenGov on August 17, 2024. The Notice of Recommended Award was executed on November 18, 2024, to recommend an Agreement with A&M in the amount of \$41,294 annually. Staff awaiting Procurement Services to send Agreement to put on the BCC Agenda. The Agreement will most likely go before the BCC for approval on January 28, 2025.

#### ii. *Holiday*

**Rental Christmas Tree** – A&M has installed and decorated the tree for the December 5<sup>th</sup> Tree Lighting Event. **Zocalo Plaza Decorations** – A&M decorate the Zocalo Plaza with the CRA owned decorations. Decorations were turned on the Friday after Thanksgiving and to be removed after All Kings Day, January 6, 2025, by the weekend of January 11th. Staff has been tasked to identify a community partner to sponsor the holiday decorating for Immokalee in the future.

#### iii. *Banner Arms Replacement*

Due to the May 16, 2024, severe storm in Immokalee, Staff provided a Purchase Order to Simmonds Electrical for the banner arms replacement and they were delivered on November 29, 2024. Simmonds discovered on November 29, 2024, that there were 28 banner arms that needed replacement. Simmonds confirmed there was enough funds to change up to 30 banner arms and the work was completed. Staff filed Claim 50-05162415525 for \$6,996.35 for the storm damage for A&M's invoice of \$1,720 and Simmonds NTE \$5,276.35 quote. Simmons provided an invoice of \$4,010.50. There is a \$500 deductible.

#### iv. *First Street Welcome Sign*

The sign was not illuminating at night. On August 2, 2024, Simmonds Electrical provided a NTE quote of \$677.70 to troubleshoot the sign. The repairs were completed November 30, 2024; and Simmonds provided an invoice on December 31, 2024, in the amount of \$677.70.

### 2. **Immokalee Complete Street (TIGER Grant) Project**

The overall project will create a network of Complete Streets including approximately 20 miles of new sidewalks, improved walkability by filling in sidewalk gaps, a bicycle boulevard network, additional street lighting, landscaping, drainage improvements, and improved bus stops.

These improvements will increase safety for the community. The bus transfer station at the Collier County Health Department on Immokalee Drive is under construction. Estimated project completion is 2025. On July 26, 2024 Staff confirmed there are 388 poles in the final plan, reduced from 406 poles. On July 29, 2024 Johnson Engineering provided streetpole maps of the pole locations and identified the three ownership entities for the Executive Summary on the MSTU Agreement to pay utility expenses approved by the BCC on December 10, 2024. Additional information is available at <https://immokaleecompletestreets.com>.





01.07.25 TIGER Bus Transfer Station



01.07.25 TIGER



01.07.25 TIGER



01.07.25 TIGER



**3. Historic Cemetery Preservation – 815 W Main Street**

Staff identified desired improvements at the cemetery and A&M is to investigate the access to water for irrigation on underground existing pipes under the pavement feeding from the SR29 median once a survey has been completed. Stantec Consulting Services provided a quote of \$27,148 for the Ground Penetrating Radar Survey, Historical Background Research and Final Report, and Boundary and Topographic Survey Tasks. The Notice to Proceed with the Purchase Order was issued to Stantec on October 29, 2024. On January 7, 2024, Stantec advised they are progressing on the project and sought authorization to seek assistance on historical information and archives held by the County, Episcopal Diocese of Florida and the Seminole Tribe.

**4. Main Street Irrigation and Landscaping Improvements**

On August 30, 2024 Staff prepared a draft Scope of Work for irrigation and landscape median improvements to Phase 1 (historic cemetery and medians from 7<sup>th</sup> St to 9<sup>th</sup> St) of the Main Street corridor between 1<sup>st</sup> Street and 9<sup>th</sup> Street. On September 9, 2024, Staff advised to also get quotes for full corridor irrigation from 1<sup>st</sup> Street to 9<sup>th</sup> Street. Staff is to locate a digital version of the existing irrigation plans for Main Street to use on the Solicitation. On October 15, 2024 A&M provided an Estimate of \$3,220 to assess the irrigation lines from the median box to the cemetery to determine if it is operational for irrigation along the perimeter of the cemetery. Awaiting Stantec's survey to commence irrigation work.


**5. Immokalee Sidewalk Phase III (W Delaware and Eustis Avenue)**

Bids for construction were due September 17, 2024. The Design Entity Letter of Recommendation Award (DELORA) was provided by LJA Engineering to Procurement Services on November 6, 2024, recommending Marquee Development Inc. based as the apparent low bidder with a bid of \$1,101,179.50, which is approximately 9% higher than the original Engineer's Opinion of Probable Costs (EOPC) of \$1,007,822.50. The EOPC was prepared nearly two years ago on September 8, 2022. If an inflation rate of 3.5% was applied for two years, the EOPC would be nearly identical to the apparent low bid. On November 22, 2024, Staff provided an Executive Summary to Procurement Services for review. Procurement Services will send the Agreement when ready to Staff to put on the BCC Agenda. The Agreement will most likely go before the BCC for approval on January 28, 2025.

On December 17, 2024, Staff received a quote in the amount of \$1,250 from Lykins-Signtek for the project sign displaying equally sized logos of a grant supporters: US Department of Housing and Urban Development, Department of the Treasury and US House of Representatives; in addition, logos for Collier County and the CRA.

**6. Street Light Poles – No update – Awaiting Claim Refunds**

*Insurance Claim Report: #2B, #8 & #10:*

Pole # and Location	Date of Incident	Quote	Date of Quote	Claim Paid	Date Claim Paid	Comments
#2B Median Pole at N First Street and West Delaware	5/5-5/10, 2023 Discovered on 05/10/23	\$27,138.36	6/7/23			On 05/10/23 notified Traffic Ops of knocked down pole. Staff received incident report from Sheriff's Office on 5/25/23. Quote sent to Risk 6/15/23 & filed Claim. Replacement on hold pending new design of S. 1 <sup>st</sup> St. #500505231937. 12/1/23 Risk will elevate claim & attempt to recover from faulty driver's insurance carrier.
#8 Triangle Awaiting reimbursement.	04/25/22	\$24,669.28	05/24/22	01.31.23 received invoice. Amount Due \$21,904.32 less \$500 deductible. Awaiting reimbursement.		6/21/22 Pole order-ed. Installation completed on 1/10/23. Received invoice on 1/31/23 for \$21,904.32 and sent to Risk for claim reimbursement. 6/13/23 Risk's Adjuster in the subrogation process with the at fault party's insurance carrier.
#10 Main Street Village Apts	09/21/24	Installation Completed.				09/26/23 Traffic Ops filed claim for replacement and will do billing. 5/1/24 Pole installation completed & awaiting invoice from Traffic Ops.



## 7. The Legacy of Huey Howard

### Howard Way (W. Eustis Avenue from 1<sup>st</sup> St to 9<sup>th</sup> St) Roadway Name Change Celebration

The Celebration for Mr. Huey Howard to rename Eustis Avenue to Howard Way will be on January 31, 2025, at 11:00 AM at Dreamland Park, 313 9<sup>th</sup> Street South. Invitation is being created and will be texted and emailed. Some speakers will include Commissioner McDaniel, Amy Patterson/Trinity Scott, Ivan Howard and Gerald Howard. Please save the date and time to attend. The red circle below identifies the location of the ceremony and the yellow is location for the placement of the first “Howard Way” street sign.



*Huey Howard operates a cattle ranch in Immokalee with several hundred head of commercial beef cattle as well as a herd of purebred speckled Beefmaster cows. Photo credit: Jeremiah Wilson*

*Acquiring land didn't come easily for Howard when he came to Florida in the 1950s, but he persevered, breaking barriers and now the ranch comprises close to 7,000 acres. Photo credit: Jeremiah Wilson*

<https://floridafarmfamily.com/farm/home-on-the-ranch-huey-howard-lassos-a-unique-cattle-ranching-legacy/>



*When Huey Howard first arrived in Immokalee from Mississippi in 1953, he knew he wanted to be part of the historic business. Howard and his late wife, Dorcas, started raising cattle, they originally focused on dairy calves. But after repeated struggles with disease decimating their herd, they switched to beef cows.*

*Dorcas, who died in 2018, was a longtime teacher and principal in the Collier County school system, and education was a high priority for the family. The Howards' children were also involved in running the ranch.*

*Today, son Ivan operates the business along with his father, who says he plays a less hands-on role these days. Howard no longer joins Ivan in riding quarter horses and using dogs to round up the cattle. But he still spends time at the ranch on weekends and after he finishes his day job as a labor manager at Petoseed Co. research farm.*

*Howard also keeps busy as a member of the Collier County Farm Bureau board of directors and was recognized in 2021 for his years of service with the Farm Bureau's inaugural Floyd Crews Legacy Award. \**

<https://floridafarmfamily.com/farm/home-on-the-ranch-huey-howard-lassos-a-unique-cattle-ranching-legacy/>

## **8. Immokalee Airport Hanger Expansion**

Global Flight Training Solutions is clearing and filling the land for the construction of new hangers at the Immokalee Airport. The flight school currently employs 15 people and has trained more than 200 pilots since 2019. Global Flight Training Solutions offers specialized training to local and international students.

The business jet storage facilities include hanger space for small, medium and large corporate/private jets and light aircraft and includes facilities for light maintenance for aircraft on-site. Increased jet storage capacity at the Immokalee Airport allows to better serve the aviation community and lends itself to greater revenue-producing opportunities for the airport and surrounding community.





01.07.24 Immokalee Airport Hanger Expansion



*Report by: Yvonne Blair, Project Manager Dated: January 7, 2025*





# Immokalee Community Redevelopment Area (ICRA)

## Projects Updates

January 8, 2025

## Table of Content

### ICRA Projects (Funded by CRA and MSTU)

- **First Street Corridor Pedestrian Safety Improvements**
  - South 1<sup>st</sup> Street From Main Street to School Road/Seminole Crossing Trail
- **Immokalee Sidewalk Phase III**
  - Eustis Avenue & West Delaware Avenue
- **Historic Cemetery Preservation**
  - 815 West Main Street
- **Lake Trafford Road Corridor Lighting Study**
  - Lake Trafford from SR29 (15<sup>th</sup> St.) to Ann Olesky Park & a portion of Carson Road
- **Main Street Corridor Streetscape**
  - SR29 (Main Street) from 9<sup>th</sup> Street to E 2<sup>nd</sup> Street
- **Immokalee Community Campus**
  - SR29 (W Main Street) at South 9<sup>th</sup> Street
- **Immokalee Sports Complex Park Improvement Project**
  - 505 Escambia Street

### Other Projects of Interest

- **Immokalee Complete Streets**
  - Transportation Investment Generation Economic Recovery (TIGER) Grant
- **SR 29 Loop Road**



**Project #:33831-01 & 33831-02**

**Project Sponsor: Immokalee MSTU**

**Project Manager: Yvonne Blair**

**Project Scope:** In 2021 a Conceptual Plan recommended the installation of rectangular rapid beacons at three crosswalks and 11 additional Collier County Traffic Operations light poles. Staff applied for a \$250,000 Community Development Block Grant for the design. On 2/12/24 Procurement Services authorized modifying the Scope to full corridor lighting. Staff applied for 1.2M CDBG funds for construction. Project being divided into PH1 and PH2. Corridor is appx. 4,000 feet.

**CHS CDBG Grant #CD22-03-IMM (Design Only PH1)**

**Design Budget:** \$201,945 CDBG Funds (including CO#1)

**Design Proposal:** Kisinger, Campos & Associates (KCA)

**CDBG Design Funds End:** 10/27/24, extended to **12/26/24 & 1/6/25. Suspend Work Notice 10/7/24. Start Work Notice 11/6/24. Suspend Work Notice 1/5/25.**

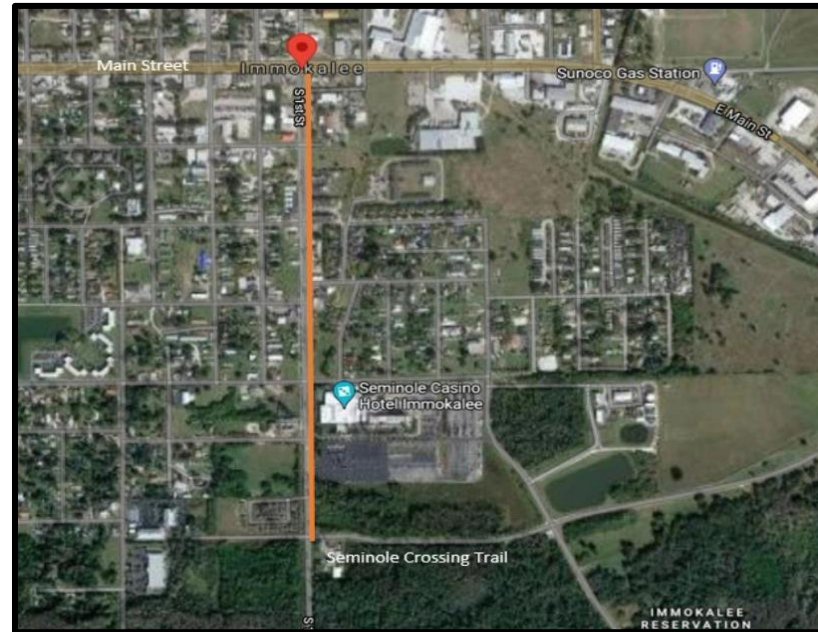
**Construction CD24-02 Budget:** \$1.2M construction with total budget of \$1,575,000 & pending awarded of \$1,001,371 CDBG to be reduced by 1<sup>st</sup> Amendment.

**Architect/Engineer:** KCA

**General Contractor:** TBD

**Notice to Proceed Date:** TBD

**Estimated CD22-03 Completion Date:** PH 1 100% Design Plans submitted 1/3/25. Grant end date 1/6/25.

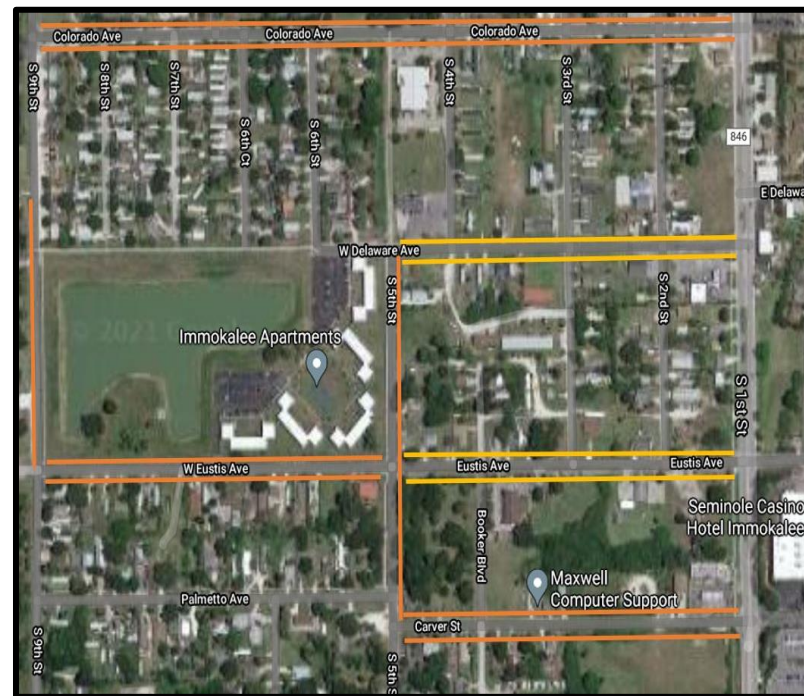


### Milestones/Challenges To Date: 01/08/2025

- Subrecipient Agreement approved by BCC's 9/13/22 for \$250,000 the design project.
- Issued NTP for \$189,990 to KCA on 7/20/23 with a commencement date of 7/21/23.
- 1/17/24 CHS provided an extension from 4/30/24 to 10/27/24 for the Grant. 4/10/24 Issued Stop Work Notice. 4/11/24 received CO #1 (180 days & \$11,955) for full corridor illumination & issued Start Work Notice to KCA. 5/30/24 received PO Mod.
- BCC approved 1.2M construction Grant Application on 2/27/24 #16L1. The Subrecipient Agreement for \$1,001,371 was approved on 9/10/24 16.L.1 BCC Agenda.
- On 7/16/24 CHS ordered the Environmental. Review Report which was completed Dec 2024. Awaiting NTP.
- 8/2/24 Traffic Ops authorized alternative fixtures. KCA reanalyzed the corridor with GE luminaires. On 8/12/24 KCA requested an extension for Final Plans. 10/22/24 First Amendment approved by BCC a 60-day extension to the performance end date (12/26/24). 10/7/24 a Stop Work Notice was issued to KCA. 11/6/24 Start Work with CO2 issued. A Second Amendment approved BCC 12/10/24 Agenda for PH1 to reduced to \$189,000 & extend to 1/6/25. Received 100% PH1 Plans on 1/3/25.
- CD24-02 1<sup>st</sup> Amendment forthcoming to reduce to \$401,371 & performance end of 10/31/25. 11/22/24 requested new Proposal for phasing project from KCA.
- April 2026 deadline for construction competition with or without full grant funding.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	100%
Construction	0%

## Eustis Avenue & West Delaware



Yellow - Proposed Phase 3  
Orange - Phase 1 and 2 (completed in 2018 and 2021)

**Project #: 33873**

**Grant #B-22-CP-FL-0233**

**Project Sponsor:** Immokalee CRA

**Project Manager:** Yvonne Blair

**Project Scope:** A comprehensive sidewalk plan for the southern area of the Immokalee Community. Consists of 6' wide concrete sidewalks as well as drainage improvements along Eustis Avenue and W. Delaware Avenue from S 5<sup>th</sup> Street to S 1<sup>st</sup> Street (approximately 2,500 LF, 5,000 LF for both sides of the roadways).

**Design Budget:** \$114,763 MSTU Funds

**Total Construction Costs:** 100% cost estimate \$1,329,558.10

**Federal Appropriations Funds (Estimated):** \$987,000

**Architect/Engineer:** Agnoli, Barber & Brundage (ABB)

**Stop/Start Work** 9/15/22 Suspend, 6/4/24 Start, 6/6/24 Suspend & 6/17/24 Start, 10/28/24 CO1 & PO Mod extended to 7/31/25. ABB acquired by LJA Engineering.

**Owner's Representative (CEI):** Total Municipal Solutions, Suspend 4/20/23 with 250 remaining days.

**CEI Budget:** \$101,215.60 CRA Funds

**General Contractor:** TBD; **BCC Board Date:** TBD

**Notice to Proceed Date:** 08/16/2021 Design

**Estimated Substantial Completion Date:** 7/31/2025

### Milestones/Challenges To Date: 01/08/2025

- 9/27/23 CRA & MSTU Advisory Boards authorized a cost share for gap funding estimated expenses of \$245,100. 11/14/23 BCC Agenda #16L1 was approved for the Chairman's execution of the Grant Agreement with a Commencement Date of 4/13/24.
- On 7/17/24 the ITB was posted in OpenGov with bids due 9/17/24. DELORA submitted to Procurement 11/13/24 for an award of \$1,101,179.50. 11/22/24 Executive Summary to Procurement for review. Anticipate Construction Agreement on BCC 1/28/25 Agenda.
- On 8/6/24 HUD approved Action Plan and the #01 Performance Report with the Federal Financial Report was submitted via DRGR. New LMA data available and Staff preparing LMA Report with data from recently released 2016-2020 maps.
- 09/27/24 Staff mailed letters to Property Owners announcing project.
- 9/18/24 CAO advised of ROW gap segment on Eustis Ave.
- 10/28/24 Timeline & CO1 for LJA Engineering issued for time extension (end 7/31/25).
- Performance Report #02 with Federal Financial Report due 1/31/25 & with TSMD Grants for approval before submittal to HUD in DRGR. CRA Staff awaiting recertification to DRGR.

DESCRIPTION OF WORK	% COMPLETE
Procurement	90%
Design	100%
Construction	0%



815 West Main Street, PID 00127320003, 0.06 Ac +/-

**District #:** 5

**Project #:**

**Project Sponsor:** ICRA & IMSTU

**Project Manager:** TBD

**Project Scope:** Staff to proceed with the maintenance and preservation of the Historic Cemetery. An appropriate roadmap that defines vision, destinations and outcomes will be drafted to map out both maintenance and restoration milestones and budget(s).

**Location:** 815 W Main St. 28' X 95' (.06 Ac)

**Maintenance Budget:** TBD

**Restoration Budget:** TBD

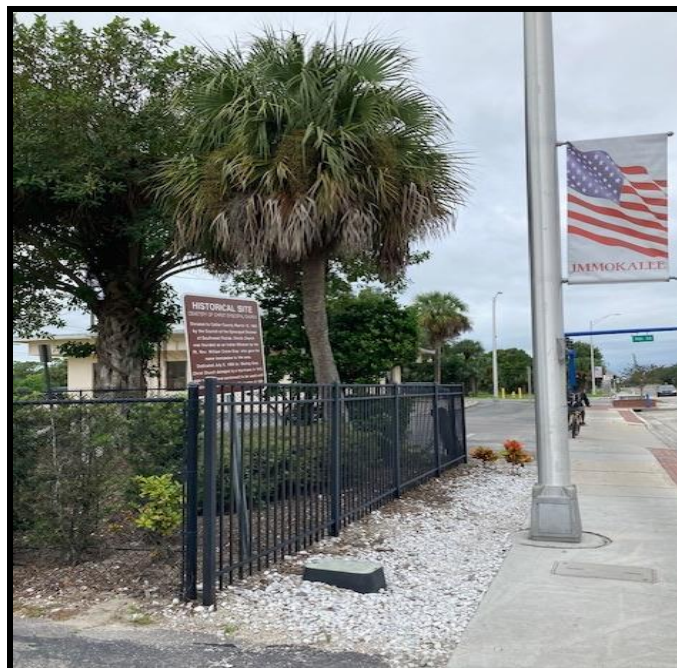
**Team/Partners:** Stantec Consulting (Survey)

**Construction Manager:** TBD

**Landscape Maintenance:** A&M Property Maintenance LLC

**BCC Approval Date:** TBD

**Estimated Substantial Completion Date:** 2026



## Milestones/Challenges To Date: 01/08/2025

- 10/18/23 Advisory Committees reviewed a proposed 5-year plan and approved (1) clean up perimeter, (2) establish Team/partnerships with A&M, Seminoles, BCC Liaison, and Museum, (3) price all tasks, and (4) do exterior tasks in Year 1.
- A&M completed the repair for the alignment/secure signage in concrete, repaired fence and gate on 1/19/24. Existing irrigation lines from median to cemetery are to be investigated to determine if operational.
- Staff had meeting with Stantec's surveyor on 3/19/24. Stantec coordinating with their historical preservation staff. 6/25/24 Received Proposal for survey work, ground penetrating survey and mapping in the amount of \$27,148. On 8/5/24 Staff processed a Work Order & 8/28/24 processed a Request for Purchase Order. 9/10/24 Stantec provided current Authorized Signor form. 10/29/24 Sent Stantec PO & NTP. 1/7/25 Stantec progressing on the project & sought authorization from CRA to contact Church and Tribe. Awaiting Stantec to schedule survey.
- 9/23/24 Staff sent A&M a RFQ for PH1 (W Main medians btw 7th-9th & cemetery) for irrigation and landscaping. 10/16/24 A&M \$3,220 quote for assessment of irrigation for perimeter of cemetery. Need digital version of existing irrigation plans to utilize on scope for full corridor bids. A&M awaiting Stantec's survey.

## DESCRIPTION OF WORK

## % COMPLETE

Procurement

0%

Design

0%

Construction

0%



# Lake Trafford Road Corridor Lighting Study

Lake Trafford from SR29 (15<sup>th</sup> St.) to Ann Olesky Park & a portion of Carson Road

**Project #:** 1026-138346-50246.2 (CRA)  
1629-162524-631400 (MSTU)

**Project Sponsor:** Immokalee MSTU

**Project Manager:** Yvonne Blair

**Project Scope:** Complete a lighting justification study to determine lighting requirements along Lake Trafford Road utilizing LCEC equipment and complete required survey of the corridor. The project will be completed in phases in coordination with the Transportation Division's project consisting of bike lanes and drainage improvements on both sides of Lake Trafford from Little League Road and Laurel Street.

**Location:** Lk Trafford Rd 4.8 mi & Carson Rd .5 mi

**Design Budget:** \$149,930 MSTU Funds/\$100,000 CRA

**Construction Budget (Estimate):** \$3,000,000 – contingent on type of pole and partnership with LCEC.

**Funding:** CRA & MSTU Funds and Grants

**Architect/Engineer:** Jacobs Engineering (Jacobs)

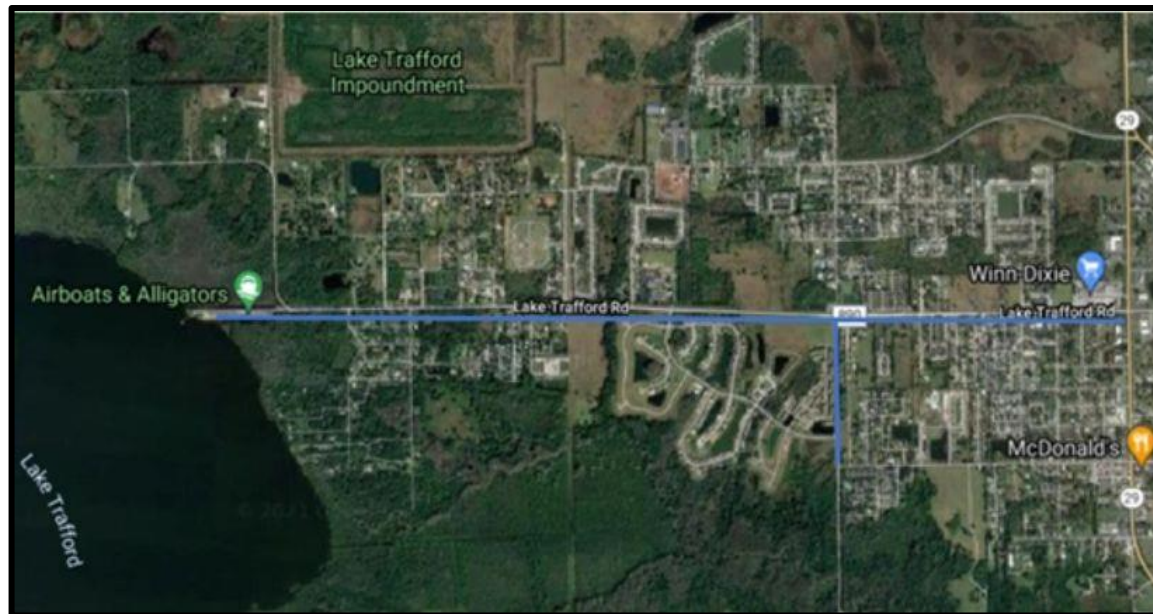
**Owner's Representative (CEI):** TBD

**General Contractor:** TBD

**Notice to Proceed Date:** 05/02/23

**Estimated Substantial Completion Date:** TBD

**Suspend Work Notice:** 04/10/24 w/21 days remaining



## Milestones/Challenges To Date: 01/08/2025 – Suspend Work Notice

- A Work Order was finalized on 3/6/23 with Jacobs to perform a lighting study & prepare the construction plans to be utilized by LCEC and provide limited Subsurface Utility Engineering.
- On 5/1/23 a NTP with a PO in the amount of \$249,930 was issued for Jacobs to commence on 5/2/23. Topographic design surveys were completed 8/11/23. 10/16/23 Jacobs coordinated with LCEC.
- Task 1 – 11/7/23 Jacobs provided the 30% Lighting Study Analysis Report. 11/28/23 Summary of Poles Spreadsheet with the Report sent to County Staff and IWSD. 1/16/24 conference with IWSD, Jacobs & CRA. Task 2 – 3/8/24 Jacobs coordinated with several projects on the corridor & LCEC.
- 4/9/24 Jacobs advised of underground conflicts on the County's Suspend Work Sidewalk Project on the same corridor & requested Suspend Work Notice. 4/10/24 Staff issued Suspend Work Notice to Jacobs while the County's sidewalk project works through utility changes that may impact pole placements and IWSD's funding on project.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	43%
Construction	0%

## SR29 (Main Street) from 9<sup>th</sup> Street to E 2<sup>nd</sup> Street

**Project #:** 1629-162524-631400

**Sponsor:** Immokalee MSTU

**Project Manager:** Yvonne Blair

**Project Scope:** Johnson Engineering (Johnson) had been selected as the Consultant to prepare a Proposal for the design improvements to the streetscape of Main Street Corridor (.61 miles). The project consists of design services, permitting, and construction oversight for streetscape enhancements.

**Design Budget:** \$212,598 MSTU Funds

**Construction Budget (Estimated):** \$2,500,000 CRA & MSTU Funds (Funds may be diverted to First St Project)

**Architect/Engineer:** Johnson Engineering

**Design Notice to Proceed Date:** 9/1/22

**Final Design 100% Plans:** Suspend Work Notice Issued 9/27/23 with 213 remaining days.

**Construction Completion Date:** 9/28/23 Suspend Work Notice Issued on Project.



### Milestones/Challenges to date: 01/08/2025 – Suspend Work Notice

- A NTP was issued to Johnson with a commencement date of 9/1/22. Kick-Off and Site Visit Meeting held on 9/26/22 with Johnson's design team and CRA Staff.
- Johnson's design team conducted Public Meeting #1 11/16/22, Public Meeting #2 on 2/15/23, & Public Meeting #3 on 3/15/23.
- On 6/1/23 Johnson provided preliminary hardscape plants o CRA staff.
- Pre-App with FDOT on 7/18/23.
- An on-site meeting was held on Main Street with Johnson on 7/26/23 with a detailed follow up email to Johnson with questions and concerns for improvements to the corridor.
- On 8/31/23 Johnson provided a Cost Estimate of \$1,945,440.83.
- On 9/27/23 the CRA & MSTU Advisory Boards authorized Staff to stop work with Johnson Engineering until the evaluation of the SR29 Loop Road project is defined & the future conveyance of Main St. to County is investigated. A new scope of Main Street shall enhance features for a pedestrian friendly downtown streetscape.
- A Suspend Work Notice was issued to Johnson on 9/28/23 with 213 remaining days.
- FDOT PM for Loop Road attended the 4/17/24 Joint CRA & MSTU Meeting to provide a Loop Rd updates from (SR29) Oil Well Rd to SR82.
- Staff reviewed roundabout Loop Rd PH1 plans & provided comments on 4/12/24.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	60%
Construction	0%



# Immokalee Community Campus (PUDZ)

Formally CRA owned property located at 107 S 9<sup>th</sup> St

**District #: 5**

**Project #: Immokalee Community Campus (PUDZ)**

**PL20240000390**

**Ninth Street Parcel – (formally owned by CRA)**

**Project Sponsor:** Immokalee CRA

**Project Manager:** Christie Betancourt

**Monitoring Project for Community's Awareness**

**Project Scope:** In May 2021, Catholic Charities submitted a Letter of Intent (LOI) and draft concept plan to purchase the CRA property to complete the assembly of appx. 7 acres at the corner of Ninth Street and Main Street in downtown Immokalee. The concept plan includes a mix of uses including urgent care facility, improved social services, community meeting room, administrative offices, retail space and affordable housing. Folio # 01228400009, 1.96 Ac., Zoning RMF-6 with C-4 MSOSD.

**Property closed on 8/29/23.**

**Architect/Engineer:** Bowman Consulting Group

**Construction Manager:** TBD

**Buyer:** Catholic Charities Diocese of Venice, Inc. (Catholic Charities)

**Buyer's Representative:** Chancellor Volodymyr Smeryk Interim CEO

**BCC Approval Date:** 04/11/23

**Estimated Substantial Completion Date:** TBD

**Final Completion Date:** TBD



## Milestones/Challenges To Date: 01/08/2025

- On 4/11/23 BCC/CRA 16B1 approved Purchase Agreement with a Sales Price of \$600,000 plus closing costs. Transaction closed on 8/29/23. Deed recorded at OR Book 6282, Page 2959. Post-closing milestones:
- 2/15/24 Catholic Charities requested a 90-day extension to the full rezoning application deadline. 2/20/24 Deputy County Manager extended to 5/20/24. Rezone application includes a Catholic Community Center, Catholic Clinic with related medical offices, and/or retail/commercial space on the property in accordance with the Conceptual Plan (Exhibit B of the Purchase Agreement). HMA, CRA & LCEC's design engineer met on 5/29-30 on relocating power line.
- Within 6 years of approval of rezone application & adoption of the rezone ordinance, Catholic Charities must have substantial completion of project.
- If Purchaser fails to meet the timelines including extensions, a reverter clause may be applied with written notice.
- The proposed on-street parking in place of on-site parking is being reviewed by the County. NIM was conducted on 11/18/24, 5PM, at Catholic Charities Guadalupe.
- Awaiting Rezone approval.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	0%
Construction	0%

## Immokalee Sports Complex

505 Escambia Street

**District #: 5**

**Project #:**

**Project Sponsor: Collier County Parks & Recreation**

**Project Manager:**

**Monitoring Project for Community's Awareness**

**Project Scope:** This project includes soccer fields, providing for the conversion of two (2) existing grass fields to artificial turf, construction of an additional restroom facility, addressing stormwater management issues.

**Design Budget:**

**Construction Budget (Estimated):** \$4,000,000

CRA Capital Funds (1026) \$1,200,000; Parks & Recreation & County CIP allocated \$2,800,000.

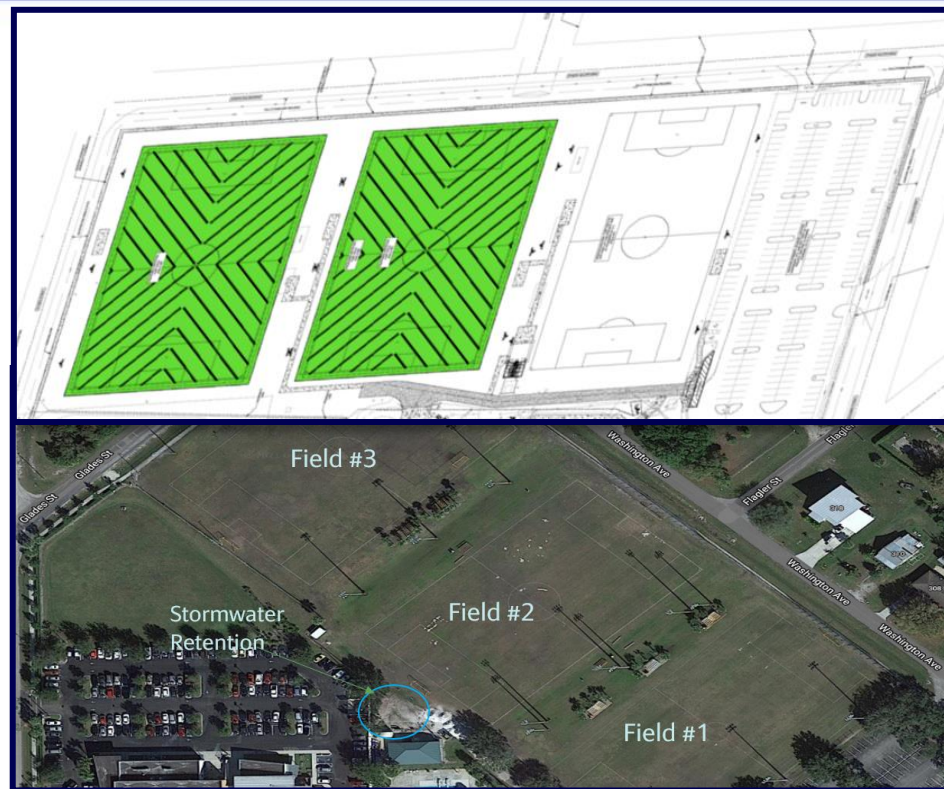
**Architect/Engineer:**

Stantec Consulting Services Inc.

**Design Notice to Proceed Date:**

**Final Design 100% Plans:**

**Construction Completion Date:**



### Milestones/Challenges To Date: 01/08/2025

- Staff provided the Immokalee “Fields of Dreams” Park Initiative as part of the Strategic Planning Project Prioritization list at the 01/17/24, CRA Advisory Board Meeting.
- On 02/21/24, the CRA Advisory board approved allocating \$1,200,000 of CRA Capital Funds (1026) for the Park Initiative.
- Staff explored collaborations with Collier County including Parks & Recreation and local non-profits that can address the current and future needs for sports fields. The first selected project is the Immokalee Sport Complex.
- On 06/11/24, the BCC approved a \$4,000,000 capital project budget for the renovation of the Immokalee Sports Complex.
- CRA’s contribution of 1.2M for Sports Complex improvements were discussed at the CRA Workshop with BCC on 7/23/24.
- On 11/12/24, BCC will award Stantec Consulting Services Inc., \$804,263.65 for professional services for the Immokalee Sports Complex Turf Field Conversion and Pool Renovation Project.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	0%
Construction	0%



## Transportation Investment Generation Economic Recovery

**District #: 5**  
**Project #: 33563**

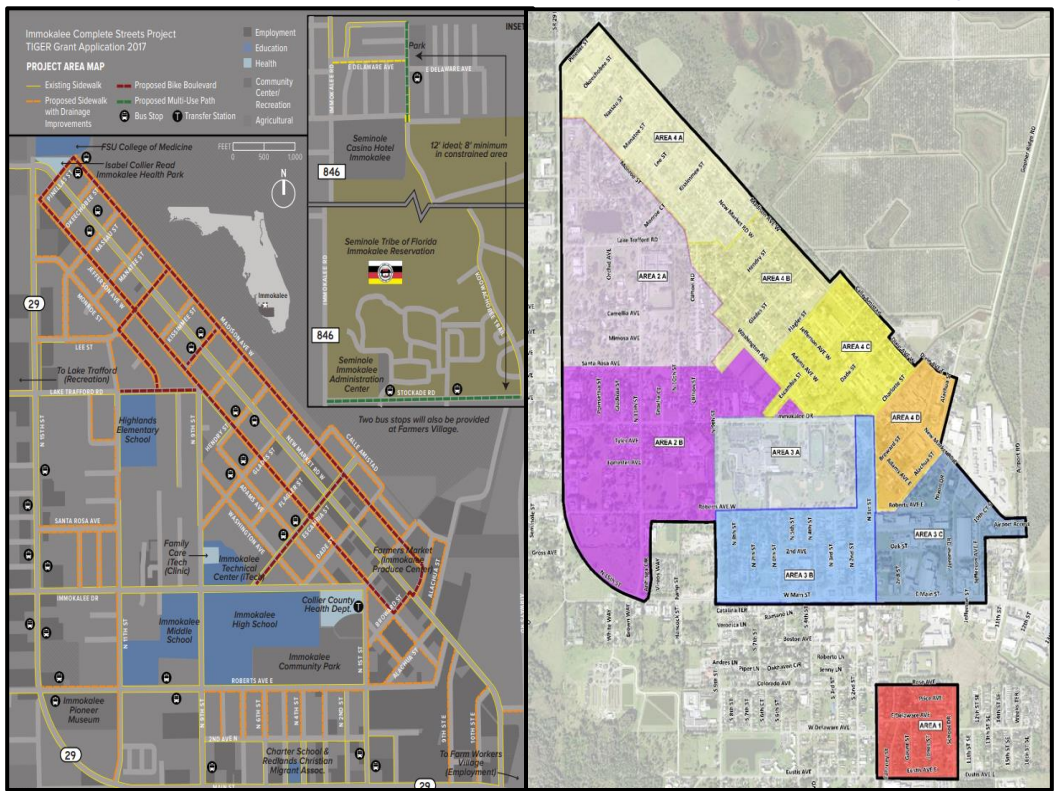
**Project Sponsor:** BCC  
**Project Manager:** Michael Tisch, Transportation Engineering  
**Monitoring Project for Community's Awareness**  
**Project Website:** <https://immokaleecompletestreets.com>

**Project Scope:** This project includes design and construction of 20 miles of concrete sidewalks, a boulevard network, shared-use path, streetlights, bus shelters, a new transit center and landscaping. Five corridors and 38 intersections were recommended for lighting. The Immokalee MSTU will be funding the streetlight electric bill after the completion of the project.

**Construction Budget:** \$22,869,280 Funding sources: FHWA grant funds (\$13,132,691) & County match funds (\$9,736,589)  
**Architect/Engineer:** Q Grady Minor PA (QGM)  
**Construction Manager:** Quality Enterprises USA (QE)  
**Owner's Representative (CEI):** Kisinger Campo & Associates  
**Contact Info:** Cella Molnar & Associates  
<https://immokaleecompletestreets.com/contact-2/>

**BCC Approval Date:** 02/08/22  
**Estimated Substantial Completion Date:** April 2025

Procurement	100%
Design	100%
Construction	85%

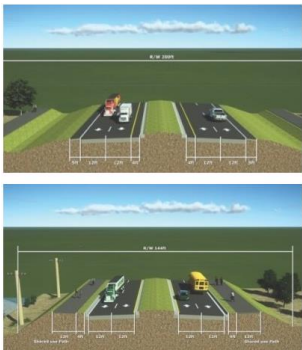


### Milestones/Challenges To Date: 01/08/2025

- Areas 1, 2 & 3 – Contractor has completed construction in Areas 1, 2 & 3.
- Area 4 – Construction is ongoing in Area 4A/B/C/D.
- Area 5 – Contractor completed construction in Area 5.
- Bus Transfer Station – Construction is ongoing.
- Continuous Street Lighting – LCEC is in the process of installing the proposed lights associated with the TIGER project. The majority of the lighting is anticipated to be completed by the end of Jan 2025. Lighting within Area 4A as the drainage and sidewalk infrastructure is complete.
- 7/26/24 Staff confirmed 388 poles with County for Johnson Engineering. Johnson provided maps of light pole locations and identify entity (LCEC, County, or MSTU) who owns pole and determine utility expenses for Executive Summary for the Agreement. On 11/6/24 Staff discussed language for Executive Summary for MSTU payment of LCEC utility lighting invoices.
- Executive Summary for MSTU payment of utility bills was approved on BCC 12/10/24 Agenda.
- Q Grady Minor to provide CRA an update by the 10<sup>th</sup> of each month.

District #: 5  
Project #: 417540-5

Project Sponsor: FDOT  
Project Manager: Sean Pugh, P.E., Design Project Manager  
**Monitoring Project for Community's Awareness**  
Project Website: <https://www.swflroads.com/project/417540-5>



**Project Scope:** The intent of the loop road is to remove much of the truck traffic from SR29 through Immokalee on Main Street and New Market Road West where the western position of that street is primarily residential. The loop road interconnects on Airport Access Road and Alachua Street will provide direct access from the loop road to intensive industrial, grower, packing and shipping districts along New Market Road. Project is 3.35 miles.

**Construction Budget:** Estimated 85 M  
**Architect/Engineer:** WH Lochner, Inc.  
**Construction Manager:** TBD  
**Owner's Representative (CEI):** TBD  
**Project Contact:** Kimberly Warren, [Kimberly.Warren@dot.state.fl.us](mailto:Kimberly.Warren@dot.state.fl.us), 863.808.0958

**BCC Approval Date:** TBD  
**Estimated Completion of PD&E Study:** Summer 2024  
**Estimated Substantial Completion Date:** 2026

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	15%
Construction	0%



## Milestones/Challenges To Date: 01/08/2025 – No update

- The FL Legislature approved a 4B budget for the “Moving Florida Forward” Project. This project will construct a new alignment of SR29 as a 4-lane divided roadway with drainage improvements on the corridor to serve as a loop around downtown Immokalee area. FDOT’s Environmental Manager attended the 4/17/24 Joint CRA & MSTU Meeting to provide a Loop Rd update with video presentation [www.SR29Collier.com](http://www.SR29Collier.com). In person public meeting was on 4/18/24 & online 4/23/24 <https://bitly.ws/3fFYL>.
- 7/16/24 FDOT PM presented update to the East of 951 Ad Hoc Advisory Board.
- The PD&E Study commenced in the Summer of 2007 and received approval from the FDOT Office of Environmental Management on 6/19/24 (cost of \$4,551.635).





## Project Manager Field Observations January 7, 2025

A recap of the Project Manager's January 7, 2025, Field Observations of the Beautification Area Improvements since next Field Observation (Walking Tour is scheduled for Monday, January 13, 2025).

### *1) First Street Zocalo Plaza/Landscape Maintenance*

#### **A&M:**

The 11<sup>th</sup> Annual Tree Lighting Event was at Zocalo Plaza on December 5, 2024. Our thanks to the A&M Team for all they did to make the Zocalo Plaza a Holiday Wonderland. The removal of the Zocalo Plaza decorations and streetlight pole decorations and banners are scheduled to be removed the weekend of January 11th. Our community enjoyed the tree and decorations this holiday season. Staff has been tasked to identify a community partner to take over the holiday decorating for Immokalee in 2025 and thereafter.



01.07.25 Zocalo Plaza The holiday décor will be removed. The homeless still occupy the Plaza.



2) Improvements on Main Street (between 1<sup>st</sup> and 9<sup>th</sup>)

**A&M:** A&M is cleaning the streets according to their schedule and their work continues to be satisfactory. They pressure wash the sidewalk areas on W. Main Street between 1<sup>st</sup> Street and 9<sup>th</sup> Street on a quarterly basis.

**Main Street:** The corridor on W. Main Street between 1<sup>st</sup> Street and 9<sup>th</sup> Street looked satisfactory and clear of litter and chickens. Homeless were present near the Frienship House for food distribution of cupcakes.



01.07.25 Litter free streetscape and holiday street pole decorations are being removed.



01.07.25 Staff reported to WWebber to replace #20 light pole cover and the work was completed the same day.





Crash Site at 704 W Main Street on 11.14.24 Claim #50-11142415802



01.07.25 A&M had removed crash debris and PVC pipe, cut rebar, poured concrete to smooth the surface



01.07.25 A&M had smoothed the crash site surface to be free of trip hazards



Observation of Overgrown vegetation along Main Street near Mr. 99 and China Buffet.



01.09.2024 area has been mowed.

## **Upcoming Community Events**

*Updated 01/07/2025*

### **Collier County Board of County Commissioners (BCC) Meeting**

**Date:** 01/14/2025 at 9:00 a.m.

**Location:** Board of County Commissioners Chambers, 3<sup>rd</sup> floor, Collier County Government Center  
3299 Tamiami Trail E. , Naples, FL 34112

Watch Live Online: <http://tv.colliergov.net/CablecastPublicSite/>

### **Collier County Public School (CCPS) Board Meeting**

**Date:** 01/15/2025 at 9:00 a.m.

**Location:** Dr. Martin Luther King Jr. Administrative Center/ Live Online  
5775 Osceola Trail., Naples, FL 34109

Watch Live Online: <https://www.collierschools.com/educationlive>

### **Immokalee Water and Sewer District (IWSD) Board of Commissioners Meeting**

**Date:** 01/15/2025 at 3:30 p.m.

**Location:** Immokalee Water and Sewer District  
1020 Sanitation Road., Immokalee, FL 34142

For more information call : 239.658.3630

Or visit website at <https://www.immokaleewatersewer.com/>

### **Collier County Public School (CCPS) Board Work Session Meeting**

**Date:** 01/15/2025 at 4:30 p.m.

**Location:** Dr. Martin Luther King Jr. Administrative Center/ Live Online  
5775 Osceola Trail., Naples, FL 34109

Watch Live Online: <https://www.collierschools.com/educationlive>

### **Affordable Housing Advisory Committee Meeting**

**Date:** 01/16/2025 at 9:00 a.m.

**Location:** Collier County Growth Management Department – Conference Room 609/610  
2800 Horseshoe Drive N., Naples, FL 34104

### **Immokalee Fire Control District – Board of Fire Commissioners Meeting**

**Date:** 01/16/2025 at 3:00 p.m.

**Location:** IFCD Headquarters (Fire Station 32) / Live Online  
5368 Useppa Drive, Ave Maria, FL 34142

For more information call: 239.657.2111

Join Live Online: <https://immfire.com/view-live-meeting/>

**4-H Livestock Show \*Free Event\***

**Date:** 01/16/2025 at 7:00 p.m.

**Location:** Immokalee Pioneer Museum at Roberts Ranch  
1215 Robers Ave., Immokalee, FL 34142  
For more information call: 239.252.2611

**4-H Livestock Show \*Free Event\***

**Date:** 01/17/2025 at 7:00 p.m.

**Location:** Immokalee Pioneer Museum at Roberts Ranch  
1215 Robers Ave., Immokalee, FL 34142  
For more information call: 239.252.2611

**4-H Livestock Show \*Free Event\***

**Date:** 01/18/2025 from 10:00 a.m. to 1:00 p.m.

**Location:** Immokalee Pioneer Museum at Roberts Ranch  
1215 Robers Ave., Immokalee, FL 34142  
For more information call: 239.252.2611

**Immokalee Water and Sewer District (IWSD) Groundbreaking Event**

**Date:** 01/24/2025 at 10:00 a.m.

**Location:** Carson Road Water Treatment Plan  
1204 Carson Road, Immokalee, FL 34142  
For more information call : 239.658.3630

**Immokalee Community Taskforce Meeting**

**Date:** 01/27/2025 at 10:00 a.m.

**Location:** CareerSource SWFL Conference Room  
750 South 5th Street, Immokalee, FL 34142  
Liaison is Cristina Perez, Code Enforcement Supervisor

**Collier County Board of County Commissioners (BCC) Meeting**

**Date:** 01/28/2025 at 9:00 a.m.

**Location:** Board of County Commissioners Chambers, 3<sup>rd</sup> floor, Collier County Government Center  
3299 Tamiami Trail E. , Naples, FL 34112  
Watch Live Online: <http://tv.colliergov.net/CablecastPublicSite/>

**Howard Way Roadway Name Change Celebration**

**Date:** 01/31/2025 at 11:00 a.m.

**Location:** Dreamland Neighborhood Park  
313 9th Street South, Immokalee, FL 34142



### **Collier County Public School (CCPS) Board Meeting**

**Date:** 02/05/2025 at 9:00 a.m.

**Location:** Dr. Martin Luther King Jr. Administrative Center/ Live Online  
5775 Osceola Trail., Naples, FL 34109

Watch Live Online: <https://www.collierschools.com/educationlive>

### **Collier County Board of County Commissioners (BCC) Meeting**

**Date:** 02/11/2025 at 9:00 a.m.

**Location:** Board of County Commissioners Chambers, 3<sup>rd</sup> floor, Collier County Government Center  
3299 Tamiami Trail E. , Naples, FL 34112

Watch Live Online: <http://tv.colliergov.net/CablecastPublicSite/>

### **Collier County Public School (CCPS) Board Work Session Meeting**

**Date:** 02/12/2025 at 9:00 a.m.

**Location:** Dr. Martin Luther King Jr. Administrative Center/ Live Online  
5775 Osceola Trail., Naples, FL 34109

Watch Live Online: <https://www.collierschools.com/educationlive>

### **Immokalee Interagency Meeting**

**Date:** 02/12/2025 from 11:30 a.m. to 1:00 p.m.

**Location:** Careersource SWFL  
750 South 5<sup>th</sup> Street., Immokalee, FL 34142

### **Immokalee Water and Sewer District (IWSD) Board of Commissioners Meeting**

**Date:** 02/12/2025 at 3:30 p.m.

**Location:** Immokalee Water and Sewer District  
1020 Sanitation Road., Immokalee, FL 34142

For more information call : 239.658.3630

Or visit website at <https://www.immokaleewatersewer.com/>

### **Immokalee Fire Control District – Board of Fire Commissioners Meeting**

**Date:** 02/13/2025 at 3:00 p.m.

**Location:** IFCD Headquarters (Fire Station 32) / Live Online  
5368 Useppa Drive, Ave Maria, FL 34142

For more information call: 239.657.2111

Join Live Online: <https://immfire.com/view-live-meeting/>



**Bicycle & Pedestrian Advisory Committee (BPAC) Meeting**

**Date:** 02/14/2025 at 9:00 a.m.

**Location:** Collier County Government Center IT Training Room Administration Building F, Fifth Floor  
3299 Tamiami Trail East., Naples, FL 34112

For more information call: 239.252.5814

If you have a community event you would like us to add to the list or a correction that needs to be made, please send to [Yuridia.Zaragoza@colliercountyfl.gov](mailto:Yuridia.Zaragoza@colliercountyfl.gov) or call at 239-867-0025

## LAND DEVELOPMENT CODE AMENDMENT

**PETITION**

PL20240004278

**ORIGIN**

Board of County  
Commissioners (Board)

**SUMMARY OF AMENDMENT**

This Land Development Code (LDC) amendment renames the Immokalee Urban Overlay District to the Immokalee Urban Area Overlay District (IUAOD). All existing provisions of the Immokalee Urban Overlay District, including its seven subdistricts would be superseded by the new IUAOD and its seven subdistricts. LDC amendments are reviewed by the Board, Collier County Planning Commission (CCPC), Development Services Advisory Committee (DSAC), and the Land Development Review Subcommittee of the DSAC (DSAC-LDR Subcommittee).

**HEARING DATES**

Board	TBD
CCPC	TBD
DSAC	09/04/2024
DSAC-LDR	07/29/2024

**LDC SECTION TO BE AMENDED**

2.03.07	Overlay Zoning Districts
2.06.01	Generally
4.02.27	Specific Design Standards for the Immokalee—State Road 29A Commercial Overlay Subdistrict
4.02.28	Specific Design Standards for the Immokalee—Jefferson Avenue Commercial Overlay Subdistrict
4.02.29	Specific Design Standards for the Immokalee—Farm Market Overlay Subdistrict
4.02.30	Specific Design Standards for the Immokalee—Agribusiness Overlay Subdistrict
4.02.31	Specific Design Standards for the Immokalee—Central Business Overlay Subdistrict
4.02.32	Specific Design Standards for the Immokalee—Main Street Overlay Subdistrict
4.02.33	Specific Design Standards for New Mobile Home Lots in the Immokalee Urban Overlay Subdistrict
5.03.02	Fences and Walls, Excluding Sound Walls

### ADVISORY BOARD RECOMMENDATIONS

**DSAC-LDR**

No vote taken

**DSAC**
Approval
**CCPC**

TBD

**BACKGROUND**

The Immokalee Area Planning Commission was formed in 1965 and Immokalee was governed under separate zoning regulations until 1982. The LDC would be amended later that year to define the Immokalee Area Planning District. In 1991, the Board adopted provisions for the Immokalee Central Business District, providing written and graphical boundaries of the district. In 1997, the Board adopted another ordinance for the Immokalee area, establishing the State Road 29 Commercial Overlay District (SR29COD) and the Jefferson Avenue Commercial Overlay District (JACOD). These overlay districts were superseded the following year when the Immokalee Overlay District (Ordinance 1998-63) was established, which redesignated the SR29COD and the JACOD as subdistricts of the overlay. Ordinance 1998-63 also established three additional subdistricts: Farm Market Overlay Sub-District, Agribusiness Overlay Sub-District, and the Immokalee Central Business Sub-District. The Immokalee Overlay District would be amended in 2000 when the Main Street Overlay Subdistrict was added. The Non Conforming Mobile Home Park Overlay Subdistrict was established in 2002. Exhibit “A” provides a list of LDC amendments specific to Immokalee between 1982 and today.



When the County adopted the Growth Management Plan (GMP) in 1989, it recognized there was a need to have a separate Sector Plan for the Immokalee Community. In addressing this need, the County adopted the Immokalee Area Master Plan (IAMP) as part of its batch amendments in connection with Ordinance 1991-15. The IAMP is in addition to, and supplements the goals, objectives, and policies of the GMP. The major purposes of the IAMP were to create better coordination of land use and transportation planning, stimulate redevelopment and/or renewal of blighted areas, and to eliminate land uses inconsistent with the community's character. The IAMP was amended 14 times between its initial adoption and 2019, when substantial changes were made connection with Ordinance 2019-47. The most recent amendment to the IAMP occurred in 2023, which added the Transit Oriented Development Subdistrict.

In 2000, the Board created a Community Redevelopment Agency (CRA) to focus on the rehabilitation, conservation, or redevelopment of two distinct geographic areas in the County, one of which being the Immokalee Community Redevelopment Area. Later that year, the Board adopted the Community Redevelopment Plan (Resolution 2000-181) for a 30-year timeframe. The Community Redevelopment Plan was amended in 2019 and 2022, which extended the term of the Immokalee Redevelopment Area to 2052. The amendment in 2022 outlined five goals for future redevelopment efforts for Immokalee, based on community input: Celebrating Culture, Economic Development, Housing, Infrastructure, and Implementation/Administration.

This LDC amendment was created in coordination with the Immokalee CRA and a Consultant with the intent to improve the existing LDC regulations to better implement the intent of the updated IAMP. The team worked with community stakeholders to analyze the existing regulations, including subdistricts; permitted, conditional and accessory uses; permitted and bonus densities; and dimensional and design standards, to identify conflicting provisions and potential impediments to redevelopment efforts. Substantive changes include but are not limited to the following: reorganization of existing overlay subdistricts and creation of new subdistricts; updated overlay maps; introduction of architectural and site design standards for the overlay; introduction of use tables per subdistrict; and reorganization of development standards for the various subdistricts.

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**FISCAL & OPERATIONAL IMPACTS**

There are no anticipated fiscal or operational impacts associated with this amendment.

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**GMP CONSISTENCY**

The proposed LDC amendment has been reviewed by Comprehensive Planning staff and may be deemed consistent with the IAMP.

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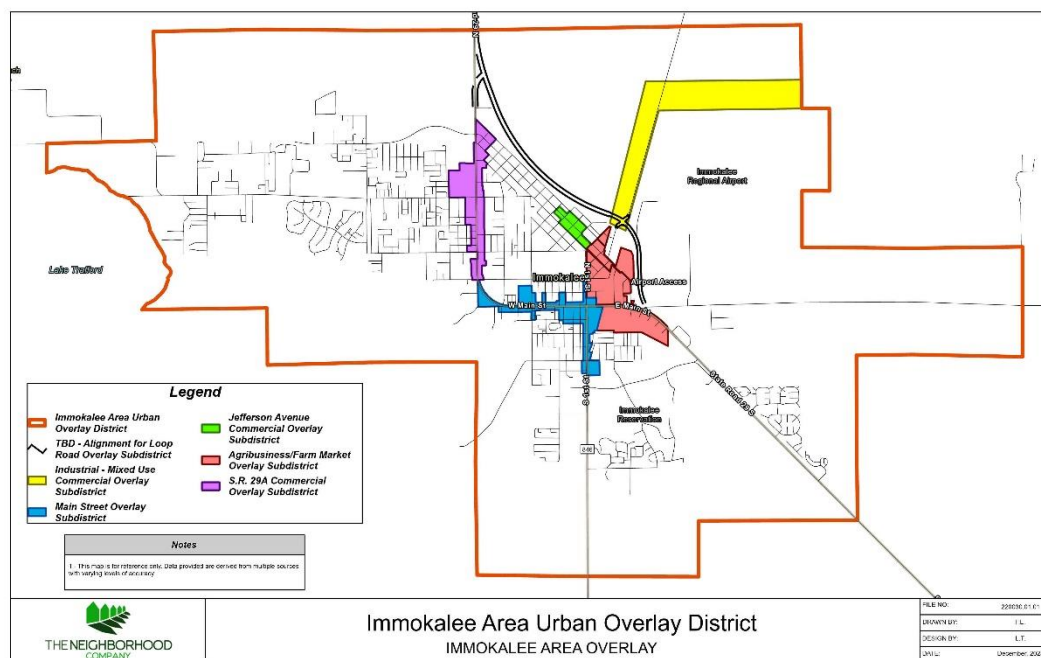
**EXHIBITS:** A) List of LDC Amendments

**DRAFT**Text underlined is new text to be added~~Text strikethrough is current text to be deleted~~**Amend the LDC as follows:****2.03.07 - Overlay Zoning Districts****G. Immokalee Urban Area Overlay District (IUAOD).**

1. Purpose and intent. The purpose and intent of the IUAOD is to implement the goals, objectives, and policies of the Immokalee Area Master Plan (IAMP) and establish development criteria suitable for the unique character and land use needs of the Immokalee Community. This section, along with LDC section 4.02.27, provides support and implements the community's vision and the goals, objectives, and policies established through the IAMP.

2. Applicability.

a. These regulations shall apply to the Immokalee Urban Area Overlay District as identified by the designation "IUAOD" on the official Collier County Zoning Atlas Maps. The boundary of the IUAOD is delineated on the Map below:



**Map 1 - Immokalee Urban Area Overlay District Boundary**

b. The use regulations within this LDC section and the design standards of LDC section 4.02.27 shall apply to all properties within the IUAOD as depicted on Map 1.

c. Properties within the IUAOD may establish uses, densities, and intensities in accordance with the IUAOD or the underlying zoning classification.

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However, in either instance, the design standards of the IUAOD pursuant to LDC section 4.02.27 shall apply.

- d. Planned Unit Developments (PUDs) that existed prior to XXX (date), and properties with Provisional Uses (PU) approved prior to XXX, including amendments or boundary changes to these PUDs and Provisional Use properties, are not subject to the IUAOD requirements. Any PUD proposed after XXX (date) shall apply the provisions of the IUAOD, unless a deviation is approved in accordance with LDC section 4.02.27 J.

### 3. Establishment of subdistricts.

- a. Main Street Overlay Subdistrict (MSOS). The purpose of this subdistrict is to encourage development and redevelopment by enhancing and beautifying the Main Street area through design and development standards that promote an urban form and a walkable environment. The subdistrict is identified on Map 2 below and further identified by the designation "MSOS" on the applicable official Collier County Zoning Atlas Maps.



Map 2 – Main Street Overlay Subdistrict

- b. State Road 29A Commercial Overlay Subdistrict (SR29OS). The purpose of the SR29OS designation is to encourage appropriate commercial development along SR 29A. These commercial uses must be located on a major arterial or collector roadway. The provisions of this subdistrict are intended to provide broader commercial uses along the SR-29 corridor and with development standards contained in LDC section 4.02.27 D. to ensure coordinated access and appropriate landscaping and buffering compatible with nearby residential properties. The subdistrict is identified on Map 3

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below and further identified by the designation "SR29OS" on the applicable official Collier County Zoning Atlas Maps.



Map 3 – S.R. 29A Commercial Overlay Subdistrict

c. Reserved.

d. Jefferson Avenue Commercial Overlay Subdistrict (JACOS). The purpose of the JACOS designation is to provide retail, office, transient lodging facilities and highway commercial uses that serve the needs of the traveling public. These commercial uses must be located on a major arterial or collector roadway. The provisions of this subdistrict are intended to provide increased commercial opportunity along Jefferson Avenue with development standards contained in LDC section 4.02.27 G.; and ensure coordinated access, appropriate landscaping and buffering to be compatible with nearby residential properties. The subdistrict is identified on Map 5 below and further identified by the designation "JACOS" on the applicable official Collier County Zoning Atlas Maps.



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Map 5 – Jefferson Avenue Commercial Overlay Subdistrict

e. Agribusiness/Farm Market Overlay Subdistrict (AFOS) The purpose of the AFOS designation is to support the agriculture industry and related businesses. The provisions of this subdistrict are intended to allow uses such as production, processing, and distribution of farm-based goods, as well as ancillary and accessory uses, including but not limited to, retail sales, warehousing/storage, equipment repair and agricultural technology and research. The subdistrict is identified on Map 6 below and further identified by the designation "AFOS" on the applicable official Collier County Zoning Atlas Maps.

Map 6 – Agribusiness/Farm Market Overlay Subdistrict

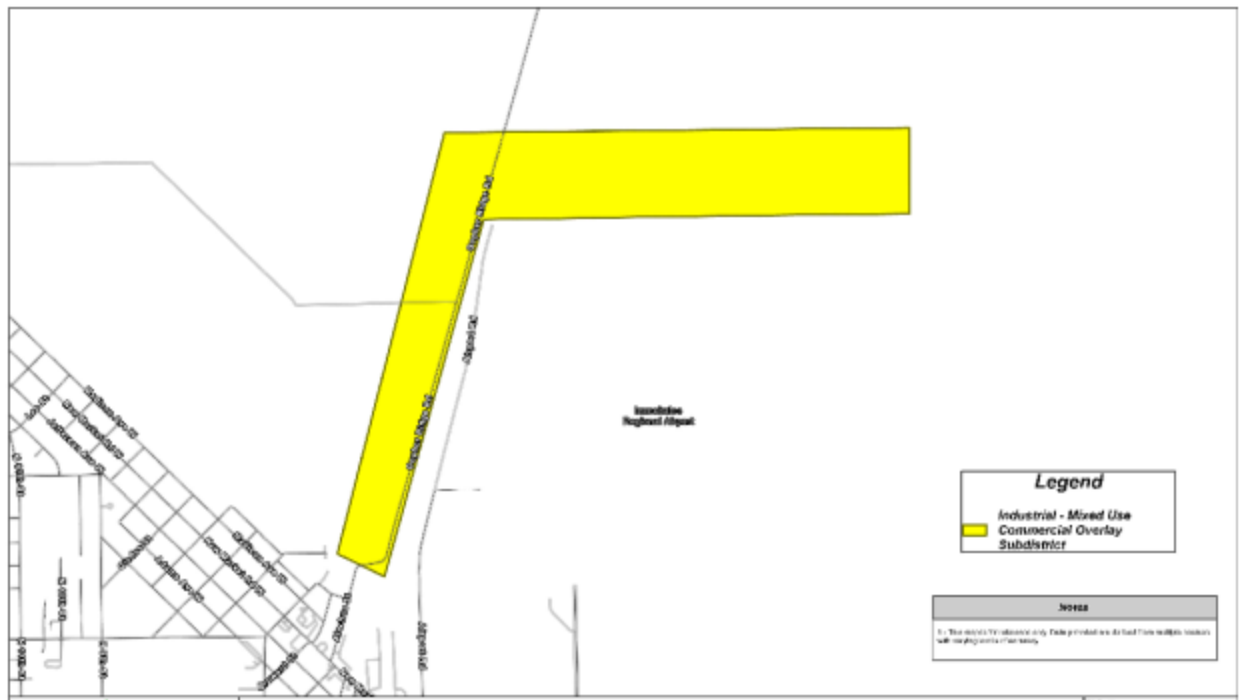
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Map 6 – Agribusiness/Farm Market Overlay Subdistrict

- f. Industrial Mixed Use Commercial Overlay Subdistrict (IMCOS). The purpose of the IMCOS designation (Map 7) is to allow uses contained within the Industrial – Mixed Use Subdistrict with complementary commercial uses as listed in Table 1. The overlay comprises approximately 363 acres of which a maximum of 30 percent or approximately 109 acres shall be commercial uses as permitted in the C-4 and C-5 zoning districts. The subdistrict is identified on Map 7 below and further identified by the designation "IMCOS" on the applicable official Collier County Zoning Atlas Maps.

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Map – 7 Industrial Mixed Use Commercial Overlay Subdistrict

g. Nonconforming Mobile Home Site Overlay Subdistrict.

- i. Establishment of special conditions for these properties, which by virtue of actions preceding the adoption of Ordinance No. 91-102 on October 30, 1991, were deemed to be nonconforming as a result of inconsistencies with the Land Development Code, and are located within the Immokalee Urban Boundary as depicted on the Immokalee Area Master Plan.
- ii. The purpose of these provisions is to recognize that there are nonconforming mobile homes on properties in the Immokalee Urban Area and to establish a process to provide property owners an official record acknowledging the permitted use of the property and render existing mobile homes, and other structures, as lawful. Travel trailers, regardless of the square footage, are not permitted as a permanent habitable structure and may not seek relief under this section. Properties that cannot meet the requirements may pursue an agreement with the Board of County Commissioners to establish compliance with the following regulations.
- iii. Property owners shall file an application as provided for in the Administrative Code, Chapter 4, Section 1.3.a. - Immokalee Nonconforming Mobile Home Sites - Existing Conditions Site Improvement Plan and shall only be subject to the criteria, requirements, and process expressly stated in the Administrative Code and this LDC section.

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iv. The following criteria shall apply to the existing conditions site improvement plan approval process and shall be reviewed by the County Manager or designee.

a) Minimum separation requirements shall be consistent with State Fire Marshal Rule 69A-42.0041 Fire Separation Requirements.

b) The Fire authority having jurisdiction shall provide written confirmation that either the existing fire hydrant(s) or a supplemental apparatus, provided by the Fire District, can supply the required fire flow needed for fire protection.

c) NFPA 501A: Standard for Fire Safety Criteria for Manufactured Home Installations, Sites, and Communities as referenced in FAC 69A-60.005.

v. Once the existing conditions site improvement plan is approved, owners may replace mobile home units with an approved building permit at sites shown on the site plan. Replacement units may be larger than the removed unit, so long as the minimum separation standards established in LDC section 2.03.06 G.6.c.i are met.

a) Where properties currently exceed the density allowed for by the zoning district, the approved existing conditions site improvement plan shall establish the maximum density on the property which shall not exceed the density of the property as depicted on the Property Appraiser aerial maps dated before February 2016. All lots and units shall be consistent with the approved existing conditions site improvement plan.

b) Where the zoning district allows for additional density, new mobile home units may be added and shall be identified on the site plan. New mobile homes shall be subject to the dimensional standards established in LDC section 4.02.33.

#### 4. Uses allowed within the IUAOD.

a. Mobile food dispensing vehicles, permanent, may be allowed on lands zoned Community Facility District (CF) within the IUAOD, subject to Conditional Use approval and contingent upon compliance with LDC section 5.05.16.

b. All agriculturally zoned lands within the IUAOD shall allow agricultural research and development facilities, agri-business offices and headquarters, and facilities, offices, headquarters and apparatuses associated with an alternative energy use.



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c. All residentially zoned lands within the IUAOD shall allow small agriculture-related business uses, such as fruit and vegetable stands, and farmers markets, through the conditional use process.

d. Table of Uses.

i. The Table of Uses identifies uses as permitted uses (P) or Conditional Uses (CU). Conditional uses shall require approval in accordance with the procedures set forth in LDC section 10.08.00.

ii. In addition to the uses allowed by the underlying zoning district, all properties within the IUAOD shall be allowed the following uses within the respective subdistrict(s), as specified below:

Table 1. Table of Uses for the IUAOD Subdistricts

<u>Use Category</u>	<u>MSOS</u>	<u>SR29OS</u>	<u>JACOS</u>	<u>AFOS</u>	<u>IMCOS</u>
<u>All Business Park (BP) district uses</u>					<u>P</u>
<u>All Heavy Commercial (C-5) district uses</u>					<u>P</u>
<u>All Research and Technology Park PUD (RTPUD) uses</u>					<u>P</u>
<u>Drive through areas</u>	<u>CU<sup>2</sup></u>	<u>CU<sup>4</sup></u>			<u>P<sup>4</sup></u>
<u>Agricultural Uses</u>					
<u>Agricultural outdoor sales<sup>1</sup></u>			<u>P</u>	<u>P</u>	<u>P</u>
<u>Crop preparation services for market, except cotton ginning (0723)</u>				<u>P</u>	
<u>Petroleum bulk stations and terminals (5171)</u>				<u>P</u>	<u>P</u>
<u>Petroleum and petroleum products wholesalers, except bulk stations and terminals (5172 - gasoline: buying in bulk and selling to farmers-wholesale only)</u>				<u>P</u>	<u>P</u>
<u>Commercial Uses</u>					
<u>Arrangement of passenger transportation (4724-4729)</u>					<u>P</u>
<u>Auctioneering services, auction rooms (7389, 5999)</u>				<u>CU</u>	<u>CU</u>
<u>Auto and home supply stores (5531 installation)</u>	<u>CU<sup>2</sup></u>				
<u>Automobile parking (7521)</u>	<u>CU<sup>2</sup></u>				

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<u>Use Category</u>	<u>MSOS</u>	<u>SR29OS</u>	<u>JACOS</u>	<u>AFOS</u>	<u>IMCOS</u>
<u>Automotive dealers, not elsewhere classified (5599)</u>	<u>CU<sup>2</sup></u>				
<u>Automotive rental and leasing, without drivers (7514, 7515)</u>	<u>CU<sup>2</sup></u>				
<u>Boat dealers (5551)</u>	<u>CU</u>				
<u>Carwashes (7542)</u>	<u>CU<sup>2</sup></u>				
<u>Eating and drinking places (5812, 5813) All establishments engaged in the retail sale of alcoholic beverages for on-premise consumption are subject to the locational requirements of LDC section 5.05.01.</u>					<u>P</u>
<u>Equipment rental and leasing (7359)</u>					<u>P</u>
<u>Farm-product raw materials (5153-5159)</u>			<u>P</u>	<u>P</u>	<u>P</u>
<u>Gasoline service stations (5541)</u>	<u>CU<sup>2</sup></u>				
<u>Hotels and motels (7011)</u>	<u>P</u>	<u>P</u>			
<u>Intercity and rural bus transportation (4131)</u>	<u>CU</u>		<u>CU</u>	<u>CU</u>	<u>CU</u>
<u>Motor vehicle dealers, new and used (5511, 5521)</u>	<u>CU<sup>2</sup></u>				
<u>Motorcycle dealers (5571)</u>	<u>CU<sup>2</sup></u>				
<u>Radio and television repair shops (7622 - automotive radio repair shops only)</u>	<u>CU<sup>2</sup></u>				
<u>Recreational vehicle dealers (5561)</u>	<u>CU<sup>2</sup></u>				
<u>Repair shops and related services (7699)</u>				<u>P<sup>3</sup></u>	<u>P<sup>3</sup></u>
<u>Terminal and service facilities for motor vehicle passenger transportation (4173)</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>
<u>Veterinary services (0741 and 0742, excluding outdoor kenneling)</u>				<u>P</u>	<u>CU</u>
<u>Wireless communication facilities</u>	<u>CU</u>				
<u>Industrial Uses</u>					
<u>Arrangement of transportation freight and cargo (4731)</u>					<u>P</u>
<u>Electric, gas, and sanitary services (4911-4971)</u>					<u>CU</u>
<u>Farm product warehouse and storage (4221)</u>					<u>CU</u>

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Use Category	<u>MSOS</u>	<u>SR29OS</u>	<u>JACOS</u>	<u>AFOS</u>	<u>IMCOS</u>
<u>General warehousing and storage (4225)</u>	<u>CU<sup>2</sup></u>			<u>P</u>	<u>P</u>
<u>Guided missiles and space vehicles and parts (3761-3769)</u>					
<u>Local and suburban transit and interurban highway passenger transportation (4111-4121, 4141-4151)</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>	<u>CU</u>
<u>Miscellaneous services incidental to transportation (4783, 4789)</u>					<u>P</u>
<u>Miscellaneous transportation equipment (3792-3799)</u>					
<u>Motorcycles, bicycles, and parts (3751)</u>					
<u>Motor vehicles and motor vehicle equipment (3714, 3716)</u>					
<u>Outdoor storage yards</u>	<u>CU<sup>2</sup></u>			<u>P</u>	<u>P</u>
<u>Refrigerated warehousing and storage (4222)</u>					<u>CU</u>
<u>Rental of railroad cars (4741)</u>					<u>P</u>
<u>Ship and boat building and repairing (3731, 3732)</u>					
<u>Special warehousing and storage (4226)</u>					<u>CU</u>
<u>Transportation by air (4512-4581)</u>					<u>P</u>
<u>Trucking and courier services, except air (4212-4215)</u>					<u>CU</u>
<u>Vocational schools (8243-8249)</u>					<u>P</u>
<u>Wholesale trade (5148)</u>				<u>P</u>	<u>P</u>

<sup>1</sup> Outdoor sales of agricultural products are permitted on improved or unimproved properties provided the applicant submits a site development plan which demonstrates that provisions will be made to adequately address the following:

- i. Vehicular and pedestrian traffic safety measures.
- ii. Parking for undeveloped properties will be calculated at a rate of 1/250 square feet of merchandise area. A maximum of 10 percent of the parking required by LDC section 4.05.04 may be occupied or otherwise rendered unusable by the placement of temporary structures, equipment, signs, and merchandise. The minimum number of disabled parking spaces pursuant to LDC section 4.05.07 shall be required.
- iii. Limited hours of operation.
- iv. Fencing, lighting.
- v. Fire protection measures.
- vi. Sanitary facilities.
- vii. The applicant shall provide a notarized letter from the property owner granting permission to utilize the subject property for agricultural outdoor sales.

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viii. The placement of one (1) sign, a maximum of thirty-two (32) square feet, or two (2) such signs for properties containing more than one (1) street frontage shall be permitted.

ix. Agricultural products may be sold from a vehicle provided that the vehicle is not located in the road right-of-way.

x. Agricultural products may be displayed within any front yard provided it does not adversely affect pedestrian or vehicular traffic or public health or safety and is not located within the road rights-of-way.

xi. Opaque fencing shall be required adjacent to any road right-of-way.

<sup>2</sup> Permitted only on properties with frontage on North First Street, South First Street, and North Ninth Street within the Main Street Overlay Subdistrict.

<sup>3</sup> Limited to Agricultural equipment repair, industrial truck repair, machinery cleaning, repair of service station equipment, tractor repair.

<sup>4</sup> Conditional use applies unless allowed within the underlying zoning district.

c. Prohibited Uses. Main Street Overlay Subdistrict - All uses prohibited within the underlying residential and commercial zoning districts contained within this Subdistrict, and the following uses, shall be prohibited on properties with frontage on Main Street in between First Street and Ninth Street in the Main Street Overlay Subdistrict:

i. Automobile parking (7521)

ii. Automotive dealers (5511, 5521, 5531 installation, 5551, 5561, 5571, 5599).

iii. Facility with fuel pumps.

iv. Primary uses such as convenience stores and grocery stores are prohibited from servicing and repairing vehicles in conjunction with the sale of gasoline.

v. Automotive repair, services, parking (7514, 7515, 7521) and carwashes (7542).

vi. Radio and television repair shops (7622 automotive).

vii. Outdoor storage yards and outdoor storage.

viii. Drive-through areas.

ix. Warehousing (4225).

x. Wireless communication facilities, as defined in LDC section 5.05.09, except as otherwise permitted in this Subdistrict.

xi. Any other heavy commercial use which is comparable in nature with the forgoing uses and is deemed inconsistent with the intent of this Subdistrict shall be prohibited.

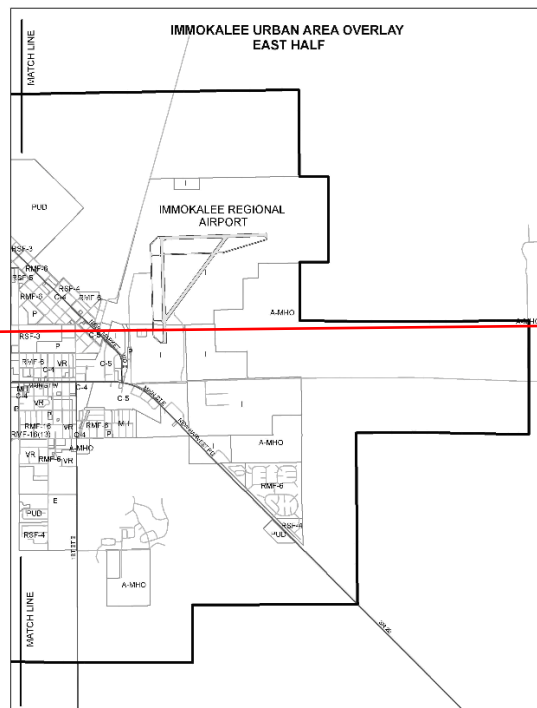
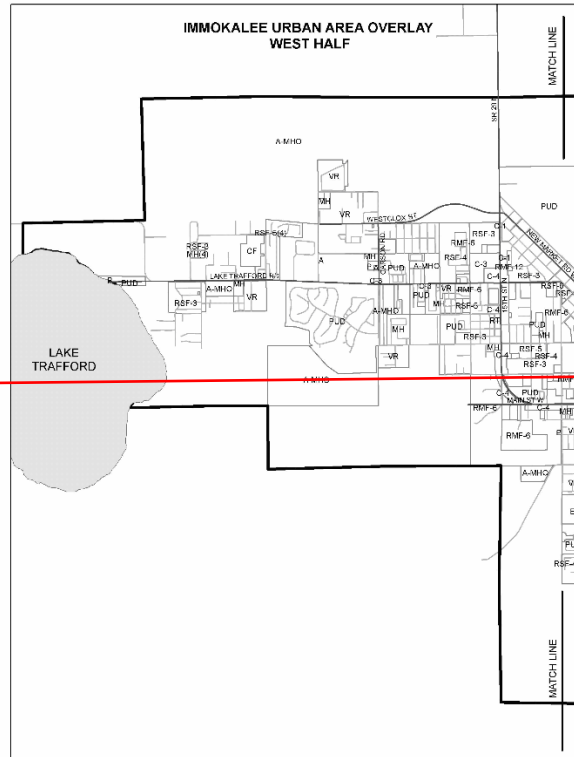
~~G. Immokalee Urban Overlay District. To create the Immokalee Urban Overlay District with distinct subdistricts for the purpose of establishing development criteria suitable for the unique land use needs of the Immokalee Community. The boundaries of the Immokalee Urban Overlay District are delineated on the maps below.~~



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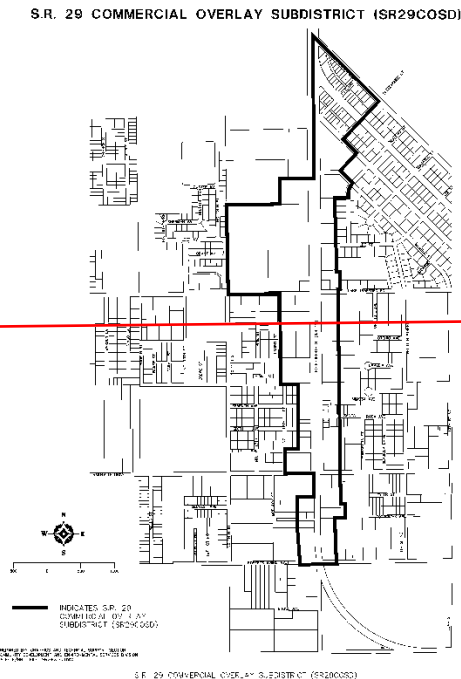
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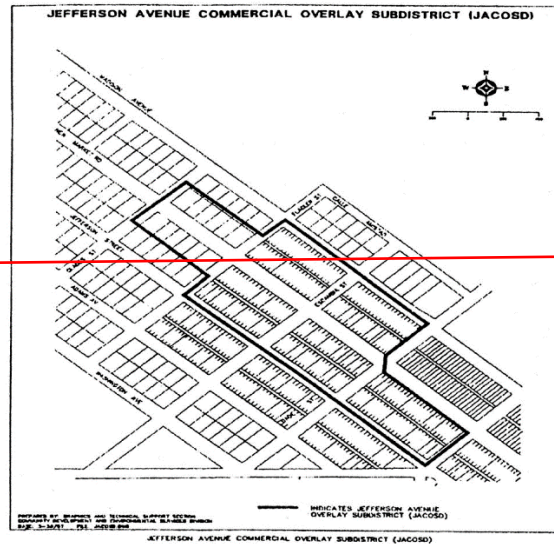
- ~~1. State Road 29 Commercial Overlay Subdistrict: Special conditions for the properties abutting SR-29, as identified in the Immokalee Area Master Plan; referenced on Map 2; and further identified by the designation "SR29COSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this~~

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1 designation is to provide for retail, office, transient lodging facilities, and highway  
 2 commercial uses that serve the needs of the traveling public. These commercial  
 3 uses must be located on a major arterial or collector roadway. The provisions of  
 4 this subdistrict are intended to provide an increased commercial depth along SR-  
 5 29 with development standards that will ensure coordinated access and  
 6 appropriate landscaping and buffering compatible with nearby residential  
 7 properties.  
 8



- 9  
 10  
 11 2. ~~Jefferson Avenue Commercial Overlay Subdistrict:~~ Special conditions for the  
 12 properties abutting Jefferson Avenue as identified in the Immokalee Area Master  
 13 Plan; referenced on Map 3; and further identified by the designation "JACOSD" on  
 14 the applicable official Collier County Zoning Atlas Maps. The purpose of this  
 15 designation is to provide for retail, office, transient lodging facilities and highway  
 16 commercial uses that serve the needs of the traveling public. These commercial  
 17 uses must be located on a major arterial or collector roadway. The provisions of  
 18 this subdistrict are intended to provide an increased commercial opportunity along  
 19 Jefferson Avenue with development standards that will ensure coordinated access  
 20 and appropriate landscaping and buffering to be compatible with nearby residential  
 21 properties. 2-03-07-G-2  
 22

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3. ~~Farm Market Overlay Subdistrict: Special conditions for the properties identified on Map 4; and further identified by the designation "FMOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to provide for wholesale and retail uses, outdoor agricultural product displays and sales areas, truck parking, and packing houses and associated uses. The provisions of this subdistrict are intended to provide retail and wholesale opportunities for agricultural businesses as well as provide truck parking for agricultural sales but not within roadways and rights-of-way. The development standards contained herein have been designed to enhance and encourage development and redevelopment.~~

a. ~~Permitted uses: All permitted uses within the underlying zoning districts, and the following uses, as identified in the Standard Industrial Classification Manual (1987), are permitted as a right in this sub-district.~~

1. ~~Agricultural Services (0723)~~

2. ~~Wholesale Trade (5148)~~

3. ~~Agricultural Outdoor Sales. Outdoor sales of agricultural products are permitted on improved or unimproved properties provided the applicant submits a site development plan which demonstrates that provisions will be made to adequately address the following:~~

i. ~~Vehicular and pedestrian traffic safety measures.~~

ii. ~~Parking for undeveloped properties will be calculated at a rate of 1/250 square feet of merchandise area. A maximum of ten (10) percent of the parking required by section 4.05.04 of this LDC may be occupied or otherwise rendered unusable by the placement of temporary structures, equipment, signs, and merchandise. The minimum number of disabled parking spaces pursuant to section 4.05.07 shall be required.~~

iii. ~~Limited hours of operation.~~

iv. ~~Fencing, lighting.~~

v. ~~Fire protection measures.~~

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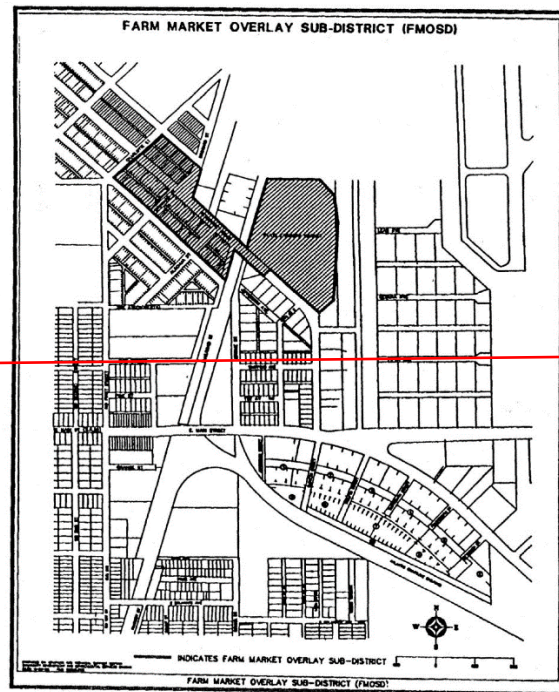
- vi. ~~Sanitary facilities.~~
- vii. ~~The applicant shall provide a notarized letter from the property owner granting permission to utilize the subject property for agricultural outdoor sales.~~
- viii. ~~The placement of one (1) sign, a maximum of thirty-two (32) square feet, or two (2) such signs for properties containing more than one (1) street frontage shall be permitted.~~
- ix. ~~Agricultural products may be sold from a vehicle provided that the vehicle is not located in the road right-of-way.~~
- x. ~~Agricultural products may be displayed within any front yard provided it does not adversely affect pedestrian or vehicular traffic or public health or safety and is not located within the road rights-of-way.~~
- xi. ~~A minimum 5-foot landscape buffer shall be required adjacent to any road rights-of-way.~~
4. ~~Petroleum Bulk Stations and Terminals (5171) and Petroleum and Petroleum Products Wholesalers, (5172—gasoline: Buying in bulk and selling to farmers—wholesale only) provided:~~
  - i. ~~Separation requirements: There shall be a minimum distance of 500 linear feet between the nearest points on any lot or parcel of land containing such proposed operations, and any lot or parcel which is already occupied by such operation, of for which a building permit has been issued.~~
  - ii. ~~Waiver of separation requirements: The board of zoning appeals may by resolution grant a waiver of part or all of the minimum separation requirements set forth above pursuant to section 10.08.00.~~
  - iii. ~~Separation from residentially zoned lands: There shall be a minimum distance of 500 linear feet from all residentially zoned land.~~
  - iv. ~~Maximum lot area: Two acres.~~
- c. ~~Accessory uses:~~
  1. ~~Uses and structures that are accessory and incidental to the permitted uses.~~



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Map 4



4. ~~Agribusiness Overlay Subdistrict. Special conditions for the properties identified on Map 5; and further identified by the designation "AOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to provide for wholesale uses and agricultural packing houses and associated uses. The provisions of this subdistrict are intended to provide additional lands for agricultural related businesses and expansion opportunities for existing agribusiness. The development standards contained herein have been designed to permit consistent land uses within the AOSD boundary.~~

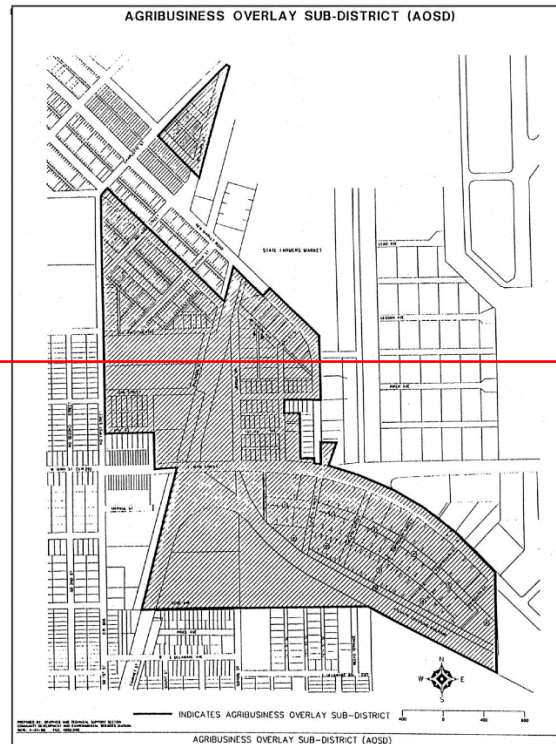
a. ~~Permitted uses: All permitted uses within the underlying zoning districts, and the following uses, as identified in the Standard Industrial Classification Manual (1987), are permitted as a right in this sub-district.~~

1. ~~Agricultural Services (0723)~~

2. ~~Wholesale Trade (5148)~~

b. ~~Accessory uses.~~

1. ~~Uses and structures that are accessory and incidental to the permitted uses.~~

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5. ~~Main Street Overlay Subdistrict. Special conditions for the properties identified in the Immokalee Area Master Plan; referenced on Map 7; and further identified by the designation "MSOSD" on the applicable official Collier County Zoning Atlas Maps. The purpose of this designation is to encourage development and redevelopment by enhancing and beautifying the downtown Main Street area through flexible design and development standards.~~

a. ~~Permitted uses. For all properties within the Main Street Overlay Subdistrict, except for properties hatched as indicated on Map 7, the Main Street Overlay Subdistrict, all permitted uses within the uses within the underlying zoning districts contained within this Subdistrict, and the following uses may be permitted as of right in this Subdistrict:~~

1. ~~Hotel and motels (7011)~~

2. ~~Communication towers, as defined in section 5.05.09, subject to the following:~~

i. ~~Such tower is an essential service use as defined by subsection 2.01.03 A.4; and~~

ii. ~~Such tower may not exceed a height of 75 feet above grade including any antennas attached thereto.~~

b. ~~Permitted uses. For hatched properties within the Main Street Overlay Subdistrict, all permitted uses within the underlying zoning districts~~

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1 contained within this Subdistrict, and the following uses are permitted as of  
 2 right in this Subdistrict:

3  
 4 1. ~~All uses allowed in the Commercial Professional District (C-1), of~~  
 5 ~~this Code, except for group 7521.~~

6  
 7 2. ~~Communication towers, as defined in section 5.05.09 subject to the~~  
 8 ~~following:~~

9  
 10 i. ~~Such tower is an essential service use as defined by~~  
 11 ~~subsection 2.01.03 A.4; and~~

12  
 13 ii. ~~Such tower may not exceed a height of 75 feet above grade~~  
 14 ~~including any antennas attached thereto.~~

15  
 16 c. ~~Prohibited uses. All uses prohibited within the underlying residential and~~  
 17 ~~commercial zoning districts contained within this Subdistrict, and the~~  
 18 ~~following uses, shall be prohibited on properties with frontage on Main~~  
 19 ~~Street in between First Street and Ninth Street in the Main Street Overlay~~  
 20 ~~Subdistrict:~~

21  
 22 1. ~~Automobile parking (7521).~~

23  
 24 2. ~~Automotive dealers (5511, 5521, 5531 installation, 5551, 5561,~~  
 25 ~~5571, 5599).~~

26  
 27 3. ~~Facility with fuel pumps.~~

28  
 29 4. ~~Primary uses such as convenience stores and grocery stores are~~  
 30 ~~prohibited from servicing and repairing vehicles in conjunction with~~  
 31 ~~the sale of gasoline.~~

32  
 33 5. ~~Automotive repair, services, parking (7514, 7515, 7521) and~~  
 34 ~~carwashes (7542).~~

35  
 36 6. ~~Radio and television repair shops (7622 automotive).~~

37  
 38 7. ~~Outdoor storage yards and outdoor storage.~~

39  
 40 8. ~~Drive-through areas.~~

41  
 42 9. ~~Warehousing (4225).~~

43  
 44 10. ~~Communication towers, as defined in section 5.05.09 of this Code,~~  
 45 ~~except as otherwise permitted in this Subdistrict.~~

46  
 47 11. ~~Any other heavy commercial use which is comparable in nature with~~  
 48 ~~the forgoing uses and is deemed inconsistent with the intent of this~~  
 49 ~~Subdistrict shall be prohibited.~~

50  
 51 d. ~~Accessory uses.~~

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1. ~~Uses and structures that are accessory and incidental to the permitted uses as of right in the underlying zoning districts contained within this subdistrict and are not otherwise prohibited by this subdistrict.~~
2. ~~Communication towers, as defined in section 5.05.09 subject to the following:~~
  - i. ~~Such tower is an essential service use as defined by subsection 2.01.03 A.4.; and~~
  - ii. ~~Such tower may not exceed a height of 75 feet above grade including any antennas attached thereto.~~
- e. ~~Conditional uses.~~
  1. ~~Conditional uses of the underlying zoning districts contained within the subdistrict, subject to the standards and procedures established in LDC section 10.08.00 and as set forth below:~~
    - i. ~~Local and suburban passenger transportation (4131, 4173) located upon commercially zoned properties within the Main Street Overlay Subdistrict.~~
    - ii. ~~Communication towers, as defined in section 5.05.09 of this Code for essential service uses as defined by subsection 2.01.03 A.4 that exceed a height of 75 feet above grade including any antennas attached thereto.~~
    - iii. ~~The following conditional uses may be permitted only on properties with frontage on North First Street, South First Street, and North Ninth Street within the Main Street Overlay Subdistrict:~~
      - a. ~~Automobile parking (7521).~~
      - b. ~~Automotive dealers (5511, 5521, 5531 installation, 5551, 5561, 5571, 5599).~~
      - c. ~~Facility with fuel pumps.~~
      - d. ~~Automotive repair, services, parking (7514, 7515, 7521) and carwashes (7542).~~
      - e. ~~Radio and television repair shops (7622 automotive).~~
      - f. ~~Outdoor storage yards and outdoor storage.~~
      - g. ~~Drive-through areas.~~



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h. ~~Warehousing (4225).~~

i. ~~Communication towers, as defined in LDC section 5.05.09, except as otherwise permitted in this Subdistrict.~~

f. ~~Special requirements for outdoor display and sale of merchandise.~~

i. ~~Outdoor display and sale of merchandise, within the front and side yards on improved properties, are permitted subject to the following provisions:~~

a) ~~The outdoor display/sale of merchandise is limited to the sale of comparable merchandise sold on the premises and is indicated on the proprietors' occupational license.~~

b) ~~The outdoor display/sale of merchandise is permitted on improved commercially zoned properties and is subject to the submission of a site development plan that demonstrates that provisions will be made to adequately address the following:~~

i) ~~Vehicular and pedestrian traffic safety measures.~~

ii) ~~Location of sale/display of merchandise in relation to parking areas.~~

iii) ~~Fire protection measures.~~

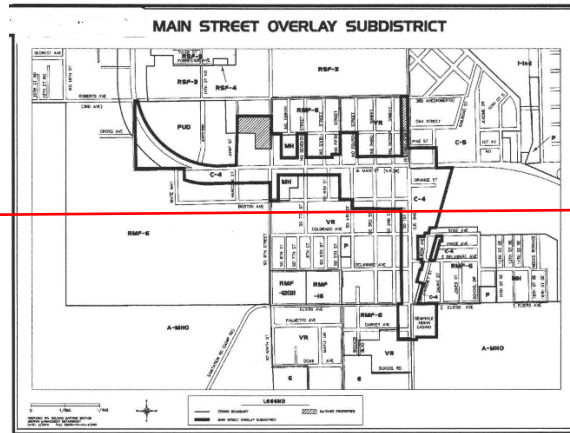
iv) ~~Limited hours of operation from dawn until dusk.~~

ii. ~~Outdoor display and sale of merchandise within the sidewalk area only shall be permitted in conjunction with "Main Street" approved vendor carts, provided the applicant submits a site development plan which demonstrates that provisions will be made to adequately address the following:~~

a) ~~Location of sale/display of merchandise in relation to road rights-of-way;~~

b) ~~Vendor carts are located on sidewalks that afford the applicant a five (5) foot clearance for non-obstructed pedestrian traffic; and~~

c) ~~Limited hours of operation from dawn until dusk.~~

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6. ~~Nonconforming Mobile Home Site Overlay Subdistrict. Establishment of special conditions for these properties which by virtue of actions preceding the adoption of Ordinance No. 91-102, on October 30, 1991, were deemed to be nonconforming as a result of inconsistencies with the land development code, and are located within the Immokalee Urban Boundary as depicted on the Immokalee Area Master Plan.~~

a. ~~Purpose and intent. The purpose of these provisions is to recognize that there are nonconforming mobile homes on properties in the Immokalee Urban Area and to establish a process to provide property owners an official record acknowledging the permitted use of the property and render existing mobile homes, and other structures, as lawful. Travel trailers, regardless of the square footage, are not permitted as a permanent habitable structure and may not seek relief under this section. Properties that cannot meet the requirements may pursue an agreement with the Board of County Commissioners to establish compliance with this LDC section 2.03.07 G.6.~~

b. ~~Application requirements. Property owners shall file an application as provided for in the Administrative Code, Chapter 4, Section 1.3.a. Immokalee Nonconforming Mobile Home Sites Existing Conditions Site Improvement Plan and shall only be subject to the criteria, requirements, and process expressly stated in the Administrative Code and this LDC section.~~

c. ~~Criteria for review. The following criteria shall apply to the existing conditions site improvement plan approval process and shall be reviewed by the County Manager or designee.~~

i. ~~Minimum separation requirements shall be consistent with State Fire Marshal Rule 69A-42.0041 Fire Separation Requirements.~~

ii. ~~The Fire authority having jurisdiction shall provide written confirmation that either the existing fire hydrant(s) or a supplemental apparatus, provided by the Fire District, can supply the required fire flow needed for fire protection.~~

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- ~~i. The proposed deviation is compatible with adjacent land uses and structures; achieves the requirements of the regulations as closely as is practicable; and meets the intent of the related Land Development Code regulations; and~~
- ~~ii. The applicant proposes equitable tradeoffs for the proposed diminution in development standards, such as increased open space, landscaping, pedestrian spaces, buffering or architectural features, in order to meet the intent of the regulation being diminished.~~
- ~~d. Substantial Deviations. Requested deviations that do not qualify as insubstantial deviations are substantial deviations:~~
  - ~~i. Considerations for Review and Approval: The CCPC shall consider the following:~~
    - ~~a) Whether or not the proposed deviation is compatible with adjacent land uses and achieves the requirements and/or intent of the regulations as closely as is practicable; and~~
    - ~~b) Whether the proposed deviation is the minimum amount necessary to allow for reasonable use of the property and/or address the issue necessitating the deviation request; and~~
    - ~~c) Whether the reduced or increased standard requested by the deviation is mitigated for, either on the subject site or by providing a public benefit on the subject site. Examples of such on-site mitigation include but are not limited to: increasing setbacks from the adjacent road right-of-way when proposing to deviate from sign size limitations; increasing plantings or planting sizes or installing a fence or wall where a reduced buffer width is proposed; providing public pedestrian and/or bicycle pathway easements or other similar mobility improvements including transit enhancements; providing public parking; providing beautification in the public realm, including street trees, street furniture, lighting and other similar public benefits.~~
  - ~~e. Applicability – List of Development Standards Eligible for Deviation Requests. Property owners shall be eligible to seek a deviation from the dimensional requirements of the following LDC sections, unless otherwise noted:~~
    - ~~i. 2.03.01 Agricultural Zoning Districts, limited to subsection A.1.b.4.ii.~~
    - ~~ii. 2.03.03 Commercial Zoning Districts, limited to the following subsections:~~



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- a) ~~A.1.c.11.vii. limited to a maximum of three stories, viii., and ix.; and~~
- b) ~~E.1.c.4.iv.~~
- iii. ~~2.03.04 Industrial Zoning Districts, limited to subsection A.1.c.2.iv., minimum lot area only.~~
- iv. ~~3.05.07 B.1 Preservation Standards, Specific Standards Applicable Outside the RMFU and RLSA districts, Required Preservation Percentages (Table 1 inset).~~
- v. ~~4.02.01 A Dimensional Standards for Principal Uses in Base Zoning Districts:~~
  - a) ~~Table 1. Lot Design Requirements for Principal Uses in Base Zoning Districts;~~
  - b) ~~Table 2. Building Dimension Standards for Principal Uses in Base Zoning Districts, excluding building height and in the case of commercial parcels, no deviation shall be granted, for new development, from the required 50-foot building setback when abutting residentially-zoned properties, or from the minimum 10-foot wide landscaped strip between the abutting road right of way and the off-street parking area for new development, but deviations from these requirements may be considered in the case of redevelopment where existing structures and/or encroachments are proposed to remain;~~
  - c) ~~Table 2.1 - Table Of Minimum Yard Requirements (Setbacks) for Base Zoning Districts.~~
- vi. ~~4.02.02 Dimensional Standards for Conditional Uses and Accessory Uses in Base Zoning Districts, limited to subsection E (Table Inset), except building height.~~
- vii. ~~4.02.03 Specific Standards for Location of Accessory Buildings and Structures, Dimensional Standards, except that in the case of new development on commercial parcels, no deviation shall be granted from the required 50-foot building setback when abutting residentially-zoned properties, or from the minimum 10-foot wide landscaped strip between the abutting road right of way and the off-street parking area. Deviations from these requirements may be considered in the case of redevelopment where existing structures and/or encroachments are proposed to remain.~~
- viii. ~~4.02.03 B Accessory Building Lot Coverage.~~

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- ~~ix. 4.02.27 C Specific Design Standards for the Immokalee State Road 29A Commercial Overlay Subdistrict, Building Design Standards.~~
- ~~x. 4.02.28 A Same Jefferson Avenue Commercial Overlay Subdistrict, Building Design Standards.~~
- ~~xi. 4.02.29 A Same Farm Market Overlay Subdistrict, Dimensional Standards.~~
- ~~xii. 4.02.32 Same Main Street Overlay Subdistrict, limited to the following subsections: A.; C.1; D.3 and D.4; and E.1, E.2, and E.3.~~  
~~xiii. 4.05.04 G (Spaces Required) Table 17 and 4.05.06 B Loading Space Requirements, utilizing the existing administrative deviation process set forth in LDC section 4.05.04 F.4., recognizing that the reduced need for off-street parking in Immokalee may be offered as a viable basis for such administrative deviation.~~
- ~~xiv. 4.06.02 C Buffer Requirements (limited to required width) except that in the case of new development on commercial parcels, no deviation shall be granted from the required 50-foot building setback when abutting residentially zoned properties, or from the minimum 10-foot wide landscaped strip between the abutting road right-of-way and the off-street parking area. Deviations from these requirements may be considered in the case of redevelopment where existing structures and/or encroachments are proposed to remain.~~
- ~~xv. 4.06.03 B Landscaping Requirements for Vehicular Use Areas and Rights of Way, Standards for Landscaping in Vehicular Use Areas.~~
- ~~xvi. 4.06.05 B General Landscaping Requirements, Landscaping requirements for industrial and commercial development, limited to subsection B.3.~~
- ~~xvii. 4.06.05 C General Landscaping Requirements, Building Foundation Planting Requirements (including Table Inset).~~
- ~~xviii. 5.05.08 C Architectural and Site Design Standards, Building Design Standards. Deviations from non-dimensional provisions of this section are also allowed as substantial deviations.~~
- ~~xix. 5.05.08 D Design Standards for Specific Uses. Deviations from non-dimensional provisions of this section are also allowed as substantial deviations.~~
- ~~xx. 5.05.08 E Architectural and Site Design Standards, Site Design Standards, limited to subsections 1.b; 2; 3; 4; 5 and 7. Deviations from non-dimensional provisions of this section are also allowed as substantial deviations. Note: Nothing in LDC section 5.05.08, Architectural and Site Design Standards, shall be deemed to~~

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~~prohibit the use of murals on exterior walls of commercial buildings in the Immokalee Urban Overlay District, provided that: 1) such murals are reviewed and accepted by the Collier County Redevelopment Agency staff; and 2) such murals do not contain text for the purpose of advertising any business or commercial activity.~~

~~xxi. 5.06.04 Development Standards for Signs in Nonresidential Districts, limited to subsection F.~~

~~f. *Duration of these provisions.* These provisions are interim in nature and will be in effect until the effective date of Comprehensive Immokalee Overlay LDC amendments.~~

~~g. *Public Notice.* Public notice, including signage, notice to property owners and an advertised public hearing, is required for substantial deviation requests and shall be provided in accordance with the applicable provisions of Section 10.03.05 B, for Variances.~~

~~h. *Appeals.* Within 30 days of the issuance of the decision of staff or of the CCPC, the owner or any aggrieved person may appeal the decision to the Board of Zoning Appeals pursuant to Section No. 250-58 of the Codes of Laws and Ordinances.~~

*	*	*	*	*	*	*	*	*	*	*	*	*
#	#	#	#	#	#	#	#	#	#	#	#	#

## 2.06.01 – Generally

*	*	*	*	*	*	*	*	*	*	*	*	*
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D. In order to qualify for the AHDB for a development, the developer must apply for and obtain the AHDB from the County for a development in accordance with this section, especially in accordance with the provisions of the AHDB program, including the AHDB rating system, the AHDB monitoring program, and the limitations on the AHDB.1.Preapplication conference. Prior to submitting an application for AHDB, a preapplication conference may be scheduled with the County Manager or designee. The preapplication conference provides an opportunity to familiarize the applicant with the AHDB program and provides an opportunity for the county staff to obtain a clear understanding of the proposed development. The AHDB rating system, the AHDB monitoring program, the limitations, criteria, procedures, standard conditions, standard forms, and other information will be discussed and made available to the applicant. Depending on the type of development proposed, the application may be combined with an application for a planned unit development (PUD), a rezone, or a Stewardship Receiving Area.

*	*	*	*	*	*	*	*	*	*	*	*	*
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4. *Review and recommendation by the County Manager or designee.* After receipt of a completed application for AHDB, the County Manager or designee must review and evaluate the application in light of the AHDB rating system, the AHDB monitoring program and the requirements of this section. The County Manager or

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designee must coordinate with the Zoning Division director or designee to schedule the AHDB application with the companion application for a PUD, rezoning, SRA, or conditional use, and must recommend to the planning commission and the Board of County Commissioners (BCC) to deny, grant, or grant with conditions, the AHDB application. If the AHDB application is for a density bonus that is permitted by right, with no companion application for a PUD, rezoning, SRA, or Conditional Use, then, after review of the application in light of the AHDB rating system, the AHDB monitoring program and the requirements of this section, the County Manager or designee shall schedule the AHDB agreement for consideration by the BCC. The recommendation of the County Manager or designee must include a report in support of recommendation.

*	*	*	*	*	*	*	*	*	*	*	*	*	*
#	#	#	#	#	#	#	#	#	#	#	#	#	#

**4.02.27 - Architectural and Site Design Standards for the Immokalee Urban Area Overlay District (IUAOD)** ~~Specific Design Standards for the Immokalee State Road 29A Commercial Overlay Subdistrict~~

**A. General.**

1. The provisions of LDC section 4.02.27 shall apply to the following buildings and projects within the IUAOD:
  - a. Commercial zoning districts and commercial components of PUD zoning districts.
  - b. Non-residential PUD zoning districts and non-residential components of any PUD district.
  - c. Business Park (BP) zoning district.
  - d. Existing buildings where any addition or renovation will result in a change to more than 75 percent of the façade area, or the addition or renovation exceeds 50 percent of the square footage of the gross area of the existing building(s).
2. Residential uses shall be regulated by the underlying zoning districts and applicable development standards.
3. LDC section 4.02.27 replaces and supersedes LDC section 5.05.08 Architectural and Design Standards. When conflicts arise between LDC section 4.02.27 standards and other code sections, LDC section 4.02.27 standards shall govern.
4. Nonconforming buildings approved for use and occupancy prior to November 10, 2004, shall not be enlarged or altered in a way which increases the nonconformity. All alterations or façade improvements to nonconforming buildings shall be consistent with LDC section 4.02.27 and shall be reviewed for compliance by the County Manager or designee; however, unaltered portions of the nonconforming building will not be required to comply.



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1        5.        Exceptions.

2

3        a.        A historic site, structure, building, district, or property that has been

4        identified and documented as being significant in history, architecture,

5        archaeology, engineering, or culture and is registered through the National

6        Register of Historic Places.

7

8        b.        The Rural Agricultural (A) zoning district as established in the Official

9        Zoning Atlas.

10

11       c.        Façades facing an interior courtyard provided the façades are not visible

12       from any public property (e.g., street, right-of-way, sidewalk, alley), interior

13       drive, parking lot, or adjacent private property.

14

15       d.        The following shall be exempt from the standards of LDC section 4.02.27

16       Architectural and Site Design Standards but shall comply with the exterior

17       materials and color included in LDC section 4.02.27 B.2.k.

18

19           i.        Routine repairs and maintenance of an existing building.

20

21           ii.       Public utility ancillary systems provided that a building shall not

22           have any wall planes exceeding 35 feet in length, excluding storage

23           tanks, or have an actual building height greater than 18 feet,

24           excluding storage tanks and communications equipment. See LDC

25           section 4.06.05 B.4 for screening requirements of fences and walls

26           surrounding public utility ancillary systems.

27

28       e.        Agribusiness/Farm Market Overlay Subdistrict (AFOS).

29

30           i.        The following uses, located within the AFOS and as identified in the

31           Standard Industrial Classification Manual, are exempt from the

32           provisions set forth in LDC section 4.02.27.

33

34           a)       Agricultural Services (0723).

35

36           b)       Wholesale Trade (5148).

37

38           c)       Agricultural Outdoor Sales.

39

40       B.        Building and site design standards for the entire Immokalee Urban Area Overlay District

41       (IUAOD).

42

43       1.        Architectural styles.    The architectural styles may include, but are not limited to,

44       the following:

45

46       a.        Spanish Vernacular.

47

48           i.        Mediterranean style. Also known as Spanish Eclectic or Spanish

49           Colonial Revival. Characteristics typically include barrel tile, low-

50           pitched roofs usually with little or no overhang, parapets, arches,

51           stucco, and asymmetrical façades. Buildings typically contain the

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following: multi-level roofs composed of barrel tile (half cylinders) or Spanish Tile (s-curved shape) in red and earth tones, façade of stucco with sand finish or hand troweled, arched windows (some triple-arched), ornamentation contain full arches and patterned tiles or single tile for accent.

ii. Mission style. Influenced by the Spanish Colonial Style. Characteristics typically include barrel tile roofs, arches, earth tone colors, and asymmetrical façades finished in stucco. Similar to the Mediterranean Style but exhibiting much less ornamentation and detailing. Mission Style buildings typically contain flat roof with curvilinear parapets are most common, Barrel Tile (half cylinders) or Spanish Tile (s-curved shape), stucco with sand finish or hand troweled, and ornamentation containing full arches.

b. Frame Vernaculars. Also known as Florida Cracker or Key West Style. Some frame vernacular buildings in Florida exhibit a Caribbean influence, while others are more utilitarian or rural in nature. Most familiar elements of this style are the use of horizontal siding for façade finish, elaborate wood balustrades, large porches, and metal roofs. Buildings typically contain metal roof (5v panels or narrow standing seam), lapped siding with corner boards (wood or vinyl) and ornamentation of gable end or eave brackets.

c. Contemporary. Contemporary architecture focuses on innovation while being in harmony with nature through the use of clean geometric lines and elements such as openness both in interiors and to the outside, natural light, eco-friendly materials and creative styles. This is achieved through the use of a range of building materials such as concrete, glass, wood, and metals.

## 2. Building Design Standards.

a. Building façades. The following standards apply:

i. All primary façades of a building must be designed with consistent architectural style, detail, and trim features.

ii. Buildings or projects located at the intersection of two or more arterial or collector roads shall include design features to emphasize their location as gateways and transition points within the community.

b. Principal entrance façade standards.

i. Building entrance. Buildings located along a public or private street must be designed with the principal entrance clearly defined, and with convenient access from both parking and the street.

ii. Design features. The design of principal entrance façades must include, at a minimum, three of the following design features.

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However, a minimum of two of the following design features is required for buildings less than 5,000 square feet.

- a) Glazing covering a minimum of 25 percent of the principal entrance façade area, consisting of window and/or glazed door openings. As an alternative, trellis or latticework on the principal entrance façade used as a support for climbing plants may count for up to 50 percent of the window area on principal entrance facades. The planting area shall be an irrigated bed three (3) feet in depth and a minimum width equal to the width of the trellis with three (3)-gallon vines at three (3) feet on center at time of installation. Climbing plants shall achieve 80 percent opacity on the trellis within one year.
- b) Projected or recessed covered principal entrance facades providing a minimum horizontal dimension of eight feet and a minimum area of 100 square feet. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.
- c) Covered walkway, or arcade (excluding canvas type) constructed with columns at least eight (8) inches wide, attached to the building, or located no more than 12 feet from the building. The structure must be permanent, and its design must relate to the principal structure. The minimum width must be six (6) feet, with a total length measuring a minimum of 40 percent of the length of the associated façade. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.
- d) Awnings located over doors, windows, or other ornamental design features projecting a minimum of two (2) feet from the principal entrance façade wall and a width totaling a minimum of 25 percent of the principal entrance façade length. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.
- e) Porte-cochere with a minimum horizontal dimension of 18 feet. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.
- f) A tower element such as but not limited to a clock or bell tower element. In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.

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- g) Trellis or latticework covering a minimum of 15 percent of the principal entrance façade and used as a support for climbing plants. The planting area shall be an irrigated bed three (3) feet in depth and a minimum width of the trellis with three (3)-gallon vines at three (3) feet on center at time of installation and climbing plants shall achieve 80 percent opacity on the trellis within one year. This provision shall not be utilized with the alternative design feature identified in LDC section 4.02.27 B.2.b.ii.a.
- h) Entry plaza to the building with a minimum 100 square feet in area that includes seating. In addition, a minimum of 15 percent of the primary façade area must be devoted to window and/or glazed door openings.
- i) Entry courtyard contiguous with the building entry and connected to the principal entrance façade consisting of a defined space with a minimum area of 300 square feet. The courtyard may be any combination of hard or softscape with walkways and defined hard edge, decorative fencing, or a minimum three (3)-foot wall(s). In addition, a minimum of 15 percent of the principal entrance façade area must be devoted to window and/or glazed door openings.
- j) For mixed use development projects within C-1 through C-3 zoning districts the following design features may be used:
- i) Open arcade or covered walkway with a minimum depth of eight (8) feet and a minimum length of 60 percent of the façade.
- ii) A building recess or projection of the first floor with minimum depth of eight (8) feet and total minimum length of 60 percent of the façade length.
- iii) Architectural elements such as balconies and bay windows with a minimum depth of three (3) feet and that cover a minimum of 30 percent of the façade above the first floor. (Storm shutters, hurricane shutters, screen enclosures or any other comparable feature, if applied as part of the structure, must also comply with the required minimum depth).
- c. Façade/wall height transition elements.
- i. Purpose. The intent of this section is to ensure that the proposed buildings relate in mass and scale to the immediate streetscape and the adjacent built environment.



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ii. Applicability. Transitional massing elements must be provided on proposed buildings that are twice the height or more of any existing building within 150 feet, as measured from the edge of the proposed building.

iii. Design standards.

a) Transitional massing elements can be no more than 100 percent taller than the average height of the adjacent buildings, but no more than 30 feet, and no less than ten (10) feet above the existing grade.

b) Transitional massing elements must be incorporated for a minimum of 60 percent of the length of the façade, which is in part or whole within the 150 feet of an existing building.

c) Transitional massing elements include, but are not limited to, wall plane changes, roofs, canopies, colonnades, balconies, other similar architectural features, with the minimum depth for projections and recesses relative to the building size, and must meet the following requirements:

i) For buildings consisting of 20,000 square feet or larger in gross building area, projections and recesses must have a minimum depth of six (6) feet.

ii) For buildings between 10,000 and 19,999 square feet in gross building area, projections and recesses must have a minimum depth of four (4) feet.

iii) For buildings up to 9,999 square feet in gross building area, projections and recesses must have a minimum depth of two (2) feet.

d. Variation in massing. A single, large, dominant building mass must be avoided. Changes in mass must be related to entrances, the integral structure and the organization of interior spaces and activities, and not merely for cosmetic effect. False fronts or parapets create insubstantial appearance and are discouraged. All façades, excluding courtyard area, shall be designed to employ the design treatments listed below.

i. Projections and recesses.

a) For buildings 20,000 square feet or larger in floor area, a maximum length, or uninterrupted curve of any façade, at any point, shall not exceed 125 linear feet. Projections and recesses must have a minimum depth of six (6) feet within the 125 linear feet limitation.

b) For buildings between 10,000 and 19,999 square feet in floor area, a maximum length, or uninterrupted curve of any

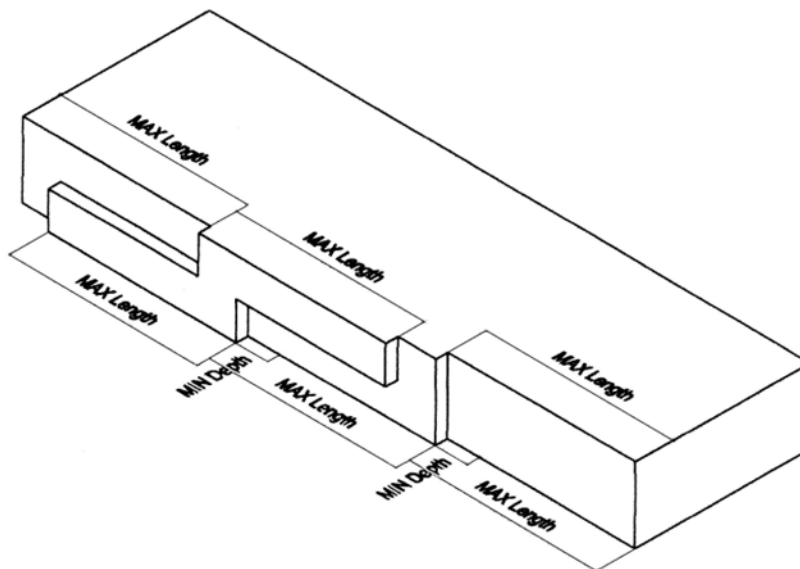
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façade, at any point, shall not exceed 100 linear feet. Projections and recesses must have a minimum depth of four (4) feet within the 100 linear feet limitation.

c) For buildings between 5,000 and 9,999 square feet in floor area, a maximum length, or uninterrupted curve of any façade, at any point, shall not exceed 75 linear feet. Projections and recesses must have a minimum depth of two (2) feet within the 75 linear feet limitation.

d) For buildings less than 5,000 square feet in floor area, a maximum length, or uninterrupted curve of any façade, at any point, shall not exceed 50 linear feet. Projections and recesses must have a minimum depth of one and a half (1.5) feet, and a minimum total width of 20 percent of the façade length.

Illustration - Measurement of projections and recesses.



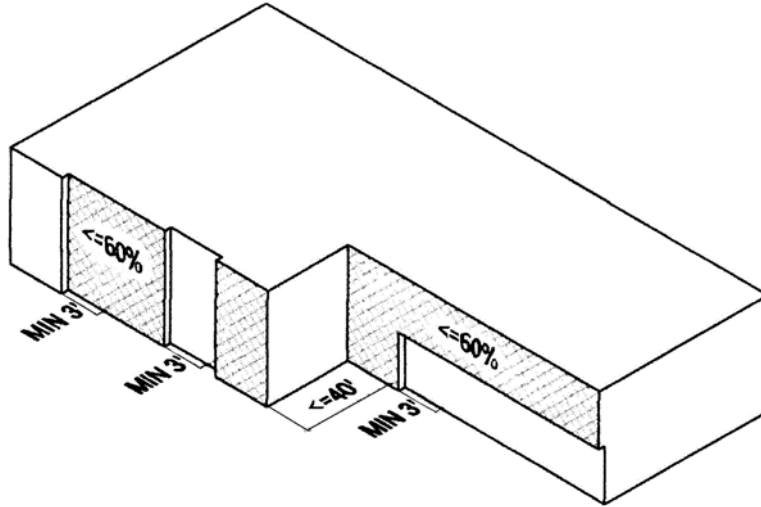
e. Wall Plane Changes.

i. Buildings subject to the projections or recesses depths required by LDC section 4.02.27 A.1 must not have a single wall plane exceeding 60 percent of each façade.

ii. If a building has a projection or recess of 40 feet or more, each is considered a separate façade, and must meet the requirements for wall plane changes in LDC section 4.02.27 B.2.e.i.

Illustration Wall Plane Percentages

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- xii. Projected and covered entry, with minimum dimension of eight (8) feet and the minimum area of 100 square feet;
- xiii. Emphasized building base, minimum of three (3) feet high, with a minimum projection from the wall of two (2) inches;
- xiv. Additional roof articulation above the minimum standards;
- xv. Curved walls;
- xvi. Columns;
- xvii. Pilasters;
- xviii. Metal or tile roof material;
- xix. Expressed or exposed structural elements;
- xx. Additional glazing at a minimum of 15 percent beyond the code minimum requirement;
- xxi. Solar shading devices (excluding awnings) that extend a minimum of 50 percent of the length of the building façade;
- xxii. Translucent glazing at a minimum of 10 percent beyond the code minimum glazing requirement;
- xxiii. Glass block at a minimum of 10 percent beyond the code minimum glazing requirement; or
- xxiv. Where the optional design feature in LDC section 4.02.27 B.2.a. is chosen and 85 percent of all exterior glazing within the first three stories of the building have any of the following:
  - a) Low reflectance, opaque glazing materials (may include spandrel glass with less than 15 percent reflectance);
  - b) Glass with visual patterns consisting of opaque points or patterns etched into or applied to the exterior or interior surfaces with frit, frost, or film for single pane or insulated glass. A maximum of two (2) inch spacing between horizontal elements and a maximum of four (4) inch spacing between vertical elements, with a minimum line or dot diameter thickness of one-eighth (1/8) inch;
  - c) Glass with continuous etch or continuous frit on interior surface, single pane, or insulated glass; or
  - d) External screens.
- g. Window standards.



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- i. False or applied windows are allowed but shall not be included in the glazing requirement for principal entrance façades.
- ii. Spandrel panels in curtain wall assemblies are allowed and shall be included in the minimum glazing required for principal entrance façades.
- h. Additional standards for outparcels and freestanding buildings within a non-residential or mixed-use PUD or unified development plan.
  - i. Purpose and intent. To provide unified architectural design and site planning for all on-site structures, and to provide for safe and convenient vehicular and pedestrian access and movement within the site.
  - ii. Façades standards. All façades must meet the requirements of LDC section 4.02.27 B.2.f. Building design treatments.
    - a) Primary façades. All exterior façades of freestanding structures, including structures located on outparcels, are considered primary façades except for one secondary façade as defined below, and must meet the requirements of this section with respect to the architectural design treatment for primary façades in LDC section 4.02.27.B.2., except for those façades considered secondary façades.
    - b) Secondary façades. Outparcels and freestanding buildings are allowed one secondary façade. One façade of a freestanding structure, including structures located on outparcels, that is internal to the site and that does not abut or face public or private streets or internal drive aisles adjacent to the development.
  - iii. Design standards. The design for freestanding buildings must employ architectural, site and landscaping design elements integrated with, and common to those used on the primary structure and its site. These common design elements must include colors, building materials, and landscaping associated with the main structure. All freestanding buildings must provide for vehicular and pedestrian inter-connection between abutting outparcels or freestanding sites and the primary structure.
  - iv. Primary façade standards. The following design feature is an additional option which can be used to meet the requirement in LDC section 4.02.27 B.2.b.ii. Primary façade design features: Walls expanding the design features of the building, not less than seven (7) feet high, creating a courtyard not less than 12 feet from the building and length of no less than 60 percent of the length of the associated façade. The courtyard may be gated and able to be secured from exterior public access. Grilled openings are allowed if

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the courtyard is landscaped. Opening depths or wall terminations must be a minimum of 12 inches deep. If the courtyard contains service or equipment, the height and design must prevent view from the exterior. Courtyard walls are not to be considered fences.

i. Roof treatments.

i. Purpose and intent. Variations in rooflines are used to add interest and reduce the massing of large buildings. Roof height and features must be in scale with the building's mass and shall complement the character of surrounding buildings and neighborhoods. Roofing materials must be constructed of durable, high-quality material in order to enhance the appearance and attractiveness of the community. The following standards identify appropriate roof treatments and features.

ii. Roof edge and parapet treatment.

a) When a building's largest floor is greater than 5,000 square feet in floor area a minimum of two (2) roof-edge or parapet line changes are required for all primary façades. One such change must be located on primary façades. Thereafter, one (1) additional roof change is required every 100 linear feet around the perimeter of the building. If a vertical change is used, each vertical change from the dominant roof condition must be a minimum of 10 percent of building height, but no less than three (3) feet. If a horizontal change is used, each horizontal change from the dominant roof condition must be a minimum of 20 percent of the façade length, but no less than three (3) feet.

b) Roofs, other than mansard roofs, with the slope ratio of 3:12 or higher are exempt from the above requirements for vertical change for the façades that are less than 200 feet. One roof edge, or parapet line change must be provided for every 200 linear feet of the façade length.

iii. Roof design standards. Roofs must meet the following requirements:

a) When parapets are used, the average height of such parapets must not exceed 20 percent of the height of the supporting wall, with exception of the parapets used to screen mechanical equipment. Parapets used to screen mechanical equipment must be no less than the maximum height of the equipment. The height of parapets shall not, at any point, exceed one-third (1/3) the height of the supporting wall.

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- b) When a flat roof is screened with a parapet wall or mansard roof at any façade, a parapet or mansard roof treatment must extend along the remaining façades.
- c) When sloped roofs are used, the massing and height must be in proportion with the height of its supporting walls. Sloped roofs must meet the following requirements:
  - i) Sloped roofs that are higher than its supporting walls must feature elements that create articulation and reduce the massing of the roof. This includes: clear story windows, cupolas, dormers, vertical changes, or additional complementary colors to the color of the roof.
  - ii) The color(s) of a sloped roof must complement the color(s) of the façades.
- iv. Prohibited roof types and materials. The following roof types and roof materials are prohibited:
  - a) Asphalt shingles, except laminated, 320-pound, 30-year architectural grade asphalt shingles or better.
  - b) Mansard roofs and canopies, unless they meet the following standards:
    - i) Minimum vertical distance of eight (8) feet is required for buildings larger than 20,000 square feet.
    - ii) Minimum vertical distance of six (6) feet is required for buildings of up to 20,000 square feet of floor area.
    - iii) The roof angle shall not be less than 25 degrees, and not greater than 70 degrees.
  - c) Awnings used as a mansard or canopy roofs.
- j. Awning standards. These standards apply to those awnings associated with and attached to a building or structure.
  - i. Mansard awnings, which are those awnings that span 90 percent, or more, of a façade length and those which do not provide a connection between façades, must adhere to all roof standards of LDC section 4.02.27 B.2.i. Roof treatments.
  - ii. All other awnings, which are awnings that constitute less than 90 percent of a façade length, and those that do not provide a connection between façades, must adhere to the following standards:

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a) The portion of the awning with graphics may be backlit, provided the illuminated portion of the awning with graphics does not exceed size limitations and the other sign standards of LDC sections 5.06.00, 9.03.00, and 9.04.00.

b) The location of awnings must relate to the window and door openings, or other ornamental design features.

k. Materials and colors.

i. Purpose and intent. Exterior building colors and materials contribute significantly to the visual impact of buildings on the community. The colors and materials must be well designed and integrated into a comprehensive design style for the project. Intense, deep colors are appropriate for creating a Spanish influenced architectural character. Building trims (windowsills, door frames, ornamental features, etc.) should be highlighted with a different color from that of the building body color. Frame Vernacular architectural style reflects less intense, softer color shades highlighting architectural details in bright white.

ii. Exterior building colors.

a) The use of color materials or finish paint above level 14 saturation (chroma) or below lightness level three (3) on the Collier County Architectural Color Charts is limited to no more than 50 percent of a façade or the total roof area.

b) The use of naturally occurring materials are permissible, such as marble, granite, and slate and the following man-made materials: silver unpainted metal roofs, and composite wood and decking materials.

iii. Exterior building materials (excluding roofs). The following building finish materials are limited to no more than 50 percent of the façade area:

a) Corrugated, or metal panels.

b) Smooth concrete block.

3. Design Standards for Specific Building Uses. Certain uses may be established, constructed, continued, and/or expanded provided they meet certain mitigating standards specific to their design and/or operation. These conditions ensure compatibility between land uses and building types and minimize adverse impacts to surrounding properties.

a. Self-storage buildings. Self-storage buildings are subject to all of the applicable provisions of this section with the following exceptions and additions:



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- i. Overhead doors. Overhead doors are permitted on the primary façade of self-storage buildings within the IUAOD.
- ii. Screen walls. When a wall is proposed to screen the facility, it must be constructed of material similar and complementary to the primary building material and architecture. Long expanse of wall surface shall be broken into sections no longer than 50 feet and designed to avoid monotony by use of architectural elements such as pillars.
- iii. Single-story self-storage buildings. LDC section 4.02.27 B.2.b. Primary façade design features can be replaced with one of the following two options:
  - a) Option 1.
    - i) A minimum of 20 percent of the primary façade area must be glazed; and
    - ii) A covered public entry with a minimum roof area of 80 square feet and no dimension less than eight (8) feet, or a covered walkway at least six (6) feet wide with a total length measuring no less than 60 percent of the length of the façade.
  - b) Option 2. If the project design incorporates a screen wall around the perimeter of the self-storage facility, the following standards apply:
    - i) Architecturally treated, six (6)-foot high, screen wall is required to screen the facility.
    - ii) The roof slope for the buildings is a minimum of 4:12 ratio for double slopes, and 3:12 ratio for single slope.
    - iii) A landscape buffer at least seven (7) feet wide consisting of 10 clustered shrubs (per 100 linear feet) is required on the exterior of the wall. Shrubs shall be 24 inches tall at planting and maintained at 36 inches.
  - c) In the case that none of the above options are met, then LDC section 4.02.27 B.2.b. Primary façade design features must be met.
- iv. Multi-story self-storage buildings. The requirements of LDC section 4.02.27 B.2.b. primary façade design features can be replaced with one of the following two options:
  - a) Option 1.

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- i) A minimum of 20 percent of the primary façade area must be glazed; and
  - ii) A covered public entry with a minimum roof area of 80 square feet and no dimension less than eight (8) feet, or a covered walkway at least six (6) feet wide with a total length measuring no less than 60 percent of the length of the façade; and
  - iii) Foundation planting areas must be a minimum of 10 percent of the ground level building area for all buildings. The plantings can be clustered as desired; however, some plantings must be provided on both sides of the building's principal entrance.
- b) Option 2. If project design incorporates a screen wall around the perimeter of the self-storage facility, the following standards apply:
- i) Architecturally treated, eight (8) feet high screen wall is required to screen the ground floor of the facility; and
  - ii) A landscape buffer at least seven (7) feet wide consisting of 10 shrubs (per 100 linear feet) is required on the exterior of the wall. Shrubs shall be 10 feet on center, 24 inches tall at planting and maintained at 36 inches; and
  - iii) Primary façades above the ground level must include glazing, covering at a minimum 20 percent of the façade area; and
  - iv) Foundation planting areas must be a minimum of 10 percent of the ground level building area for all buildings. The plantings can be clustered as desired; however, some plantings must be provided on both sides of the building's principal entrance.
- c) In the case that none of the above options are met, then LDC section 4.02.27 B.2.b. primary façade design features must be met.
- b. All facilities with fuel pumps. The provisions of LDC section 5.05.05 Facilities with fuel pumps shall be applicable within the IUAOD with the following exceptions:
- i. LDC section 5.05.05 C. shall apply except the architectural requirements of LDC section 5.05.08 are replaced and superseded by LDC section 4.02.27.

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- ii. LDC section 5.05.05 C.1.b.iv.b shall not limit eave fascia canopy colors to a single color.
  - iii. LDC section 5.05.05 D. Supplemental standards for facilities with fuel pumps within 250 feet of residential property.
  - iv. LDC section 5.05.05 E. The following landscape requirements under subsection 4.02.27 B.3.c.ii are in addition to the requirements of LDC section 4.02.27 B.4 Buffer and Landscaping Requirements.
- c. Supplemental standards for facilities with fuel pumps within 250 feet of residential property. Facilities with fuel pumps shall be subject to the following standards when located within 250 feet of residentially zoned or residentially developed properties, hereinafter referred to as "residential property," as measured from the property line of the facility with fuel pumps to the residential property line. However, a facility with fuel pumps shall be exempt from this section when it is separated from residential property by a minimum of 100 feet of designated preserve area that is 80 percent opaque and at least 12 feet in height within one year, or a minimum four (4)-lane arterial or collector right-of-way.
- i. Setbacks. All structures shall provide a minimum 50-foot front, side, and rear yard setback from residential property line(s).
  - ii. Landscaping and masonry wall standards. Facility with fuel pumps sites shall be separated from residential property by a 15-foot-wide Type I-D landscape buffer with an architecturally designed masonry wall. The masonry wall shall be eight (8) feet in height, centered within the landscape buffer, and shall use materials similar in color, pattern, and texture to those utilized for the principal structure.
  - iii. Music, amplified sound, and delivery time standards.
    - a) Music and amplified sound shall not be played in the fuel pump area between the hours of 10:00 p.m. and 7:00 a.m.
    - b) Music and amplified sound shall not be audible from the residential property line.
    - c) Deliveries shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. in the area located between the neighboring residential property and the facility with fuel pumps.
  - iv. Lighting standards.
    - a) All light fixtures shall be directed away from neighboring properties.

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- 1                   b) On-site light fixtures within 50 feet of residential property  
2                   shall not exceed a height greater than 15 feet above finished  
3                   grade. Light fixtures elsewhere shall not exceed a height  
4                   greater than 20 feet above finished grade.
- 5
- 6                   c) All light fixtures shall be full cutoff with flat lenses.
- 7
- 8                   d) On-site luminaries shall be of low level, indirect diffuse type,  
9                   and shall be between a minimum average of one and a half  
10                  (1.5) foot-candles and a maximum average of five (5) foot-  
11                  candles.
- 12
- 13                  e) Illumination shall not exceed:
- 14
- 15                    i) One-half (0.5) foot-candles at all residential property  
16                    lines.
- 17
- 18                    ii) One-fifth (0.2) foot-candles at 10 feet beyond all  
19                    residential property lines.
- 20
- 21                  f) Lighting located underneath the canopy shall be recessed,  
22                  of indirect diffuse type, and designed to provide light only to  
23                  the pump island areas located underneath said canopy.
- 24
- 25                  g) Under canopy luminance shall be between a minimum  
26                  average of five (5) foot-candles and a maximum average of  
27                  20 foot-candles.
- 28
- 29                  v. Dumpster enclosures. At a minimum, the dumpster enclosure shall  
30                  be located at a distance from residential property equal to the  
31                  setback of the principal structure from residential property.
- 32
- 33                  vi. See LDC section 5.05.11 for car washes, vacuums, and  
34                  compressed air stations abutting residential zoning districts.
- 35
- 36                  vii. Landscaping adjacent to all other property lines:
- 37
- 38                    a) Landscaping adjacent to all other property lines shall  
39                    comply with the requirements in LDC section 4.02.27 B.4.
- 40
- 41                    b) Curbing shall be installed and constructed, consistent with  
42                    minimum code requirements, between all paved areas and  
43                    landscape areas.
- 44
- 45                  d. Hotel/motel.
- 46
- 47                    i. Applicability. All standards of LDC section 4.02.27 are applicable  
48                    with the following exceptions.
- 49
- 50                    ii. Design features. LDC section 4.02.27 B.2.b. Primary façade design  
51                    features can be replaced as follows:



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a) The design of the primary façades must include windows and other glazed openings covering at least 20 percent of the primary façade area, and one of the following design features:

i) Projected, or recessed, covered public entry providing a minimum horizontal dimension of eight (8) feet, and a minimum area of 100 square feet, or

ii) Covered walkway or arcade (excluding canvas type) that is attached to the building or located no more than 12 feet from the building. The structure must be permanent, and its design must relate to the principal structure. The minimum width shall be six (6) feet, with a total length measuring 60 percent of the length of the associated façade.

b) For buildings located 200 feet or more from the street right-of-way, the projected or recessed entry and covered walkway or arcade, required by the above LDC section 4.02.27 B.3.d.ii.a), can be located on any façade.

e. Outside play structures. No portion of any play structure, located between the front building line and any adjacent right-of-way, may exceed a height of 12 feet as measured from existing ground elevation.

#### 4. Buffer and landscaping requirements.

##### a. Applicability.

i. The provisions of LDC section 4.06.00 Landscaping, Buffering and Vegetation Retention shall be applicable to non-residential development within the IUAOD, except for the following regulations which replace:

a) LDC section 4.06.02 Buffer Requirements.

b) LDC section 4.06.03 A. Landscaping Requirements for Vehicular Use Areas and Rights-of-Way Applicability.

c) LDC section 4.06.03 B. Standards for Landscaping in Vehicular Use Areas.

d) LDC section 4.06.05 C. Building Foundation Plantings.

ii. Applicability of buffer requirements. The buffering and screening requirements identified in Table 1 below shall apply to all new non-residential development. Existing landscaping which does not comply with the provisions of this section shall be brought into conformity to the maximum extent possible when: the vehicular use

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area is altered or expanded (except for restriping of lots/drives), the building square footage is changed, or building improvements exceed 50 percent of the value of the structure.

iii. Developments shall be buffered for the protection of property owners from land uses as required pursuant to this section 4.02.27 B.4. Buffers shall not inhibit pedestrian circulation between adjacent commercial land uses. Buffers shall be installed during construction as follows and in accordance with LDC section 4.06.05 General Landscaping Requirements:

a) To separate residential developments from commercial, community use, industrial, and public use developments and adjacent expressways, arterials, and railroad rights-of-way, except where such expressway, arterial, or railroad right-of-way abuts a golf course.

b) To separate commercial, community use, industrial and public use developments from residential developments.

c) To delineate and create some limited separation between non-residential uses.

iv. Separation shall be created with a landscape buffer strip which is designed and constructed in compliance with the provisions of LDC section 4.02.27 B.4 and LDC section 4.06.00, as applicable. Such buffer strip(s) shall be shown and designated on the final plat as a tract of easement and shall not be located within any public or private right-of-way. The ability to locate buffer(s) within a platted or recorded easement shall be determined pursuant to the provisions of LDC section 4.06.00. Buffers adjacent to protected/preserve areas shall conform to the requirements established by the agency requiring such buffer.

v. Landscape buffers, when required by the Land Development Code, or other county regulation shall be in addition to the required right-of-way width and shall be designated as a separate buffer tract or easement on the final subdivision plat. The minimum buffer width shall be in conformance with this section 4.02.27 B.4. In no case shall the required buffer be constructed to reduce cross-corner or stopping sight distances, or safe pedestrian passage. All buffer tracts or easements shall be owned and maintained by a property owner's association or other similar entity and shall be so dedicated on the final subdivision plat.

b. Methods of determining buffers. Where a property adjacent to the proposed use is: (1) undeveloped, (2) undeveloped but permitted without the required buffering and screening required pursuant to this Code, or (3) developed without the buffering and screening required pursuant to this Code, the proposed use shall be required to install the more opaque buffer as provided for in Table 1. Where property adjacent to the proposed use has

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provided the more opaque buffer as provided for in Table 1, the proposed use shall install a type I-A buffer.

i. Where the incorporation of existing native vegetation in landscape buffers is determined as being equivalent to or in excess of the intent of this Code, the County Manager or designee may waive the planting requirements of this section.

ii. The buffering and screening provisions of this Code shall be applicable at the time of planned unit development (PUD), subdivision plat, or site development plan review, with the installation of the buffering and screening required pursuant to LDC section 4.06.05 H. If the applicant chooses to forego the optional PSP process, then signed and sealed landscape plans will be required on the final subdivision plat. Where a more intensive land use is developed contiguous to a property within a similar zoning district, the County Manager or designee may require buffering and screening the same as for the higher intensity uses between those uses.

iii. Landscape buffering and screening standards within any planned unit development shall conform to the minimum buffering and screening standards of the zoning district to which it most closely resembles. The County Manager or designee may approve alternative landscape buffering and screening standards when such alternative standards have been determined by use of professional acceptable standards to be equivalent to or in excess of the intent of this Code.

c. Types of buffers. Within a required buffer strip, the following types of buffers shall be used based on the matrix in Table 1. There are four (4) possible buffer types, as described below. Each buffer type includes a minimum width and a minimum number of trees and shrubs per 100-linear-foot segment of boundary. A hedge shall at a minimum consist of three (3) gallon plants, two (2) feet in height spaced a minimum of three (3) feet on center at planting unless otherwise indicated in the table below or within the specific section of the LDC. The buffer types are:

<u>Buffer Types (per 100 linear feet)</u>				
	<u>I-A</u>	<u>I-B</u>	<u>I-C</u>	<u>I-D</u>
<u>Minimum width (feet)</u>	<u>10</u>	<u>15</u>	<u>15</u>	<u>15</u>
<u>Minimum number of trees</u>	<u>2</u>	<u>4</u>	<u>3</u>	<u>4</u>
<u>Minimum number of shrubs</u>	<u>0</u>	<u>18 (36 inches tall)*</u>	<u>60-inch tall hedge, or 18 shrubs (60 inches tall) with a wall</u>	<u>36-inch tall hedge or 4 shrubs (36 inches tall) with a wall*</u>

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\*For a Type I-B or I-D buffer, shrubs shall be 24 inches tall at planting and maintained at 36 inches.

i. Type I-A Buffer.

a) Minimum Width: 10 feet.

b) Minimum number of trees (per 100 linear feet): Two (2)

ii. Type I-B Buffer.

a) Minimum Width: 15 feet.

b) Minimum number of trees (per 100 linear feet): Four (4).

c) Minimum number of shrubs (per 100 linear feet): 18 (planted at 24 inches and maintained at 36-inches)

iii. Type I-C Buffer.

a) Minimum Width: Fifteen feet.

b) Minimum number of trees (per 100 linear feet): Three. Trees shall be spaced no more than 33 feet on center.

c) Minimum number of shrubs (per 100 linear feet): a 60-inch tall hedge or 18 shrubs (60 inches tall) with a wall

iv. Type I-D Buffer.

a) Minimum Width: 15 feet.

b) Minimum number of trees (per 100 linear feet): Four.

c) Minimum number of shrubs (per 100 linear feet): a 36-inch tall hedge, or 4 shrubs (36 inches tall with a wall).

i) A continuous three (3)-gallon single row hedge spaced three (3) feet on center of at least 24 inches in height at the time of planting and attaining a minimum of 36 inches in height in one year shall be required in the landscape buffer where vehicular areas are adjacent to the road right-of-way or where deemed appropriate, pursuant to LDC section 4.06.05 D.4. Shrubs and Hedges.

ii) Where a fence or wall fronts an arterial or collector road as described by the transportation circulation element of the growth management plan, a continuous three (3)-gallon single row hedge a minimum of 24 inches in height spaced three (3) feet on center, shall be planted along the right-of-way



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side of the fence. The required trees shall be located on the side of the fence facing the right-of-way. Every effort shall be made to undulate the wall and landscaping design incorporating trees, shrubs, and ground cover into the design. It is not the intent of this requirement to obscure from view decorative elements such as emblems, tile, molding and wrought iron.

iii) The remaining area of the required landscape buffer must contain only existing native vegetation, grass, ground cover, or other landscape treatment. Every effort should be made to preserve, retain, and incorporate the existing native vegetation in these areas.

iv) A signage visibility triangle may be created for non-residential on-premises signs located as shown in Figure 4.06.02 C-2 for Type I-D buffers that are 20 feet or greater in width. The line of visibility shall be no greater than 30 linear feet along road right-of-way line. Within the visibility triangle, shrubs and hedges shall be required pursuant to LDC section 4.06.05 D.4, except that hedges, shrubs, or ground cover located within the signage visibility triangle shall be maintained at a maximum plant height of 24 inches. Within the visibility triangle, no more than one required canopy tree may be exempted from the Type I-D buffer requirements.

#### v. Interpretation of Table 1.

a) The table below describes the required buffer type when a proposed use is abutting a different existing use or, in the absence of an existing use, the existing zoning.

b) The letter listed under "Adjacent Properties Zoning District and/or Property Use" shall be the landscape buffer and screening alternative required. Where a conflict exists between the buffer required by zoning district or property use, the more stringent buffer shall be required.

c) The "-" symbol shall represent that no buffer is required.

d) The PUD district buffer, due to a variety of differing land uses, is indicated by the "\*" symbol, and shall be based on the landscape buffer and screening of the district or property use with the most similar types, densities, and intensities of uses.

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- e) Where a conflict exists between the buffering requirements and the yard requirements of this Code, the yard requirements of the subject zoning district shall apply.

Table 1

	<u>Adjacent Properties Zoning District and/or Property Use</u>													
<u>Subject Property's District/Use</u>	<u>Agriculture (A<sup>1</sup>)</u>	<u>Residential (E, RSF) single-family</u>	<u>Residential (RMF-6, RMF-12, RMF-16) multifamily</u>	<u>Residential tourist (RT)</u>	<u>Village residential (VR)</u>	<u>Mobile home (MH)</u>	<u>Commercial<sup>3</sup> (C-1, C-2, C-3, C-4, C-5) : Business Park</u>	<u>Industrial<sup>2</sup></u>	<u>Public use (P), Community Facility (CF), Golf Course</u>	<u>Planned Unit Development</u>	<u>Vehicular rights-of-way</u>	<u>Golf course maintenance building</u>	<u>Golf Course</u>	<u>Automobile Service Station</u>
<u>Agriculture (A<sup>1</sup>)</u>	-	I-B	I-B	I-B	I-B	I-B	I-A	I-A	I-A	I-A	I-D	I-A	-	I-A
<u>Commercial<sup>3</sup> (C-1, C-2, C-3, C-4, C-5); Business Park (BP)</u>	I-A	I-C	I-C	I-C	I-C	I-C	I-A	I-A	I-A	- *	I-D	I-B	I-B	I-B
<u>Industrial<sup>2</sup> (I)</u>	I-A	I-C	I-C	I-C	I-C	I-C	I-A	I-A <sup>2</sup>	I-A	- *	I-D	I-C	I-C	I-C
<u>Public use (P), community facility (CF), Golf Course Clubhouse, Amenity Center</u>	I-A	I-B	I-B	I-B	I-B	I-B	I-A	I-A	I-A	- *	I-D	I-B	-	I-C
<u>Planned unit development (PUD)</u>	- *	- *	- *	- *	- *	- *	- *	- *	- *	- *	I-D	- *	- *	- *
<u>Vehicular rights-of-way</u>	I-D	I-D	I-D	I-D	I-D	I-D	I-D	I-D	I-D	I-D	-	I-D	-	I-D
<u>Golf course maintenance building</u>	I-B	I-B	I-B	I-B	I-B	I-B	I-B	I-C	I-B	I-B	I-D	-	I-B	I-C
<u>Golf course</u>	-	-	-	-	-	-	-	I-C	-	-	-	I-B	-	I-C

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<u>Automobile service station</u> <sup>4</sup>	<u>I-A</u>	<u>I-C</u>	<u>I-C</u>	<u>I-C</u>	<u>I-C</u>	<u>I-C</u>	<u>I-C</u>	<u>I-A</u>	<u>I-C</u>	<u>*</u>	<u>I-D</u>	<u>I-C</u>	<u>I-C</u>	<u>:</u>
--	------------	------------	------------	------------	------------	------------	------------	------------	------------	----------	------------	------------	------------	----------

<sup>1</sup> Buffering in agriculture (A) districts shall be applicable at the time of site development plan (SDP) submittal.

<sup>2</sup> Industrial (I) zoned property, where abutting industrial (I) zoned property, shall be required to install a minimum five (5)-foot-wide type I-A landscape buffer adjacent to the side and rear property lines. The buffer area shall not be used for water management. In addition, trees may be reduced to 50 feet on center along rear and side perimeter buffers only. This reduction in buffer width shall not apply to buffers adjacent to vehicular rights-of-way or nonindustrial zoned property. Abutting industrial zoned properties may remove a side or rear buffer along the shared property line in accordance with LDC section 4.02.27 B.4.c.viii. This exception to buffers shall not apply to buffers abutting vehicular rights-of-way.

<sup>3</sup> Buffer areas between commercial outparcels located within a shopping center, Business Park, or similar commercial development may have a shared buffer 15 feet wide with each abutting property contributing seven and one-half (7.5) feet. The outparcels may remove a side or rear buffer along the shared property line between comparable uses within the same zoning designation in accordance with LDC section 4.02.27.B.4.c.viii. These provisions shall not apply to right-of-way buffers.

<sup>4</sup> Refer to LDC section 4.02.27 B.3.b and c. for automobile service station landscape requirements.

vi. Business Parks. A 15-foot-wide landscape buffer shall be provided around the boundary of the business park when abutting residential zoning district or uses. A six (6)-foot tall opaque architecturally finished masonry wall, or berm, or combination thereof shall be required, and one row of trees spaced no more than 30 feet on center shall be located on the outside of the wall, berm, or berm/wall combination.

vii. Buffering and screening standards. In accordance with the provisions of this Code, loading areas or docks, outdoor storage, trash collection, mechanical equipment, trash compaction, vehicular storage excluding new and used cars, recycling, roof top equipment and other service function areas shall be fully screened and out of view from adjacent properties at ground view level and in view of roadway corridors.

viii. Joint Project Plan. Abutting platted parcels may submit a joint project plan to remove one side or rear landscape buffer along a shared property line in order to share parking or other infrastructure facilities, provided the following criteria are met:

a) A joint project plan shall include all necessary information to ensure that the combined site meets all of the design requirements of this Code and shall be submitted as either a single SDP or SIP consisting of both parcels, or separate SDPs or SIPs for each parcel that are submitted

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concurrently. Joint project plans require a shared maintenance and access easement that is recorded in the public records.

b) The following are eligible for a joint project plan. One outparcel shall be no greater than three acres and the combined parcel acreage shall not exceed five acres:

i) Abutting commercial outparcels located within a shopping center.

ii) Abutting commercial parcels in a Business Park.

iii) Abutting commercial parcels with the same zoning designation.

iv) Abutting industrial parcels with the same zoning designation.

c) The buffer to be eliminated shall not be a perimeter buffer or adjacent to any internal main access drives.

d. Standards for retention and detention areas in buffer yards. Unless otherwise noted, all standards outlined in section 4.06.05 C apply. Trees and shrubs must be installed at the height specified in this section.

Water management systems, which must include retention and detention areas, swales, and subsurface installations, are permitted within a required buffer provided they are consistent with accepted engineering and landscaping practice and the following criteria:

i. Water management systems must not exceed 50 percent of the square footage of any required side, rear, or front yard landscape buffer.

ii. Water management systems must not exceed, at any location within the required side, rear, or front yard landscape buffer, 70 percent of the required buffer width. A minimum five (5)-foot wide 10:1 level planting area shall be maintained where trees and hedges are required.

iii. Exceptions to these standards may be granted on a case-by-case basis, evaluated on the following criteria:

a) Water management systems, in the form of dry retention, may utilize an area greater than 50 percent of the buffer when existing native vegetation is retained at natural grade.

b) For lots of record 10,000 square feet or less in size, water management areas may utilize an area greater than 50 percent of the required side and rear yard buffers. A level

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planting area of at least three feet in width must be provided in these buffers.

iv. Sidewalks and other impervious areas must not occupy any part of a required I-A, I-B, I-C, or I-D type buffer, except when:

a) Driveways and sidewalks are constructed perpendicular to the buffer and provide direct access to the parcel.

b) Parallel meandering sidewalks occupy the buffer, and its width is increased by the equivalent sidewalk width.

c) A required 15—20-foot-wide buffer is reduced to a minimum of 10 feet wide and is increased by the five-to-ten-foot equivalent width elsewhere along that buffer.

e. Vehicular use areas.

i. Applicability. The provisions of this section shall apply to all new off-street parking or other vehicular use areas.

a) Existing landscaping which does not comply with the provisions of this Code shall be brought into conformity to the maximum extent possible when: the vehicular use area is altered or expanded except for restriping of lots/drives, the building square footage is changed, or the building improvements exceed 50 percent of the value of the structure.

b) These provisions shall apply to all non-residential development within the IUAOD.

c) Any appeal from an administrative determination relating to these regulations shall be to the Board of Zoning Appeals or equivalent.

d) Prior to issuing occupancy permits for new construction, implementation, and completion of landscaping requirements in off-street vehicular facilities shall be required.

e) Where a conflict exists between the strict application of this section and the requirements for the number of off-street parking spaces or area of off-street loading facilities, the requirements of this section shall apply.

ii. Standards for landscaping in Vehicular Use Areas. For projects subject to architectural design standards, see LDC section 4.02.27 B.2. for related provisions.



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- a) Landscaping required in interior of vehicular use areas. At least ten percent of the amount of vehicular use area onsite shall be devoted to interior landscaping areas. The width of all curbing shall be excluded from the required landscaped areas. All interior landscaped areas not dedicated to trees or to preservation of existing vegetation shall be landscaped with grass, ground cover, shrubs, or other landscape treatment. One tree shall be provided for every 250 square feet of the required interior landscaped area. Interior landscaped areas shall be a minimum of five feet in width and 150 square feet in area. The amount of required interior landscape area provided shall be shown on all preliminary and final landscape plans.
- b) All rows of parking spaces shall be bordered on each end by curbed terminal landscape islands. Each terminal landscape island shall measure inside the curb not less than eight feet in width and extend the entire length of the single or double row of parking spaces bordered by the terminal landscape island. Type D or Type F curb per current FDOT Design Standards is required around all terminal landscape islands. A terminal landscape island for a single row of parking spaces shall be landscaped with at least one canopy tree. A terminal landscape island for a double row of parking spaces shall contain not less than two canopy trees. The remainder of the terminal landscape island shall be landscaped with sod, ground covers or shrubs or a combination of any of the above.
- c) Interior landscaping areas shall be provided within the interior of all vehicular use areas. Landscaped areas, wall structures, and walks shall require protection from vehicular encroachment through appropriate wheel stops or curbs or other structures.
- d) Required landscape islands and perimeter planting beds shall be graded to provide positive drainage. Curbing around landscape areas shall include curb cuts where necessary so as not to inhibit positive drainage.
- e) Green space required in shopping centers and freestanding retail establishments with a floor area greater than 40,000 square feet. An area that is at least seven percent of the size of the vehicular use areas must be developed as green space within the front yard(s) or courtyards of shopping centers and retail establishments and must be in addition to the building perimeter planting area requirements. The courtyards must only be located in areas that are likely to be used by pedestrians visiting the shopping center and retail establishment. The seven percent green space area must be in addition to other landscaping requirements of this

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division, may be used to meet the open space requirements (section 4.02.01), and must be labeled "Green Space" on all subdivision and site plans (Refer to section 4.02.27 A.). The interior landscape requirements of these projects must be reduced to an amount equal to five percent (5 percent) of the vehicular use area on site. Green space must be considered areas designed for environmental, scenic, or noncommercial recreation purposes and must be pedestrian-friendly and aesthetically appealing. Green space may only include the following: lawns, mulch, decorative plantings, nonprohibited exotic trees, walkways within the interior of the green space area not used for shopping, fountains, manmade watercourses (but not water retention areas), wooded areas, park benches, site lighting, sculptures, gazebos, and any other similar items that the County Manager or designee deems appropriate. Green space must include: walkways within the interior of the green space area not used for shopping, a minimum of one (1) foot of park bench per 1,000 square feet of building area. The green space area must use existing trees where possible and landscaping credits will be allowed as governed by table 4.06.04 B. The green space areas must be located in areas that are in close proximity to the retail shopping area. Benches may also be located in interior landscaped areas and 75 percent of the benches may be located adjacent to the building envelope along paths, walkways and within arcades or malls.

f) Required landscaping for buildings over 20,000 square feet shall be pursuant to LDC section 4.02.27 A. The following requirements will be counted toward the required greenspace and open space requirements of this Chapter of this Code.

i) Trees in vehicular use areas must be a minimum of 14- to 16-foot height with a six- to eight-foot spread and a three- to four-inch caliper and must have a clear trunk area to a height of six feet.

ii) The first row of landscape islands located closest to the building front and sides must be landscaped with trees, palms, shrubs, and groundcovers and must have a clear trunk area to a height of seven feet.

f. Building foundation plantings.

i. All commercial buildings, residential buildings with three or more units, and retail and office uses in industrial buildings shall provide building foundation plantings in the amount of 10 percent of the overall building footprint area and a minimum planting width of five feet.

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- ii. Foundation planting areas, with the exception of trees, shall be located adjacent to building entrance(s), and along primary façades.
- iii. Building foundation plantings shall consist of shrubs, ground cover, raised planter boxes, and/or ornamental grass plantings.
- iv. A maximum of 50 percent of the required foundation planting may be located in perimeter buffers.
- v. Water management shall not occur in foundation planting areas.

#### 5. Off-street parking.

- a. Purpose and Intent. The following standards are intended to guide the development of off-street parking, loading and transportation access within the IUAOD to recognize the higher levels of bicycle and pedestrian activity in Immokalee, to encourage the continued use of alternative modes of transportation, and to provide safe and functional circulation patterns and connectivity for off-street parking.
- b. Applicability. In addition to LDC section 4.05.00 Off-street Parking and Loading, the following regulations shall apply to all non-residential development within the IUAOD, except for the following conditions:
  - i. The provisions of this section shall apply to all new off-street parking or other vehicular use areas.
  - ii. Existing landscaping which does not comply with the provisions of this Code shall be brought into conformity to the maximum extent possible when: the vehicular use area is altered or expanded except for restriping of lots/drives, the building square footage is changed or building improvements exceed 50 percent of the value of the structure.
  - iii. Prior to issuing occupancy permits for new construction, implementation, and completion of landscaping requirements in off-street vehicular facilities shall be required.
- c. Shared Parking. Shared parking arrangements between adjoining developments shall be encouraged.
- d. Parking Reduction. Off-street parking requirements may be reduced through the substitution of one required parking space by providing and maintaining a bicycle rack able to hold four bicycles throughout the IUAOD. The maximum reduction is 25 percent of the required off-street parking or 25 spaces, whichever is less.
- e. Bicycle parking.

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- i. Applicability. Due to the significance of pedestrian and bicycle modes of travel within the IUAOD, bicycle parking spaces shall be required for safe and secure parking of bicycles. These regulations replace LDC section 4.05.08 Bicycle Parking Requirements.
- ii. Number. Provisions for the safe and secure parking of bicycles shall be furnished at a ratio of five percent of requirements for motor vehicles as set forth in section 4.05.04. but not to exceed a maximum of 20 total bicycle parking spaces. A minimum of two bicycle parking spaces shall be provided.
- iii. Design.
  - a) A bicycle parking facility suited to a single bicycle ("bicycle parking space") shall be of a stand-alone inverted-U design measuring a minimum of 36 inches high and 18 inches wide [of one and one-half (1½) inch Schedule 40 pipe, ASTM F 1083] bent in one (1) piece ("bike rack") mounted securely to the ground [by a ¾-inch thick steel base plate, ASTM A 36] so as to secure the bicycle frame and both wheels.
  - b) Each bicycle parking space shall have a minimum of three feet of clearance on all sides of the bike rack.
  - c) Bicycle spaces shall be surfaced with the same or similar materials approved for the motor vehicle parking lot, lighted and located no greater than 100 feet from the main building entrance.
  - d) Extraordinary bicycle parking designs which depart from the bike rack standard but are consistent with the development's design theme shall be considered by the County architect. Bike racks which function without securing the bicycle frame, require the use of a bicycle kick stand, or which may be freely reoriented are not allowable.

#### 6. Fencing and Walls, Excluding Sound Walls.

- a. Applicability. The provisions of LDC section 5.03.02 Fence and Walls, Excluding Sound Walls, are applicable within the IUAOD with the following exceptions:
  - i. LDC section 5.03.02.G Supplemental Standards
- b. Supplemental standards.
  - i. All fences shall have their finished side facing outward.
  - ii. Fences on sites with structures which are subject to section 5.05.08 Architectural & Site Design Standards must comply with the following additional standards:

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- a) Chain link (including wire mesh) and wood fences are permitted forward of the primary façade.
- b) Fences forward of the primary façade, including chain link, wire mesh, and wood are permitted under the following conditions:
  - i) Fences shall not exceed four feet in height.
  - ii) The fence provides either an open view at a minimum of 25 percent of its length or provides variation in its height for a minimum of 15 percent of its length with a deviation of at least 12 inches.
  - iii) The fence style must complement building style through material, color, and design.
- iii. Use of chain link or wire mesh fencing (the requirements of this section are not applicable to single family dwellings). If located adjacent to an arterial or collector road in the urban coastal area, the fence shall be placed no closer than three feet to the edge of the right-of-way or property line.
- iv. Barbed wire is only authorized within agricultural districts and on fences surrounding public utility ancillary systems in all districts. Razor or concertina wire is not permitted except in the case of an institution whose purpose is to incarcerate individuals, i.e., a jail or penitentiary, or by application and decision by the County Manager or designee.

## 7. Outdoor lighting requirements.

- a. Applicability. In addition to LDC section 4.02.08 Outside Lighting Requirements, the following regulations shall apply to all non-residential development within the IUAOD. If any of the provisions noted herein conflict with other regulations within LDC section 4.02.08 Outside Lighting Requirements, the following shall apply.
- b. Design.
  - i. The design of the lighting fixtures shall be consistent with the design of the project (including outparcels) in style, color, materials, and location.
  - ii. Lighting shall be designed to comply with the intent of the Illuminating Engineering Society of North America (full cutoff). All lighting shall be designed to eliminate uplighting.
  - iii. Lighting shall be designed to prevent the glare or spillage of light onto adjacent properties and to prevent hazardous interference with



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automotive and pedestrian traffic. In order to accomplish this, all exterior lighting shall be directional, and use recessed light bulbs, filters or shielding to conceal the source of illumination.

- c. Security Lighting. Lighting for security purposes shall be directed away from and shielded from adjacent properties and rights-of-way. This requirement shall also apply to agricultural uses.

## 8. Signage.

- a. Applicability. In addition to LDC section 5.06.00 Sign Regulations and Standards by Land Use Classification, the following regulations shall apply to all businesses within the IUAOD. If any of the provisions noted herein conflict with LDC section 5.06.00 Sign Regulations and Standards by Land Use Classification, the following shall apply.

- b. Murals and Wall Art. Murals are allowed as public art within the IUAOD and subject to the following:

- i. Murals are only allowed on commercial, civic, or institutional buildings.
- ii. One mural is allowed per building.
- iii. Murals are permitted on sections of buildings where there are no windows or doors or where the mural will not interfere with the building's architectural details.
- iv. The mural shall not contain text.
- v. The mural cannot be temporary in nature and the building owner must commit to maintaining the mural.
- vi. Review and approval from the CRA Advisory Board is required to ensure the mural complies with the conditions above and that the artwork complements the design of the building in color, shape, and location.

## C. Building and site design standards specific to the Mainstreet Overlay Subdistrict (MSOS).

1. Purpose and intent. The standards described in this section shall apply to all non-residential uses in this overlay subdistrict. Where a conflict may arise between these regulations and LDC section 4.02.27, the subdistrict regulations shall control.

### 2. Dimensional standards.

- a. Height. Structures shall be no more than 35 feet in height, except that hotel/motel uses shall be no more than 50 feet in height.
- b. Setback. The Main Street Overlay Subdistrict contains four design districts as described below, which were created in order to maintain and enhance

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the urban character of downtown Immokalee and to encourage the desired pattern of development.

i. Main Street Corridor.

a) Main Street Corridor. The Main Street Corridor is for those properties abutting Main Street from Second Street East to Hancock Street or 11<sup>th</sup> Street.

b) First Street Corridor. The First Street Corridor is for those properties abutting First Street from Eustis Avenue to West Main Street.

c) Fifteenth Street Corridor. The Fifteenth Street Corridor is for those properties abutting Fifteenth Street from Hancock Street to Immokalee Drive.

d) Side Streets. The side streets include all streets running perpendicular and parallel to the Main Street, First Street and Fifteenth Street Corridors within the Main Street Overlay Subdistrict.

Table 1. Dimensional Requirements in the MSOS

<u>DESIGN DISTRICT</u>	<u>SETBACK FROM THE STREET(FRONT/CORNER)</u>	<u>SIDE YARD SETBACK</u>	<u>REAR YARD SETBACK</u>
<u>MAIN STREET CORRIDOR</u>	<u>0' from property line or 10' maximum from the back of the curb<sup>2</sup> (see Illustration 1),except setbacks on public streets are a minimum of 0' from the right-of-way line.</u>	<u>Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Illustration 3)</u> <u>Max. = 50% of lot width (both sides combined) (see Illustration 4)</u>	<u>5' or 20' when abutting residential</u>
<u>FIRST STREET CORRIDOR</u>	<u>0' from property line or 8' maximum from the back of the curb<sup>2</sup> (see Illustration 1), except setbacks on public streets are a minimum of 0' from the right-of-way line.</u>	<u>Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Illustration 3)</u>	<u>5' or 20' when abutting residential</u>

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		<u>Max. = 50% of lot width (both sides combined) (see Illustration 4)</u>	
<u>FIFTEENTH STREET CORRIDOR</u>	<u>0' from property line or 25' maximum from the back of the curb* (see Illustration 1), except setbacks on public streets are a minimum of 0' from the right-of-way line.</u>	<u>Per LDC</u>	<u>5' or 20' when abutting residential</u>
<u>INTERIOR STREETS</u>	<u>5' maximum for the first two stories, plus 5' additional setback for buildings over two stories; measured from property line (see Illustration 2), except setbacks on public streets are a minimum of 0' from the right-of-way line.</u>	<u>Per LDC</u>	<u>5' or 20' when abutting residential</u>

<sup>1</sup> No building, appurtenance, or site design element listed in LDC section 4.02.27 B, or any outdoor seating areas shall project beyond the property line or be placed into a right-of-way without the appropriate right-of-way permitting in accordance with Resolution 2016-136, as amended.

<sup>2</sup> Setback measured from the back of the curb at the sidewalk's narrowest segment within the same block (e.g. not including bump outs).

Illustration 1 - General Building Setbacks Plan View

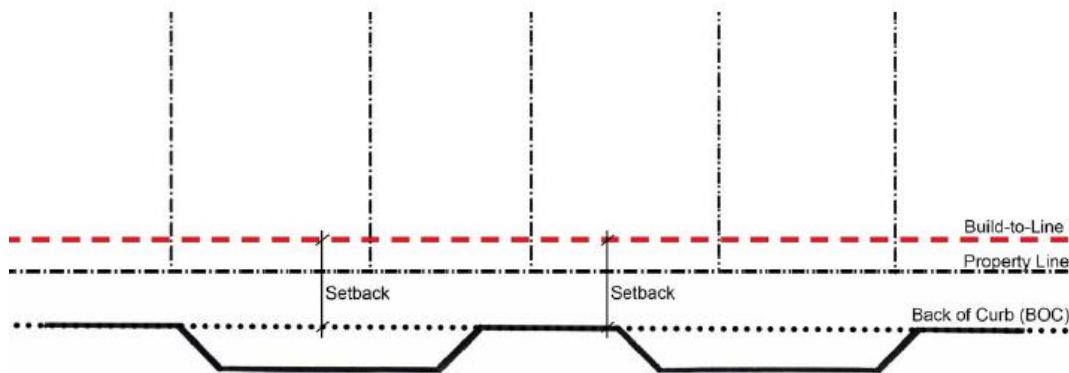


Illustration 2 - Setback requirements along Side Streets

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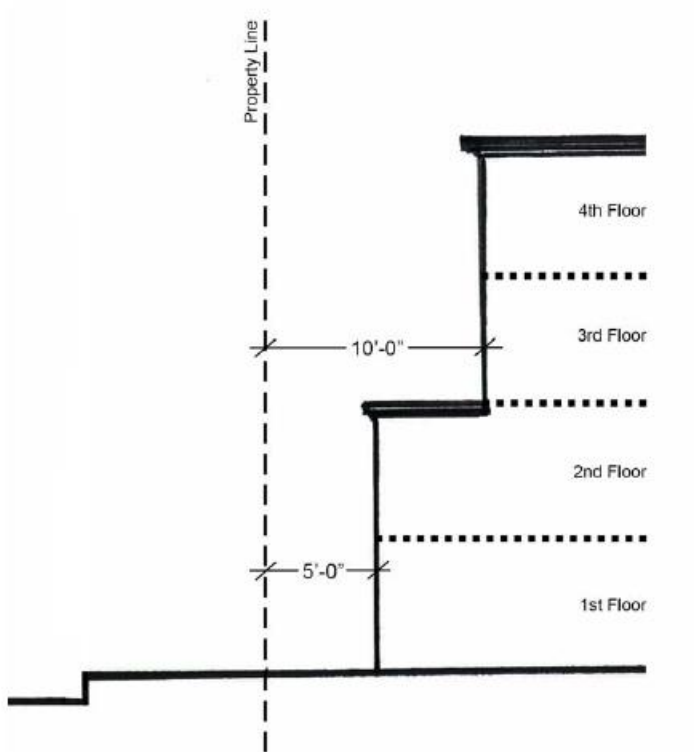


Illustration 3 - Side Yard Setback Requirements – Alternative 1

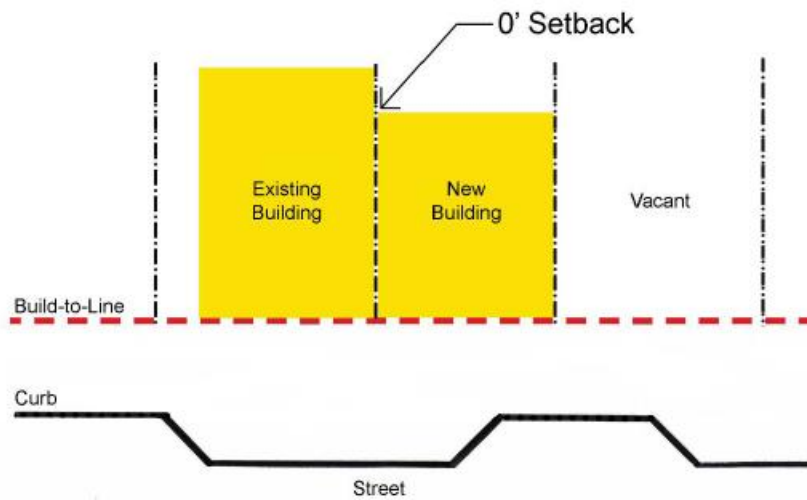
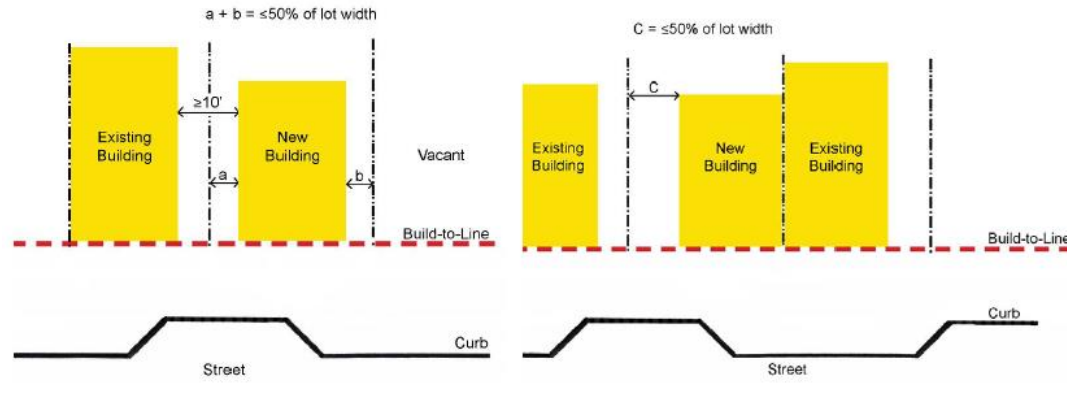


Illustration 4 - Side Yard Setback Requirements – Alternative 2

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### c. Exceptions to building setback requirements.

- i. Public Space: Street setbacks may be permitted up to 30 feet if pedestrian courtyards, plazas, cafes, fountains, or other public gathering places are provided in front of the recessed portion of the building. For buildings greater than 40 feet in width, the increased setback area shall not exceed 50 percent of the building frontage and shall incorporate a street wall along the original setback line.
- ii. Arcades: The use of arcades is encouraged and therefore allowed to extend up to the property line. They may have enclosed space, balconies, or verandas above them. Arcades should be open and non-air conditioned.

### 3. Building and site design standards.

- a. Architectural Styles. All new non-residential buildings within the MSOS are encouraged to adopt architectural elements consistent with one of the following types of architecture. Conditional uses within the MSOS are required to adopt architectural elements consistent with one of the types of architecture described in Table 1 below:

Table 1 - Architectural style descriptions

	<u>Spanish Vernacular</u>		<u>Frame Vernacular</u>	<u>Contemporary</u>
	<u>Mediterranean</u>	<u>Mission</u>		
<u>Roof Types</u>	<u>Multi-level roofs</u> <u>Gable</u> <u>Hip</u> <u>Pent/Visor</u> <u>Parapets</u>	<u>Flat roof with curvilinear parapets are most common</u> <u>Gable and Hip also used.</u> <u>Pent/Visor</u>	<u>Gable</u> <u>Hip</u> <u>Pent/Visor</u> <u>Parapets</u>	<u>Flat overhanging roof</u> <u>Gable</u> <u>Hip</u> <u>Pent</u>



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<u><b>Roof Materials</b></u>	<u>Barrel Tile (half cylinders) or Spanish Tile (s-curved shape) in red and earth tones.</u>	<u>Barrel Tile (half cylinders) or Spanish Tile (s-curved shape)</u>	<u>Metal roof (5v panels or narrow standing seam)</u>	<u>Metal roof Concrete tiles Solar tiles</u>
<u><b>Façade Materials</b></u>	<u>Stucco with sand finish or hand troweled</u>	<u>Stucco with sand finish or hand troweled</u>	<u>Lapped siding with corner boards (wood or vinyl) Vertical board &amp; batten siding Pattern shingles (for accent only)</u>	<u>Concrete Glass Steel</u>
<u><b>Windows</b></u>	<u>Arched windows (some triple-arched) Vertical in proportion Half round transom above windows Sashed</u>	<u>Vertical Half round transom Sashed</u>	<u>Tall and narrow proportion Sashed Window and door trim projects out from wall cladding</u>	
<u><b>Building Color</b></u>	<u>Typically earth tones; however, due to heavy influence from Central &amp; South America brighter colors are encouraged</u>	<u>Typically earth tones; however, due to heavy influence from Central &amp; South America brighter colors are encouraged</u>	<u>Typically, pastel colors with white trim/accent; however, due to heavy influence from Central &amp; South America brighter colors are encouraged</u>	
<u><b>Ornamentation</b></u>	<u>Arcades Balconies Full arches Wrought iron, wood or cast stone railings. Patterned tiles or single tiles used for accent. Carved stonework Wood or iron window grilles Tile vents</u>	<u>Arcades Balconies Full arches Wrought iron, wood or cast stone railings. Patterned tiles or single tiles used for accent. Carved stonework Wood or iron window grilles Tile</u>	<u>Porches Columns, spindles (square or turned) Gable end or eave brackets Shutters Transom windows</u>	
<u><b>Fences</b></u>	<u>Combination of masonry and wrought iron</u>	<u>Combination of masonry and wrought iron</u>	<u>Wood picket fences</u>	

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i. Spanish vernacular.

a) Mediterranean Style: Also known as Spanish Eclectic or Spanish Colonial Revival. Characteristics typically include barrel tile, low-pitched roofs usually with little or no overhang, parapets, arches, stucco, and asymmetrical facades. Mediterranean style buildings typically contain the following: multi-level roofs composed of barrel tile (half cylinders) or Spanish Tiles (s-curved shape) in red and earth tones, façade of stucco and sand finish or hand troweled, arched windows (some triple-arched), ornamentation contain full arches and patterned tiles or single tile for accent.

b) Mission Style: Influenced by the Spanish Colonial Style. Characteristics typically include barrel tile roofs, arches, earth tone colors, and asymmetrical façades finished in stucco. Similar to the Mediterranean Style but exhibiting much less ornamentation and detailing. Mission Style buildings typically contain flat roof with curvilinear parapets are most common, barrel tile (half cylinders) or Spanish Tile (s-curved shape), stucco with sand finish or hand troweled, and ornamentation containing full arches.

c) Frame Vernacular: Also known as Florida Cracker or Key West Style. Some frame vernacular buildings in Florida exhibit a Caribbean influence, while others are more utilitarian or rural in nature. Most familiar elements of this style are the use of horizontal siding for façade finish, elaborate wood balustrades, large porches, and metal roofs. Frame Vernacular buildings typically contain metal roofs (5v panels or narrow standing seam), lapped siding with corner boards (wood or vinyl) and ornamentation of gable end or eave brackets.

d) Contemporary: Contemporary architecture focuses on innovation while being in harmony with nature through the use of clean geometric lines and elements such as openness both in interiors and to the outside, natural light, eco-friendly materials and creative styles. This is achieved through the use of a range of building materials such as concrete, glass, wood, and metals.

b. Building façade design. Buildings shall have architectural features and patterns that provide visual interest from the perspective of the pedestrians and motorists. All additions and alterations shall be compatible with the principal structure in design, color, and materials.

i. Façade orientation. New buildings shall orient the principal entrance façade parallel to the public right-of-way. If the building fronts on more than one public right-of-way, all facades facing the

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public rights-of-way shall be designed consistent with primary  
façade requirements.

ii. Façade continuity. Facades along Main Street should limit building  
gaps along the block. If a gap is created between two buildings, one  
of the following should be provided.

a) A pedestrian courtyard (connecting to rear parking areas or  
alleys), or

b) A decorative façade connecting the two buildings, or

c) A low street wall along that portion of the lot along the right-  
of-way not devoted to pedestrian or vehicular access.

iii. Façade variation.

a) Primary façades shall not exceed 20 horizontal feet and 10  
vertical feet, without three of the following elements. When  
selecting these elements, there shall be a combination of  
vertical and horizontal elements in order to create variation  
in the façade.

i) A change in plane, such as an offset, reveal, or  
projecting rib (columns, built in planters, arches,  
voids, etc.). Such plane projections or recesses  
shall have a width of no less than 20 inches, and a  
depth of at least six inches.

ii) Awnings.

iii) Arcades/colonnades.

iv) Balconies.

v) Complementary change in material/texture.

vi) Garage doors.

vii) Doors and/or windows.

viii) Decorative architectural elements (tiles, medallions,  
etc.).

ix) Raised bands/cornices.

b) Secondary façades shall include at least two elements from  
the primary façade list above. In addition to the list above a  
mural or wall art may be substituted for two façade  
elements.

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- i. Corner buildings along the Main Street, First Street or Fifteenth Street corridor shall orient the primary entrance to the primary street.
- ii. All primary entrances shall include one of the following:
  - a) Protruding front gable.
  - b) Pilasters, columns, a stoop or other projection or recession in the building footprint that clearly identifies the entrance.
- iii. In addition, every primary entrance shall have two other distinguishing features from the list below:
  - a) Variation in building height;
  - b) Canopy or portico;
  - c) Raised cornice or parapet over door;
  - d) Arches/columns;
  - e) Ornamental and structural architectural details.

d. Glazing.

- i. The arrangement of windows and doors should be consistent with the architectural style of the building.
- ii. Windowless façades facing the public right-of-way are prohibited.
- iii. Transparency requirements include the following:
  - a) The ground floor building wall facing the street shall contain windows and doors occupying at least 50 percent of the first-floor façade. The first-floor windows shall be located between three and eight feet measured from ground level. All other floors and elevations shall contain at least 25 percent glazing.
  - b) Clear glass (88 percent light transmission) should be installed on the first floor. Tinted glass allowing a minimum of fifty percent light transmission should only be allowed on second floor windows and above. Stained or art glass is allowed only if it is in character with the style of the building, such as in a church.
  - c) Office uses shall have front exterior walls containing a minimum of 25 percent transparent or translucent materials

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on each story. The side exterior walls (facing the street) shall each contain a minimum of 15 percent transparent or translucent materials on each story.

d) Transparent materials on walls that are not parallel or approximately parallel to the public right-of-way and on doors shall not be counted toward the minimum transparency requirement.

e) Garage or service bay doors shall not be included in the transparency/translucency calculation.

e. Landscaping and buffering. To encourage redevelopment, the following landscape criteria shall apply to all commercially zoned properties and those residential properties with permitted commercial uses. The following landscape buffering criteria shall be applicable to projects with a total building square footage of less than or equal to 5,000 square feet. For all others, LDC section 4.02.27 B.4 applies:

i. Properties adjacent to residentially zoned lots/parcels shall provide a minimum 10-foot-wide landscape buffer, consisting of at least a six-foot-high hedge (four feet at time of planting and growing to six feet within one year) or wall, with trees spaced no more than 25 feet on center;

ii. Properties adjacent to commercially zoned lots/parcels shall provide a minimum seven and one-half -foot-wide landscape buffer with a single row hedge and trees spaced no more than 30 feet on center. The hedge shall at a minimum consist of three-gallon plants, two feet in height, spaced a minimum of three feet on center at planting.

iii. A minimum seven and one-half-foot-wide buffer, with at least two trees per lot/parcel or one tree per 40 linear feet, whichever is greater, shall be required adjacent to all rights-of-way;

iv. Lots/parcels that are unable to meet the minimum landscape criteria above, shall be required to provide landscaping to the greatest extent practicable, or an alternative enhancement plan that may include planters and/or flower boxes for each property, as approved by the County Manager or designee.

f. Off-street parking. Minimum off-street parking and off-street loading. Standards for parking within the MSOS, and as set forth below:

i. No additional off-street parking is required for outdoor dining or outdoor restaurant seating areas.

ii. All properties within the MSOS, having frontage on Main Street, First Street, or Ninth Street are required by this subdistrict to locate all parking areas in the rear yard and/or side yards.



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- a) Lots, parcels, or uses which have frontage on West Main Street (SR 29) or First Street (CR 846) shall comprise the primary areas within the MSOS.
- b) Uses in existence, as of the effective date of this LDC section, are exempt from the minimum parking requirements as set forth in LDC section 4.05.00, except that existing uses shall not reduce the number of spaces below what is provided as of the effective date of this LDC.
- c) A change of use shall be exempt from the minimum parking requirements as set forth in LDC section 4.05.00 up to an intensity level of one parking space per 100 square feet. A change of use to an intensity of greater than one space per 100 square feet shall require parking at one parking space per 150 square feet.
- d) Any use in a building constructed after the effective date of this LDC will be required to provide parking at 50 percent of the minimum requirement as set forth in LDC section 4.05.00.
- iii. Lots, parcels, or uses which do not have frontage on Main Street or First Street shall comprise the secondary area within the MSOS.
  - a) Uses in existence as of the effective date of this LDC Section are exempt from the minimum parking requirements as set forth in LDC section 4.05.00 except that existing uses shall not reduce the number of spaces below that which is provided as of the effective date of this LDC.
  - b) A change of use shall be exempt from the minimum parking requirements as set forth in LDC section 4.05.00 up to an intensity level of one parking space per 100 square feet. A change of use to an intensity greater than one parking space per 100 square feet shall require parking at 50 percent of the minimum requirement as set forth under LDC section 4.05.00. No change in use shall allow for a reduction of the current number of parking spaces provided.
- iv. The provisions of the MSOS do not prevent establishments utilizing shared parking agreements and off-site parking arrangements as set forth in LDC section 4.05.00. Furthermore, the maximum distances set forth in LDC section 4.05.00 shall be increased to 1,000 feet within the boundaries of the MSOS. Properties within the MSOS entering into off-site parking agreements with properties outside the MSOS may utilize the 1,000-foot rule.
- v. Standards for landscaping in vehicular use areas within the MSOS.

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- a) Landscaping is required in the interior of vehicular use areas. At least ten percent of the gross square footage of onsite vehicular use area shall be devoted to interior landscaping areas.
- b) All rows of parking spaces shall be bordered on each end by curbed landscape islands/Terminal Landscape Islands. Each terminal island shall measure no less than eight feet in width from inside the curb and extend the entire length of the single or double row of parking spaces bordered by the island. Type D or Type F curb per current FDOT Design Standards is required around all landscape islands. Terminal islands shall be landscaped with at least one canopy tree. The remainder of the terminal island shall be landscaped with sod, ground covers or shrubs or a combination of any of the above.
- c) Vehicular use areas under 25 required parking spaces within the MSOS are exempt from the LDC section 4.06.00 requirement that does not allow more than 10 contiguous parking spaces without being separated by a landscape island. In lieu of landscape islands, ten percent of the gross square footage of onsite vehicular use area shall be added to the perimeter landscape buffer area.

g. Fencing.

- i. Street walls are required to screen off-street parking facilities (spaces or driveways) from the right-of-way.
- ii. Street walls shall be a minimum of three feet and a maximum of five feet in height.
- iii. Street walls greater than three feet in height above grade shall be no more than 50 percent solid.
- iv. Street walls should be designed to complement the principal building style, materials, and colors.
- v. In lieu of a street wall, a continuous hedge row no more than four feet in height can be provided.
- vi. Utilities/service areas.
  - a) Accessory structures shall have the same architectural detail, design elements and roof design as the primary structure.
  - b) Rooftop mechanical equipment should be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables,

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parapets, or similar features. Plain boxes as the only screening mechanism are not acceptable.

c) Equipment installed at ground level shall be screened by low walls or landscaping.

d) Areas for outdoor storage, trash collection, and loading shall be incorporated into the primary building design. The materials used shall be of comparable quality and appearance to those of the primary building.

e) Loading areas or docks, outdoor storage, waste disposal, mechanical equipment, satellite dishes, truck parking, and other service support equipment shall be located behind the building line and shall be fully screened from the view of public rights-of-way.

h. Signage.

i. Projecting signs are permitted in addition to permitted signs provided such signs do not exceed six square feet in size and are elevated to a minimum of eight feet above any pedestrian way.

ii. Sandwich boards are permitted, one per establishment, not to exceed six square feet and shall only be displayed during business hours.

D. Building and site design standards specific to the State Road 29A Commercial Overlay Subdistrict (SR 29OS).

1. Purpose and intent. The standards described in this section shall apply to all non-residential uses in this overlay subdistrict. Where a conflict may arise between these regulations and LDC section 4.02.27, the subdistrict regulations shall control.

a. Exceptions. Owners of lots or combination of lots having less than the required street frontage may petition the Board of Zoning Appeals for a variance from the standard in this subdistrict as will not be contrary to the public interests when owing to special conditions peculiar to the property, a literal enforcement of these standards would result in unnecessary and undue hardship.

2. Dimensional standards.

a. Height. Buildings shall have a maximum height of 50 feet.

b. Setback.

i. Front Setback – Minimum 25 feet when abutting S.R. 29, all others shall comply with their underlying zoning and use standards.

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- 1                   ii. Rear Setback – Minimum of 25 feet when abutting S.R. 29, all  
 2                   others shall comply with their underlying zoning and use standards.

3  
 4           3. Landscaping and buffering.

- 5  
 6           a. Projects with a total building square footage of less than or equal to 5,000  
 7           square feet shall provide a 10-foot Type A landscape buffer as described  
 8           in LDC section 4.06.00 along vehicular rights-of-way with required  
 9           sidewalks and adjacent residential development. Where abutting a  
 10           commercially zoned or developed property, a Type A landscape buffer as  
 11           described in LDC section 4.06.00 must be provided.

- 12  
 13           b. Projects with a total building square footage exceeding 5,000 square feet  
 14           shall provide landscape buffering in accordance with LDC section 4.02.27  
 15           B.4.

16  
 17           4. Off-street parking.

- 18  
 19           a. Access points to SR-29 shall comply with Florida State Department of  
 20           Transportation (FDOT) permitting regulations. Parcels that have less than  
 21           440 feet of street frontage shall provide access off existing adjacent  
 22           roadways, when possible, and should not directly access SR-29.

- 23  
 24           b. Shared parking arrangements and interconnections between adjoining  
 25           developments shall be encouraged.

- 26  
 27           c. Sidewalks shall be provided to encourage pedestrian traffic. The location  
 28           of said sidewalks shall be coordinated with adjacent projects.

29  
 30   E. Building and site design standards specific to the Jefferson Avenue Commercial Overlay  
 31   Subdistrict (JACOS).

- 32  
 33           1. Purpose and intent. The standards described in this section shall apply to all non-  
 34           residential uses in this overlay subdistrict. Where a conflict may arise between  
 35           these regulations and LDC section 4.02.27, the subdistrict regulations shall control.

36  
 37           2. Dimensional standards.

- 38  
 39           a. Height. Commercial buildings shall have a maximum height of 50 feet  
 40           excluding 10 feet for under-building parking.

41  
 42           b. Setback.

- 43  
 44           i. Front Setback – A minimum of 25 feet for all commercial buildings  
 45           when abutting Jefferson Avenue. All other setbacks shall comply  
 46           with their underlying zoning and use standards.

- 47  
 48           ii. All other setbacks shall be in accordance with the underlying zoning  
 49           and use standards.

50  
 51           3. Landscaping and buffering.

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- a. Projects with a total building square footage of less than or equal to 5,000 square feet shall provide a 10 foot Type I-A landscape buffer, as identified in LDC section 4.02.27 B.4, on Jefferson Avenue.
  - b. Projects with a total building square footage exceeding 5,000 square feet shall provide landscape buffering in accordance with LDC section 4.02.27 B.4.
4. Off-street parking.
- a. Access points for future commercial development shall be limited to a maximum of one (1) per 150 feet of street frontage.
  - b. Properties with less than the required street frontage, shall be encouraged, and may be required as a condition of site development plan approval, to utilize shared access points with adjoining commercial development.
    - i. Owners of lots or combination of lots having less than the 150-foot of required frontage may petition the Board of Zoning Appeals for a variance from the standard in this subdistrict as will not be contrary to the public interest when owing to special conditions peculiar to the property, a literal enforcement of these standards would result in unnecessary and undue hardship.
    - ii. Provisions for shared parking arrangements with adjoining developments shall be encouraged.
- F. Reserved.
- G. Building and site design standards specific to the Agribusiness/Farm Market Overlay Subdistrict (AFOS).
1. Purpose and intent. The standards described in this section shall apply to all non-residential uses in this overlay subdistrict. Where a conflict may arise between these regulations and LDC section 4.02.27, the subdistrict regulations shall control.
  2. Exceptions. The following uses, located within the AFOS and as identified in the Standard Industrial Classification Manual, are exempt from the provisions set forth in LDC section 5.05.08, Architectural and Site Design Standards for Commercial Buildings and Projects and LDC section 4.02.27.
    - a. Agricultural Services (0723).
    - b. Wholesale Trade (5148).
    - c. Agricultural Outdoor Sales.
  3. Dimensional standards.



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- 1           a. Dimensional standards shall be as required for the C-5 zoning district  
2           except that the minimum floor area shall be 500 square feet of gross floor  
3           area for permitted principal agricultural structures.
- 4           b. Building height shall have a maximum height of 50 feet.
- 5
- 6
- 7   H. Building and site design standards specific to the Industrial Mixed Use Commercial  
8   Overlay Subdivision (IMCOS).
- 9
- 10       1. Purpose and intent. The standards described in this section shall apply to all non-  
11       residential uses in this overlay subdistrict. Where a conflict may arise between  
12       these regulations and LDC section 4.02.27, the subdistrict regulations shall control.
- 13
- 14       2. Dimensional standards.
- 15
- 16           a. Height. Building height shall be a maximum of 50 feet.
- 17
- 18           b. Setback. A minimum 75-foot building setback is required for all  
19           development adjacent to residentially or agriculturally zoned properties.  
20           This setback may be reduced to 50 feet if a minimum six (6) foot tall  
21           decorative wall or fence, providing at least 80 percent, opacity is installed  
22           within the reduce setback, and the required 20-foot landscape buffer is  
23           located between the wall or fence and the adjacent residentially and/or  
24           agriculturally-zoned properties.
- 25
- 26       3. Landscaping and buffering.
- 27
- 28           a. A minimum 20-foot-wide vegetated landscape buffer shall be provided.  
29           This vegetated buffer shall be located adjacent to all property lines and  
30           shall contain, at a minimum, two staggered rows of trees that shall be  
31           spaced no more than 30 feet on center, and a double hedge row at least  
32           24 inches in height at time of planting and attaining a minimum of three (3)  
33           feet in height within one year.
- 34
- 35           b. Existing native trees must be retained within this 20-foot-wide buffer area  
36           to aid in achieving this buffer requirement; other existing native vegetation  
37           shall be retained where possible, to aid in achieving this buffer requirement.
- 38
- 39           c. Water retention/detention areas shall be allowed in this buffer area if left in  
40           a natural state, and drainage conveyance thorough the buffer area shall be  
41           allowed if necessary to reach an external outfall.
- 42
- 43   I. Specific Design Standards for New Mobile Home Lots in the Immokalee Urban Area  
44   Overlay District (IUAOD).
- 45
- 46       1. Purpose and intent. The purpose of this section is to provide relief form the  
47       dimensional standards established in LDC section 4.02.01 for new mobile home  
48       lots approved through an existing conditions site improvement plan or  
49       amendments thereof within the Nonconforming Mobile Home Site Overlay  
50       Subdistrict as established in LDC section 2.03.07 G.3.g. This section shall not

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apply to the replacement of mobile home units identified on lots established by an existing conditions site improvement plan.

## 2. Dimensional standards.

Table 1. Dimensional Standards for New Mobile Home Lots within the IUAOD

<u>Design Standard</u>	
<u>Minimum lot requirements</u>	
<u>Single-wide units</u>	<u>2,400 square feet</u>
<u>Double-wide units</u>	<u>3,500 square feet</u>
<u>Minimum lot widths</u>	
<u>Single-wide units</u>	<u>35 feet</u>
<u>Double-wide units</u>	<u>45 feet</u>
<u>Minimum setback requirements</u>	
<u>Interior roads</u>	<u>10 feet</u>
<u>Front yard</u>	<u>5 feet</u>
<u>Side yard</u>	<u>8 feet</u>
<u>Rear yard</u>	<u>20 feet</u>
<u>Public Road frontages</u>	
<u>Minimum separation between structures</u>	<u>10 feet</u>
<u>Minimum floor area for replacement units</u>	<u>320 square feet</u>

3. Dumpster/Enclosure. A dumpster or enclosure for individual containers is required in accordance with LDC section 5.03.04. No dumpster shall be located closer than 15 feet from any public street.

4. Private Roads. Private roads leading to and serving the mobile home park or mobile home lots must be improved and maintained and shall consist of a dust-free surface with a minimum width of 20 feet. The dust free surface may consist of aggregate material treated with oil-based material that will bind the aggregate material into a form of macadam road finish. A drainage ditch capable of storing the first one inch of rainfall shall be incorporated into the right-of-way design-cross section, exclusive of the required 20 feet. Drainage shall be directed to a public road via the private road and/or easement conveyance, unless it can be proved that the on-site percolation rates exceed the on-site retention requirement.

J. Deviation Regulations (previously LDC section 2.03.07 G.7). Property owners within the Immokalee Urban Area Overlay District may request deviations from specific dimensional requirements as described in this section. A deviation request may be reviewed administratively or by the Planning Commission depending upon its scope. This section addresses the permissible deviations, limitations thereon, and the review process.

1. Review process. Insubstantial deviations will be reviewed administratively by the County Manager or designee. Substantial deviations will be reviewed by the Hearing Examiner or Collier County Planning Commission (CCPC). This section is not intended to replace the current established process of requesting deviations through the PUD rezoning process. Any deviations from the LDC which are not expressly provided for in this section shall be processed as variances in accordance with LDC section 9.04.00.

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2. Concurrent deviation application required. All deviation requests shall be made concurrently with an application for an SDP or amendment, SIP, or Final Subdivision Plat, or in the case of sign deviations, with a building permit. The applicant shall list all requested deviations on the required site plan(s) and shall depict the deviation(s) graphically on the plan(s). Additional graphic information may also be required by staff, on a case-by-case basis.
3. Insubstantial deviation. Requested deviations that do not exceed 10 percent of the required dimension, amount, size, or other applicable dimensional standard, with the exception of the required number of parking spaces, which may not exceed 20 percent of the LDC requirement (not more than 10 spaces), are insubstantial. To be approved, the following criteria must be considered:
  - a. The proposed deviation is compatible with adjacent land uses and structures, achieves the requirements of the regulations as closely as is practicable, and meets the intent of the related LDC provisions; and
  - b. The applicant proposes equitable tradeoffs for the proposed diminution in development standards, such as increased open space, landscaping, pedestrian spaces, buffering or architectural features, in order to meet the intent of the regulation being diminished.
4. Substantial deviations. Requested deviations that do not qualify as insubstantial deviations are substantial deviations. The Hearing Examiner or CCPC shall consider the following:
  - a. Whether or not the proposed deviation is compatible with adjacent land uses and achieves the requirements and/or intent of the regulations as closely as is practicable.
  - b. Whether the proposed deviation is the minimum amount necessary to allow for reasonable use of the property and/or address the issue necessitating the deviation request.
  - c. Whether the reduced or increased standard requested by the deviation is mitigated for, either on the subject site or by providing a public benefit on the subject site. Examples of such on-site mitigation include but are not limited to: increasing setbacks from the adjacent road right-of-way when proposing to deviate from sign size limitations; increasing plantings or planting sizes or installing a fence or wall where a reduced buffer width is proposed; providing public pedestrian and/or bicycle pathway easements or other similar mobility improvements including transit enhancements; providing public parking; providing beautification in the public realm, including street trees, street furniture, lighting and other similar public benefits.
5. Applicability – List of Development Standards Eligible for Deviation Requests. Property owners shall be eligible to seek a deviation from the dimensional requirements of the following LDC sections, unless otherwise noted.

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- a. LDC section 2.03.01 Rural Agricultural District, limited to subsection A.1.b.4.ii.
- b. LDC section 2.03.03 Commercial Zoning Districts, limited to the following subsections:
  - i. A.1.c.11.vii. limited to a maximum of three stories, viii., and ix.; and
  - ii. E.1.c.4.iv.
- c. LDC section 2.03.04 Industrial Zoning Districts, limited to subsection A.1.c.2.iv., minimum lot area only.
- d. LDC section 3.05.07 B.1. Preservation Standards, Specific Standards Applicable Outside the RMFU and RLSA districts, Required Preservation Percentages (Table 1 inset).
- e. LDC section 4.02.01 A Dimensional Standards for Principal Uses in Base Zoning Districts:
  - i. Table 1. Lot Design Requirements for Principal Uses in Base Zoning Districts.
  - ii. Table 2. Building Dimension Standards for Principal Uses in Base Zoning Districts, excluding building height and in the case of commercial parcels, no deviation shall be granted, for new development, from the required 50-foot building setback when abutting residentially zoned properties, or from the minimum 10-foot wide landscaped strip between the abutting road right-of-way and the off-street parking area for new development, but deviations from these requirements may be considered in the case of redevelopment where existing structures and/or encroachments are proposed to remain;
  - iii. Table 2.1 - Table Of Minimum Yard Requirements (Setbacks) for Base Zoning Districts.
- f. LDC section 4.02.02 Dimensional Standards for Conditional Uses and Accessory Uses in Base Zoning Districts, limited to subsection E, except building height.
- g. LDC section 4.02.03 Specific Standards for Location of Accessory Buildings and Structures, Dimensional Standards, except that in the case of new development on commercial parcels, no deviation shall be granted from the required 50-foot building setback when abutting residentially zoned properties, or from the minimum 10-foot wide landscaped strip between the abutting road right-of-way and the off-street parking area. Deviations from these requirements may be considered in the case of redevelopment where existing structures and/or encroachments are proposed to remain.

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- 1 h. LDC section 4.02.03 B. Accessory Building Lot Coverage.
- 2
- 3 i. LDC section 4.02.27 D. Specific Design Standards for the Immokalee—
- 4 State Road 29A Commercial Overlay Subdistrict, Building Design
- 5 Standards.
- 6
- 7 j. LDC section 4.02.27 E. Same—Jefferson Avenue Commercial Overlay
- 8 Subdistrict, Building Design Standards.
- 9
- 10 k. LDC section 4.02.27 G. Same—Agribusiness/Farm Market Overlay
- 11 Subdistrict, Dimensional Standards.
- 12
- 13 l. LDC section 4.02.27 C. Same—Main Street Overlay Subdistrict, limited to
- 14 the following subsections: A.; C.1; D.3 and D.4; and E.1, E.2, and E.3.
- 15
- 16 m. LDC section 4.05.04 G. (Spaces Required) Table 17 and 4.05.06 B
- 17 Loading Space Requirements, utilizing the existing administrative deviation
- 18 process set forth in LDC Section 4.05.04 F.4., recognizing that the reduced
- 19 need for off-street parking in Immokalee may be offered as a viable basis
- 20 for such administrative deviation.
- 21
- 22 n. LDC section 4.02.27 B.4. Buffer Requirements (limited to required width)
- 23 except that in the case of new development on commercial parcels, no
- 24 deviation shall be granted from the required 50-foot building setback when
- 25 abutting residentially zoned properties, or from the minimum 10-foot-wide
- 26 landscaped strip between the abutting road right-of-way and the off-street
- 27 parking area. Deviations from these requirements may be considered in
- 28 the case of redevelopment where existing structures and/or
- 29 encroachments are proposed to remain.
- 30
- 31 o. LDC section 4.02.27 B.4.e. Landscaping Requirements for Vehicular Use
- 32 Areas and Rights-of-Way, Standards for Landscaping in Vehicular Use
- 33 Areas.
- 34
- 35 p. LDC section 4.06.05 B. General Landscaping Requirements, Landscaping
- 36 requirements for industrial and commercial development, limited to
- 37 subsection B.3.
- 38
- 39 q. LDC section 4.02.27 B.4.f. General Landscaping Requirements, Building
- 40 Foundation Planting Requirements.
- 41
- 42 r. LDC section 4.02.27 B.2. Architectural and Site Design Standards, Building
- 43 Design Standards. Deviations from non-dimensional provisions of this
- 44 Section are also allowed as substantial deviations.
- 45
- 46 s. LDC section 4.02.27 B.3. Design Standards for Specific Uses. Deviations
- 47 from non-dimensional provisions of this section are also allowed as
- 48 substantial deviations.
- 49
- 50 t. LDC section 4.02.27 B.3. Architectural and Site Design Standards, Site
- 51 Design Standards, limited to subsections a, b, c. Deviations from non-



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dimensional provisions of this section are also allowed as substantial deviations. Note: Nothing in LDC section 5.05.08, Architectural and Site Design Standards, shall be deemed to prohibit the use of murals on exterior walls of commercial buildings in the Immokalee Urban Overlay District, provided that: 1) such murals are reviewed and accepted by the Collier County Redevelopment Agency staff; and 2) such murals do not contain text for the purpose of advertising any business or commercial activity.

u. LDC section 5.06.04 Development Standards for Signs in Nonresidential Districts, limited to subsection F.

6. Public notice. Public notice, including signage, notice to property owners and an advertised public hearing, is required for substantial deviation requests, and shall be provided in accordance with the applicable provisions of section 10.03.05 B, for Variances.

7. Appeals. Within 30 days of the issuance of the decision of staff or of the CCPC, the owner or any aggrieved person may appeal the decision to the Board of Zoning Appeals pursuant to section No. 250-58 of the Codes of Laws and Ordinances.

~~A. Access points to SR-29 shall comply with Florida State Department of Transportation (FDOT) permitting regulations. Parcels that have 440 feet or less of street frontage shall provide access off existing adjacent roadways, when possible, and should not directly access SR-29.~~

~~B. Owners of lots or combinations of lots having less than the required street frontage may petition the Board of Zoning Appeals for a variance from the standard in this subdistrict as will not be contrary to the public interest when owing to special conditions peculiar to the property, a literal enforcement of these standards would result in unnecessary and undue hardship.~~

~~C. Building design standards:~~

~~1. Buildings shall be set back from SR-29 a minimum of twenty-five (25) feet and from the rear lot line a minimum of twenty-five (25) feet.~~

~~2. Projects with a total building square footage of less than or equal to 5,000 square feet shall provide a ten (10) foot Type A landscape buffer as described in section 4.06.00 between vehicular rights-of-way with required sidewalks and adjacent residential development. adjacent commercial projects shall provide coordinated landscape plans.~~

~~3. Projects with a total building square footage of less than or equal to 5,000 square feet shall provide an area equal to a minimum of two and one-half (2½) percent of the total interior vehicular use area which shall be landscaped to provide visual relief.~~

~~4. Projects with a total building square footage exceeding 5,000 square feet shall provide landscape buffering in accordance with section 4.06.00 of this LDC.~~

~~5. Buildings shall have a maximum height of fifty (50) feet.~~

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- ~~1. Shared parking arrangements between adjoining developments shall be encouraged.~~
- ~~2. Deceleration and acceleration lanes shall be consistent with the ROW Permitting and Inspection Handbook and subject to FDOT approval where applicable.~~
- ~~3. Pedestrian traffic shall be encouraged by providing sidewalks. The location of these sidewalks shall be coordinated with adjacent projects.~~

**4.02.28 – Reserved Specific Design Standards for the Immokalee Jefferson Avenue Commercial Overlay Subdistrict**~~A. Building design standards.~~

- ~~1. Projects with a total building square footage of less than or equal to 5,000 square feet shall provide a ten (10) foot Type A landscape buffer as identified in section 4.06.00 of this LDC on Jefferson Avenue.~~
- ~~2. Projects with a total building square footage exceeding 5,000 square feet shall provide landscape buffering in accordance with section 4.06.00 of this LDC.~~
- ~~3. Commercial buildings shall be set back from Jefferson Avenue a minimum of twenty-five (25) feet.~~
- ~~4. Commercial building shall have a maximum height of fifty (50) feet excluding ten (10) feet for under building parking.~~

~~B. Transportation.~~

- ~~1. Access points for future commercial development shall be limited to a maximum one (1) per 150 feet of street frontage. Properties with less than the required street frontage, shall be encouraged, and may be required as a condition of site development plan approval, to utilize shared access points with adjoining commercial development.~~
- ~~2. Owners of lots or combination of lots having less than the 150-foot of required frontage may petition the Board of Zoning Appeals for a variance from the standard in this subdistrict as will not be contrary to the public interest when owing to special conditions peculiar to the property, a literal enforcement of these standards would result in unnecessary and undue hardship.~~
- ~~3. Provisions for shared parking arrangements with adjoining developments shall be encouraged.~~

**4.02.29 – Reserved Specific Design Standards for the Immokalee Farm Market Overlay Subdistrict**

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~~A. Dimensional standards shall be as required for the C-5 zoning district except that the minimum floor area shall be 500 square feet gross floor area for permitted principal agricultural structures.~~

~~B. The following uses, as identified in the Standard Industrial Classification Manual (1987), are exempt from the provisions set forth in section 5.05.08, Architectural and Site Design Standards for Commercial buildings and Projects.~~

~~1. Agricultural Services (0723)~~

~~2. Wholesale Trade (5148)~~

~~3. Agricultural Outdoor Sales~~

#### **4.02.30 – Reserved ~~Specific Design Standards for the Immokalee Agribusiness Overlay Subdistrict~~**

~~The following uses, as identified in the Standard Industrial Classification Manual (1987), are exempt from the provisions set forth in section 5.05.08. of the Architectural and Site Design Standards for Commercial buildings and Projects: Agricultural Services (0723) and Wholesale Trade (5148).~~

#### **4.02.31 – Reserved ~~Specific Design Standards for the Immokalee Central Business Overlay Subdistrict~~**

~~Parking within the Immokalee Central Business Subdistrict shall meet the following standards:~~

~~A. Lots, parcels, or uses which have frontage on West Main Street (SR 29) or First Street (CR 846) shall comprise the primary areas.~~

~~1. Uses in existence as of the effective date of this LDC are exempt from the minimum parking requirements as set forth in section 4.05.00 except that existing uses shall not reduce the number of spaces below that which is provided as of the effective date of this LDC.~~

~~2. The expansion of any use shall require parking at fifty (50) percent of the minimum requirement as set forth in section 4.05.00 for the expansion only.~~

~~3. A change of any use shall be exempt from the minimum parking requirements as set forth in section 4.05.00 up to an intensity level of one (1) parking space per 100 square feet. A change of use to an intensity of greater than one (1) space per 100 square feet shall require parking at one (1) parking space per 150 square feet.~~

~~4. Any use in a building constructed after the effective date of this LDC will be required to provide parking at fifty (50) percent of the minimum requirement as set forth in section 4.05.00. B. Lots, parcels, or uses which do not have frontage on Main street or First street shall comprise the secondary area. 1. Uses in existence as of the effective date of this LDC are exempt from the minimum parking requirements as set forth in section 4.05.00 except that existing uses shall not reduce the number of spaces below that which is provided as of the effective date~~

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of this LDC.2.The expansion of any use shall require an addition to any parking of the minimum number of required spaces as set forth under section 4.05.00, for the expansion only.3.A change of any use shall be exempt from the minimum parking requirements as set forth in section 4.05.00 up to an intensity level of one (1) parking space per 100 square feet. A change of use to an intensity greater than one (1) parking space per 100 square feet shall require parking at fifty (50) percent of the minimum requirement as set forth under section 4.05.00. No change in use shall allow for a reduction of the current number of parking spaces provided.4.Any use in a building constructed after the effective date of this LDC will be required to provide parking at sixty seven (67) percent of the minimum requirement as set forth in section 4.05.00.

C. ~~In no way shall the provisions of the Immokalee central business subdistrict (ICBSD) be construed so as to prevent establishments within the boundaries from taking advantage of off-site parking arrangements as set forth in section 4.05.00. Furthermore, the maximum distances set forth in section 4.05.00 shall be increased to 600 feet within the boundaries of the ICBSD, Properties within the ICBSD entering into off-site parking agreements with properties outside the ICBSD may utilize the 600-foot rule.~~

#### **4.02.32 – Reserved Specific Design Standards for the Immokalee—Main Street Overlay Subdistrict**

##### **A. ~~Dimensional Standards.~~**

1. ~~Front yard. Ten (10) feet except in the event of an awning, arcade or colonnade which may extend up to seven (7) feet into the required yard.~~
2. ~~Side yard. Zero (0) in the event a wall is contiguous to another wall on an adjacent property, otherwise ten (10) feet.~~
3. ~~Rear yard. Five (5) feet.~~
4. ~~Rear yard abutting residential. Twenty (20) feet.~~
5. ~~Structures shall be no more than thirty five (35) feet in height, except that hotel/motel uses shall be no more than fifty (50) feet in height.~~

B. ~~Minimum off-street parking and off-street loading. As permitted by section 4.02.31, standards for parking within the Immokalee Central Business district, and as set forth below:~~

1. ~~Outdoor cafe areas, shall be exempt from parking calculations.~~
2. ~~All properties within the Main Street Overlay subdistrict, having frontage on Main Street, First Street or Ninth Street are required, by this subdistrict to locate all parking areas in the rear yard and/or in side yards.~~

##### **C. ~~Signs.~~**

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1. ~~Projecting signs are permitted in addition to permitted signs provided such signs do not exceed six (6) square feet in size and are elevated to a minimum of eight (8) feet above any pedestrian way.~~
  2. ~~Sandwich boards are permitted, one (1) per eating establishment, not to exceed six (6) square feet in size and shall only be displayed during business hours.~~
- ~~D. Development shall be subject to the provisions of section 5.05.08, Architectural and site design standards for commercial buildings and projects, except as set forth below:~~
1. ~~Properties having frontage on Main Street or First Street or Ninth Street are required to locate their primary business entrance on that street. Parcels fronting both Main Street and First Street or both Main Street and Ninth Street are required to locate their primary business entrance on Main Street.~~
  2. ~~Reflective or darkly tinted glass is prohibited on ground floor windows.~~
  3. ~~Properties with less than fifty (50) feet of road frontage shall only require a minimum of one (1) roof change.~~
  4. ~~Commercial projects 5,000 square feet in size or less shall only require a minimum of two (2) design features, as described within section 5.05.08 of this LDC.~~
  5. ~~To encourage redevelopment within the Main Street Overlay subdistrict, for proposed redevelopment of existing projects that do not increase impervious surface area and whose total building area is less than or equal to 5,000 square feet in size, the applicant shall be exempt from section 4.06.00 of the landscaping and buffering provisions, requiring the seal of a landscape architect and shall also be exempt from section 5.05.08., Architectural and Site Design Standards and Guidelines for Commercial buildings and Projects, requiring the seal of an architect. 6. The minimum commercial design criteria, as set forth above, shall be applicable to projects with a total building square footage of less than or equal to 5,000 square feet.~~
- ~~E. To encourage redevelopment, the following landscape criteria shall apply to all commercially zoned properties and those residential properties with permitted commercial uses, except where otherwise prohibited by this subdistrict. The following landscape buffering criteria shall be applicable to projects with a total building square footage of less than or equal to 5,000 square feet:~~
1. ~~Properties adjacent to residentially zoned lots/parcels shall provide a minimum ten (10) foot wide landscape buffer, six (6) foot high hedge or wall (four (4) feet at planting; six (6) feet within one (1) year) with trees spaced no more than twenty (25) feet on center;~~
  2. ~~Properties adjacent to commercially zoned lots/parcels shall provide a minimum five (5) foot wide landscape buffer with a single row hedge and trees spaced no more than thirty (30) feet on center. The hedge shall at a minimum consist of three (3) gallon plants, two (2) feet in height spaced a minimum of three (3) feet on center at planting.~~



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3. ~~A minimum five (5) foot buffer, with at least two (2) trees per lot/parcel or one (1) tree per forty (40) linear feet whichever is greater, shall be required adjacent to all rights-of-way;~~

4. ~~Lots/parcels that are unable to meet the above minimum landscape criteria, shall be required to provide landscape planters and/or flower boxes for each such property, as recommended by the County Manager or designee.~~

#### **4.02.33 – Reserved ~~Specific Design Standards for New Mobile Home Lots in the Immokalee Urban Overlay Subdistrict~~**

The purpose of this section is to provide relief from the dimensional standards established in LDC section 4.02.01 for new mobile home lots approved through an existing conditions site improvement plan or amendments thereof within the Nonconforming Mobile Home Site Overlay Subdistrict, as established in LDC section 2.03.07 G.6. This section shall not apply to the replacement of mobile home units identified on lots established by an existing conditions site improvement plan.

##### ~~A. Dimensional standards.~~

~~Table 15. Dimensional standards for the Nonconforming Mobile Home Site Overlay Subdistrict~~

<del>Design Standard</del>	
<del>Minimum lot requirements</del>	
<del>Single-wide units</del>	<del>2,400 square feet</del>
<del>Double-wide units</del>	<del>3,500 square feet</del>
<del>Minimum lot width</del>	
<del>Single-wide units</del>	<del>35 feet</del>
<del>Double-wide units</del>	<del>45 feet</del>
<del>Minimum setback requirements</del>	
<del>Interior roads</del>	
<del>Front yard</del>	<del>10 feet</del>
<del>Side yard</del>	<del>5 feet</del>
<del>Rear yard</del>	<del>8 feet</del>
<del>Public road frontages</del>	<del>20 feet</del>
<del>Minimum separation between structures</del>	<del>10 feet</del>
<del>Minimum floor area for replacement units</del>	<del>320 square feet</del>

B. ~~A dumpster or enclosure for individual containers is required in accordance with section 5.03.04. of this LDC. No dumpster shall be located closer than fifteen (15) feet from any public street.~~

C. ~~Private roads leading to and serving the mobile home park or mobile home lots must be improved and maintained, and shall consist of a dust free surface with a minimum width of twenty (20) feet. The dust free surface may consist of aggregate material treated with oil-based material that will bind the aggregate material into a form of macadam road finish. A drainage ditch capable of storing the first one inch of rainfall shall be incorporated into the right-of-way design cross section, exclusive of the required twenty (20) feet. Drainage shall be directed to a public road via the private road and/or easement conveyance, unless~~

**DRAFT**Text underlined is new text to be added~~Text strikethrough is current text to be deleted~~

~~it can be proved that the on-site percolation rates exceed the on-site retention requirement.~~

# # # # # # # # # # # # #

### 5.03.02 - Fences and Walls, Excluding Sound Walls

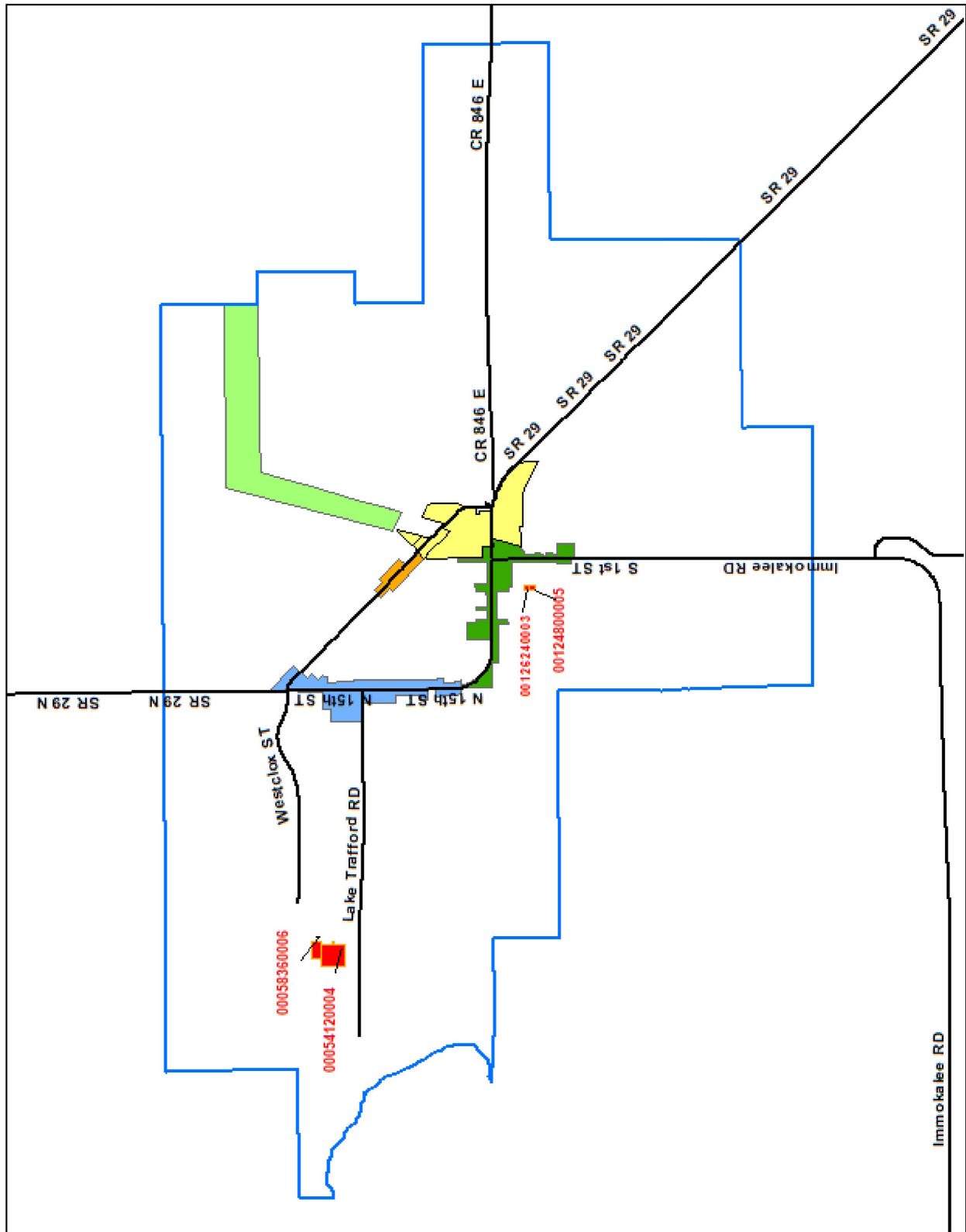
\* \* \* \* \*

#### G. Supplemental Standards.

1. Fences on sites with structures which are subject to LDC section 5.05.08 Architectural & Site Design Standards, except for residential properties located in the IUAOD, must comply with the following additional standards:
  - a. Chain link (including wire mesh) and wood fences are prohibited forward of the primary façade and shall be a minimum of 100 feet from a public right-of-way. If these types of fences face a public or private street then they shall be screened with an irrigated hedge planted directly in front of the fence on the street side. Plant material shall be a minimum of 3 gallons in size and planted no more than 3 feet on center at time of installation. This plant material must be maintained at no less than three-quarters of the height of the adjacent fence.
  - b. Fences forward of the primary façade, excluding chain link, wire mesh and wood are permitted under the following conditions:
    - i. Fences shall not exceed 4 feet in height.
    - ii. The fence provides either an open view at a minimum of 25 percent of its length or provides variation in its height for a minimum of 15 percent of its length with a deviation of at least 12 inches.
    - iii. The fence style must complement building style through material, color and design.
2. Use of chain link or wire mesh fencing (the requirements of this section are not applicable to single family dwellings):
  - a. If located adjacent to an arterial or collector road in the urban coastal area, the fence shall be placed no closer than three feet to the edge of the right-of-way or property line.
  - b. Except when located in the IUAOD, ~~the~~ the fence shall be screened by an irrigated, living plant hedge at least thirty (30) inches in height at planting and spaced a distance apart that will achieve opacity of 80 percent sight-obscuring screen within one year of planting.
  - c. Residential properties within the IUAOD shall allow coated chain link fences (black or green) which shall not exceed four feet in height.

## **Exhibit A – List of LDC Amendments**

Ord. 1982-29  
Ord. 1982-32  
Ord. 1991-12  
Ord. 1991-72  
Ord. 1995-58  
Ord. 1997-26  
Ord. 1998-63  
Ord. 2000-08  
Ord. 2000-92  
Ord. 2001-34  
Ord. 2002-03  
Ord. 2002-31  
Ord. 2004-72  
Ord. 2008-63  
Ord. 2010-23  
Ord. 2015-44  
Ord. 2016-27  
Ord. 2019-35  
Ord. 2022-04



## STAFF REPORT

To: Immokalee Local Redevelopment Advisory Board & the  
Immokalee Beautification MSTU Advisory Committee

From: Christie Betancourt, CRA Assistant Director

Subject: Advisory Board Merger

Date: January 6, 2025

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**BACKGROUND & ANALYSIS:** Currently, the Immokalee Local Redevelopment Advisory Board (CRA) and the Immokalee Beautification Municipal Service Taxing Unit (MSTU) Advisory Committee operate as separate boards. Each has its own purpose, bylaws, and membership structure:

**CRA Advisory Board:** This 9-member board advises on redevelopment activities within the Immokalee Community Redevelopment Area. Members include Immokalee residents, business representatives, non-profits, and at-large members. Established by Resolutions 2000-82 and 2000-83. Resolution 2000-83 authorized the creation; the CRA adopted Resolutions 15-217 and 15-218 establishing as a standalone board. Resolution 16-198 revised the bylaws.

**MSTU Advisory Committee:** This 7-member committee advises on the budget and operations for the Immokalee Beautification Taxing District. Members must be Collier County electors, with a mix of permanent residents and representatives from businesses or non-profits in the MSTU. Established by Ordinance No. 11-39, amended by Ordinance Nos. 20-47 and 21-30

### Joint Discussion on Board Merger

During the October 16, 2024, joint meeting, the possibility of merging the CRA and MSTU boards was discussed. Key points included:

- Maintaining separate funding structures while consolidating governance into one board.
- Reducing the board size to 9 members through natural attrition to ensure manageability.
- Enhancing efficiency by combining resources and reducing the administrative burden of separate meetings.

### Proposed Options for Moving Forward

#### 1. Maintain the Status Quo:

- Keep both boards separate, preserving their distinct purposes and memberships.
- Continue individual meetings and governance structures.

#### 2. Merge into a Single Board:

- Combine both boards into a single 9-member entity responsible for redevelopment and beautification.
- Separate funding and budgets would be maintained.



On December 20, 2024, staff sent the County Attorney a Request for Legal Services (RLS), which requested legal guidance on the feasibility of the Immokalee Local Redevelopment Advisory Board (CRA) and the Immokalee Beautification Municipal Service Taxing Unit (MSTU) Advisory Committee merger, including any necessary amendments to bylaws or ordinances, and ensuring compliance with membership and quorum requirements.

On December 27, 2024, County Attorney informed staff that a merger of the Advisory Boards is feasible. Identified below steps to accomplish the merger.

1. Modify CRA resolutions to extinguish the existing board and bylaws.
2. Modify MSTU ordinance to extinguish the existing board.
3. Create new ordinance for new advisory board
4. Create bylaws for new advisory board

On January 2, 2025, CRA staff informed County Attorney that they will be moving forward with the option to merge into a single board: combining both boards into a 9-member entity responsible for redevelopment and beautification. Separate funding and budgets for CRA and MSTU projects will be maintained.

**RECOMMENDATION:**

Staff recommends the following language for approval:

**Membership of the new nine-member committee will be distributed as follows:**

1. Two (2) Immokalee residents;
2. Two (2) individuals representing Immokalee businesses;
3. Two (2) individuals representing a non-profit operating in Immokalee;
4. Three (3) at-large representatives who reside or engage in business, or both, in Immokalee.

Staff also recommends board choose a new board name.

**Here are name suggestions for the new board:**

1. Immokalee Community Advisory Board (ICAB)
2. Immokalee Community Redevelopment Advisory Board (ICRAB)
3. Immokalee Redevelopment Advisory Board (IRAB)

**A&M PROPERTY MAINTENANCE, LLC**  
Immokalee MSTU - Landscape Maintenance (#23-8084)

**Month of: February 2025**

**Week Ending**

<b>WORK AREA 1: State Highway 29 (Main Street) between Hancock Street and 13th Street.</b>		<b>2/1/25</b>	<b>2/8/25</b>	<b>2/15/25</b>	<b>2/22/25</b>
<b>Item</b>	<b>Description</b>				
1	Pre-Service Cleaning	2/5/25	2/12/25	2/19/25	2/26/25
2	Mowing & Edging - Multiple Medians	n/a	2/12/25	n/a	2/26/25
3	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	n/a	2/12/25	n/a	2/26/25
4	Weeding - Medians - Hand & Chemical	2/5/25	2/12/25	2/19/25	2/26/25
5	General Site Trimming & Pruning - Medians	2/5/25	n/a	n/a	n/a
6	Post-Service Cleaning - All Areas	2/5/25	2/12/25	2/19/25	2/26/25
7	Post-Service Cleaning - Bulbout Gutter Channel Drains Pressured Wash	n/a	2/13/25	n/a	n/a
8	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
9	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
10	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	2/12/25	n/a	n/a
11	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
12	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
13	Irrigation System Inspection & Wet-Check	2/5/25	2/12/25	2/19/25	2/26/25
<b>WORK AREA 2: County Road 846 (S 1st Street) between State Highway 29 and Carver Street, including the Welcome Sign area (S 1st Street/Eustis Avenue) and the "Triangle Area" (median and ROW sides at the intersection of State Highway 29, New Market Road and Westclox Road; including the Welcome Sign area).</b>		<b>2/1/25</b>	<b>2/8/25</b>	<b>2/15/25</b>	<b>2/22/25</b>
<b>Item</b>	<b>Description</b>				
14	Pre-Service Cleaning	2/5/25	2/12/25	2/19/25	2/26/25
15	Mowing & Edging - Multiple Medians	n/a	2/12/25	n/a	2/26/25
16	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	n/a	2/12/25	n/a	2/26/25
17	Weeding - Medians - Hand & Chemical	2/5/25	2/12/25	2/19/25	2/26/25
18	General Site Trimming & Pruning -	2/5/25	n/a	n/a	n/a
19	Post-Service Cleaning - All Areas	2/5/25	2/12/25	2/19/25	2/26/25
20	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
21	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
22	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	2/12/25	n/a	n/a
23	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
24	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a
25	Irrigation System Inspection & Wet-Check	2/5/25	2/12/25	2/19/25	2/26/25
<b>WORK AREA 3: One (1) proposed Welcome Sign on State Highway 29 at the Farm Worker's Village containing approximately 384 square feet.</b>		<b>2/1/25</b>	<b>2/8/25</b>	<b>2/15/25</b>	<b>2/22/25</b>
<b>Item</b>	<b>Description</b>				
26	Pre-Service Cleaning	2/5/25	2/12/25	2/19/25	2/26/25
27	Mowing & Edging - (No Medians)	n/a	2/12/25	n/a	2/26/25
28	Mowing & Edging - North Side ROW, (1) Commercial Mower Pass	n/a	2/12/25	n/a	2/26/25
29	Weeding - Hand & Chemical	2/5/25	2/12/25	2/19/25	2/26/25
30	General Site Trimming & Pruning	2/5/25	n/a	n/a	n/a
31	Post-Service Cleaning - All Areas	2/5/25	2/12/25	2/19/25	2/26/25
32	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
33	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
34	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	2/12/25	n/a	n/a
35	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
36	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
37	Irrigation System Inspection & Wet-Check	2/5/25	2/12/25	2/19/25	2/26/25
<b>WORK AREA 4: One historical cemetery on State Highway 29 at 815 West Main St.</b>		<b>2/1/25</b>	<b>2/8/25</b>	<b>2/15/25</b>	<b>2/22/25</b>
<b>Item</b>	<b>Description</b>				
38	Pre-Service Cleaning	2/5/25	2/12/25	2/19/25	2/26/25
39	Mowing & Edging - (No Medians)	n/a	2/12/25	n/a	2/26/25
40	Weeding - Hand & Chemical	n/a	2/12/25	n/a	2/26/25
41	General Site Trimming & Pruning	2/5/25	n/a	n/a	n/a
42	Post-Service Cleaning - All Areas	2/5/25	2/12/25	2/19/25	2/26/25
43	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
44	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
45	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	2/12/25	n/a	n/a
46	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
47	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a
48	Irrigation System Inspection & Wet-Check	n/a	n/a	n/a	n/a

**A&M PROPERTY MAINTENANCE, LLC**  
Immokalee MSTU- Landscape Maintenance (#23-8084)

**Month of: January 2025**

**Week Ending**

<b>WORK AREA 1: State Highway 29 (Main Street) between Hancock Street and 13th Street.</b>		<b>1/4/25</b>	<b>1/11/25</b>	<b>1/18/25</b>	<b>1/25/25</b>	<b>2/1/25</b>
<b>Item</b>	<b>Description</b>					
1	Pre-Service Cleaning	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
2	Mowing & Edging - Multiple Medians	n/a	1/8/25	n/a	1/22/25	n/a
3	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	n/a	1/8/25	n/a	1/22/25	n/a
4	Weeding - Medians - Hand & Chemical	n/a	1/8/25	n/a	1/22/25	n/a
5	General Site Trimming & Pruning - Medians	1/2/25	n/a	n/a	n/a	n/a
6	Post-Service Cleaning - All Areas	1/2/25	1/9/25	1/16/25	1/23/25	1/30/25
7	Post-Service Cleaning - Bulbout Gutter Channel Drains Pressured Wash	n/a	1/8/25	n/a	n/a	n/a
8	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
9	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
10	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	1/8/25	n/a	n/a	n/a
11	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
12	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
13	Irrigation System Inspection & Wet-Check	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
<b>WORK AREA 2: County Road 846 (S 1st Street) between State Highway 29 and Carver Street, including the Welcome Sign area (S 1st Street/Eustis Avenue) and the "Triangle Area" (median and ROW sides at the intersection of State Highway 29, New Market Road and Westclox Road: including the Welcome Sign area).</b>		<b>1/4/25</b>	<b>1/11/25</b>	<b>1/18/25</b>	<b>1/25/25</b>	<b>2/1/25</b>
<b>Item</b>	<b>Description</b>					
14	Pre-Service Cleaning	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
15	Mowing & Edging - Multiple Medians	n/a	1/8/25	n/a	1/22/25	n/a
16	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	n/a	1/8/25	n/a	1/22/25	n/a
17	Weeding - Medians - Hand & Chemical	n/a	1/8/25	n/a	1/22/25	n/a
18	General Site Trimming & Pruning -	1/2/25	n/a	n/a	n/a	n/a
19	Post-Service Cleaning - All Areas	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
20	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
21	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
22	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	1/8/25	n/a	n/a	n/a
23	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
24	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
25	Irrigation System Inspection & Wet-Check	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
<b>WORK AREA 3: One (1) proposed Welcome Sign on State Highway 29 at the Farm Worker's Village containing approximately 384 square feet.</b>		<b>1/4/25</b>	<b>1/11/25</b>	<b>1/18/25</b>	<b>1/25/25</b>	<b>2/1/25</b>
<b>Item</b>	<b>Description</b>					
26	Pre-Service Cleaning	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
27	Mowing & Edging - (No Medians)	n/a	1/8/25	n/a	1/22/25	n/a
28	Mowing & Edging - North Side ROW, (1) Commercial Mower Pass	n/a	1/8/25	n/a	1/22/25	n/a
29	Weeding - Hand & Chemical	n/a	1/8/25	n/a	1/22/25	n/a
30	General Site Trimming & Pruning	1/2/25	n/a	n/a	n/a	n/a
31	Post-Service Cleaning - All Areas	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
32	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
33	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
34	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	1/8/25	n/a	n/a	n/a
35	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
36	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
37	Irrigation System Inspection & Wet-Check	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
<b>WORK AREA 4: One historical cemetery on State Highway 29 at 815 West Main St.</b>		<b>1/4/25</b>	<b>1/11/25</b>	<b>1/18/25</b>	<b>1/25/25</b>	<b>2/1/25</b>
<b>Item</b>	<b>Description</b>					
38	Pre-Service Cleaning	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
39	Mowing & Edging - (No Medians)	n/a	1/8/25	n/a	1/22/25	n/a
40	Weeding - Hand & Chemical	n/a	1/8/25	n/a	1/22/25	n/a
41	General Site Trimming & Pruning	1/2/25	n/a	n/a	n/a	n/a
42	Post-Service Cleaning - All Areas	1/2/25	1/8/25	1/15/25	1/22/25	1/29/25
43	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
44	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
45	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	1/8/25	n/a	n/a	n/a
46	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
47	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
48	Irrigation System Inspection & Wet-Check	n/a	n/a	n/a	n/a	n/a
<b>M. ADDITIONAL SERVICES FOR WORK AREAS</b>		<b>1/4/25</b>	<b>1/11/25</b>	<b>1/18/25</b>	<b>1/25/25</b>	<b>2/1/25</b>
<b>Item</b>	<b>Description</b>					
82	Seasonal Banner and Holiday Decoration	n/a	1/11/24	n/a	n/a	n/a

**A&M PROPERTY MAINTENANCE, LLC**  
Immokalee MSTU- Landscape Maintenance (#23-8084)

**Month of: December 2024**

WORK AREA 1: State Highway 29 (Main Street) between Hancock Street and 13th Street.						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
1	Pre-Service Cleaning	12/4/24	12/11/24	12/18/24	12/26/24	n/a
2	Mowing & Edging - Multiple Medians	12/4/24	n/a	12/18/24	n/a	n/a
3	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	12/4/24	n/a	12/18/24	n/a	n/a
4	Weeding - Medians - Hand & Chemical	12/4/24	n/a	12/18/24	n/a	n/a
5	General Site Trimming & Pruning - Medians	12/7/24	n/a	n/a	n/a	n/a
6	Post-Service Cleaning - All Areas	12/4/24	12/11/24	12/18/24	12/26/24	n/a
7	Post-Service Cleaning - Bulbout Gutter Channel Drains Pressured Wash	12/4/24	n/a	n/a	n/a	n/a
8	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	12/15/24	n/a
9	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	12/15/24	n/a
10	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	12/15/24	n/a
11	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
12	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
13	Irrigation System Inspection & Wet-Check	12/4/24	12/11/24	12/18/24	12/26/24	n/a
WORK AREA 2: County Road 846 (S 1st Street) between State Highway 29 and Carver Street, including the Welcome Sign area (S 1st Street/Eustis Avenue) and the "Triangle Area" (median and ROW sides at the intersection of State Highway 29, New Market Road and Westclox Road; including the Welcome Sign area).						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
14	Pre-Service Cleaning	12/4/24	12/11/24	12/18/24	12/26/24	n/a
15	Mowing & Edging - Multiple Medians	12/4/24	n/a	12/18/24	n/a	n/a
16	Mowing & Edging - Side ROW's, (1) Commercial Mower Pass	12/4/24	n/a	12/18/24	n/a	n/a
17	Weeding - Medians - Hand & Chemical	12/4/24	12/11/24	12/18/24	12/25/24	n/a
18	General Site Trimming & Pruning	12/7/24	n/a	n/a	n/a	n/a
19	Post-Service Cleaning - All Areas	12/4/24	12/11/24	12/18/24	12/26/24	n/a
20	Groundcover, Shrubs, & Trees: Insecticides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
21	Groundcover, Shrubs, & Trees: Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
22	Groundcover, Shrubs, & Trees: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	n/a	n/a
23	Turf: Insecticides & Fungicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	12/15/24	n/a
24	Turf: Herbicides, applied to total roadway and areas as needed per Month	n/a	n/a	n/a	12/15/24	n/a
25	Irrigation System Inspection & Wet-Check	12/4/24	12/11/24	12/18/24	12/26/24	n/a
WORK AREA 3: One (1) proposed Welcome Sign on State Highway 29 at the Farm Worker's Village containing approximately 384 square feet.						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
26	Pre-Service Cleaning	12/4/24	12/11/24	12/18/24	12/26/24	n/a
27	Mowing & Edging - (No Medians)	12/4/24	n/a	12/18/24	n/a	n/a
28	Mowing & Edging - North Side ROW, (1) Commercial Mower Pass (Biweekly)	12/4/24	n/a	12/18/24	n/a	n/a
29	Weeding - Hand & Chemical	12/4/24	n/a	12/18/24	n/a	n/a
30	General Site Trimming & Pruning (Biweekly)	12/7/24	n/a	n/a	n/a	n/a
31	Post-Service Cleaning - All Areas	12/4/24	12/11/24	12/18/24	12/26/24	n/a
32	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
33	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
34	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	12/15/24	n/a
35	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
36	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
37	Irrigation System Inspection & Wet-Check	12/4/24	12/11/24	12/18/24	12/26/24	n/a
WORK AREA 4: One historical cemetery on State Highway 29 at 815 West Main St.						
Item	Description	Service #1	Service #2	Service #3	Service #4	Service #5
38	Pre-Service Cleaning	12/4/24	12/11/24	12/18/24	12/26/24	n/a
39	Mowing & Edging - (No Medians)	12/4/24	n/a	12/18/24	n/a	n/a
40	Weeding - Hand & Chemical	12/4/24	n/a	12/18/24	n/a	n/a
41	General Site Trimming & Pruning	12/7/24	n/a	n/a	n/a	n/a
42	Post-Service Cleaning - All Areas	12/4/24	12/11/24	12/18/24	12/26/24	n/a
43	Groundcover, Shrubs, & Trees: Insecticides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
44	Groundcover, Shrubs, & Trees: Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
45	Groundcover, Shrubs, & Trees: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
46	Turf: Insecticides & Fungicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
47	Turf: Herbicides, applied to total area as needed per Month	n/a	n/a	n/a	n/a	n/a
48	Irrigation System Inspection & Wet-Check	n/a	n/a	n/a	n/a	n/a
M. ADDITIONAL SERVICES FOR WORK AREAS						
Item	Description	Service #1	Service #2	Service #3	Service #3	Service #3
82	Seasonal Banners	12/4/24	n/a	n/a	n/a	n/a
INCIDENTAL WORK COMPLETED & SUBMITTED FOR PAYMENT		APPROVED ESTIMATES- IN PROGRESS				
IMMINC-188, EST #1465- Pipes to hold banners on poles- \$14,995						
IMMINC-189, EST #1581- Removal of crash debris at 704 Main Street- \$860						
IMMCHRIST-001-Decorations-\$5250						
IMMCHRIST-002-Christmas Tree-\$16,500						
IMMINC-190, EST #1574-Application of shell \$1720						
IMMINC-191, EST #1575-Remove rusted tops of blue trash cans \$1200						
IMMINC-192, EST #1586-Concrete & rebar at 704 W main Street- %900						

**A&M Property Maintenance, LLC**  
 4396 OWENS WAY  
 AVE MARIA, FL 34142 US  
 +12395030303  
 aandmtotal@yahoo.com



# INVOICE

## BILL TO

Collier County Board of  
 County Commissioners  
 Attn: Accounts Payable  
 3299 Tamiami Trail E, Ste 700  
 Naples, FL 34112-5749

## SHIP TO

Immokalee CRA  
 Attn: Christie Betancourt  
 750 S 5th Street, Ste 2  
 Immokalee, FL 34142

**INVOICE #** IMMINC-188

**DATE** 12/02/2024

**DUE DATE** 01/01/2025

**TERMS** Net 30

## P.O. NUMBER

4500234153

DESCRIPTION	QTY	RATE	AMOUNT
IMMOKALEE MSTU ROADWAY LANDSCAPE MAINTENANCE- INCIDENTAL FABRICATION AND INSTALLATION OF ALUMINUM PIPES FOR POLES TO HOLD BANNERS. POLE #4, 5, 6, 8, 69, 67, 68, 70, 43A, 43, 43B, 41, 40A, 42, 44			
(49) Supervisor (per man hour) 1 man, 35 hours	35	85.00	2,975.00
(50) Laborer/Helper (per man hour) 4 men, 35 hours	140	65.00	9,100.00
(104) Bucket / Lift Truck 1 truck, 8 hours	8	150.00	1,200.00
PAINTING OF ARMS AFTER WELDING			
(50) Laborer/Helper (per man hour) 1 man, 8 hours	8	65.00	520.00
(104) Bucket / Lift Truck 1 truck, 8 hours	8	150.00	1,200.00

Thank you for your prompt payment.

**BALANCE DUE**

**\$14,995.00**



## STAFF REPORT

To: Immokalee Local Redevelopment Advisory Board & the  
Immokalee Beautification MSTU Advisory Committee

From: Christie Betancourt, CRA Assistant Director

Subject: Immokalee Sidewalk Phase III (Project Status) - Informational Purposes -  
Monitoring Project for Community's Awareness

Date: January 8, 2025

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**BACKGROUND & ANALYSIS:** This project is part of the comprehensive sidewalk plan for the southern area of the Immokalee Community. Phases 1 and 2 were completed in 2018 and 2021. This phase will further the goal to provide an interconnected sidewalk network to improve pedestrian and bicycle safety, connecting residential areas to community facilities and commercial services.

Phase 3 will consist of constructing 6-foot-wide concrete sidewalks as well as drainage improvements associated with the sidewalks, along Eustis Avenue and W. Delaware from South 5th Street to South 1st Street (approximately 2500 linear feet). The total cost for the Eustis & Delaware Project (design and construction) was estimated at \$1.14M.

Agnoli, Barber and Brundage (ABB) had been selected to complete the design and permitting for this project. A Notice to Proceed was issued to ABB on August 16, 2021. ABB finalized their 100% design plans on September 8, 2022, and provided an Engineer's Opinion of Probable Costs in the amount of \$1,007,822.50.

The CRA had tentatively been awarded federal appropriations grant funds for the construction portion of the project. On September 21, 2022, at the Joint Meeting of the Community Redevelopment Agency and the Immokalee Beautification MSTU Advisory Committee, Staff obtained authorization for the submittal of HUD Grant #B-22-CP-FL-0233 Application in the amount of \$987,000.00. The MSTU shall pay \$114,763 for the design portion. The Immokalee Beautification MSTU and the Immokalee CRA will partner on this project.

On the December 13, 2022, Board of County Commissioner's (BCC) Agenda, item 16B1, the BCC approved the Application and executed the federal forms for the Application. The Application was submitted on December 21, 2022, to the U.S. Department of Housing and Urban Development (HUD). The Application package included the Key Contacts Form, Project Narrative, Project Budget, and three (3) Federal Forms (Standard Form SF-424, SF-424D and SF-LLL).

Total Municipal Solutions, Inc. (TMS) is the Project's Certified Engineer & Inspector (CEI). TMS Proposal for CEI Services is estimated to be \$100,000.00 and is on hold until the Grant Agreement requirements are finalized and the solicitation for a General Contractor is completed so the work may commence.

The Environmental Review was completed reflecting no significant impact and the County Manager's letters were sent by the Community Human Services Division to the tribal leaders for comment. The Tribal 30-day comments period expired on May 24, 2023. Staff prepared the required Notices for the Environmental Review Report for publication on August 22, 2023, with a 15-day public comments period.

The Request for Release of Funds and Certificate (RROF) was submitted to the Office of Management and Budget (OMB) for review on September 12, 2023. On October 16, 2023, Community Health Services' Director requested additional environmental review steps.

An 8-step process review was determined not warranted; however, staff secured a 5-step process review from Tetra Tech on November 27, 2023. Staff received the 5-step process review and attached it to the Environmental Review Report. OMB approved the RROF, and it was forwarded to the County Manager for execution as the Responsible Entity for the County on December 5, 2023.

The executed RROF was sent to HUD's Regional Field Officer in Miami, Florida for approval on December 14, 2023. The environmental review process is completed when the Responsible Entity certifies the review and the RROF is approved by HUD's CPF Field Office Director through the issuance of the Standard Form 7015.16 Authority to Use Grant Funds.

HUD provided Collier County with a corrected Grant Agreement on May 31, 2023. The Grant Agreement was reviewed by the County Attorney's Office. On September 27, 2023, the Immokalee MSTU Advisory Committee Board and the Immokalee Local Redevelopment Advisory Board recommend authorization of Staff to proceed with the execution of the Grant Agreement and authorize the gap funding expenses for the project shortages based on the current estimate of \$1,232,085.50.

An Executive Summary was prepared for the execution of the Grant Agreement and the authorization for the necessary budget amendments for this grant on the November 14, 2023, BCC Agenda. On November 16, 2023, the Clerk of Courts sent the Grant Agreement to HUD for execution. Staff sent HUD the direct deposit materials on November 29, 2023.

In December 2023, CHS assigned Grants Coordinators to assist Staff on the project.

The Request for Release of Funds and Certificate (RROF) was executed by the County Manager as the Responsible Entity. The executed RROF was sent to HUD's Regional Field Officer in Miami, Florida for approval on December 14, 2023.

In January 2024 Staff sent Procurement Services the Solicitation for the Invitation to Bid by General Contractors for the construction of the project. Solicitation #24-8233 was put on hold awaiting HUD's authorization.

On January 21, 2024, HUD requested the BCC's Chairman to sign the Direct Deposit Form in addition to the execution by the County's Principal Financial Officer.

On February 2, 2024, the HUD Field Officer in Miami determined the project to be Categorically Excluded Not Subject to 24 CFR 58.5 and it converted to exempt (no 7015.15 or 7015.16 forms are required). On February 2, 2024, Staff sent the Environmental Review Report and the 5-Stop Process to HUD in DC for review and requested confirmation to move forward.

In February 2024, Staff presented prioritization project list to CRA & MSTU Board. Staff announced the new anticipated construction cost for this project is \$1,400,000. Staff expect to use \$206,000 from the MSTU funds and \$206,000 from the CRA Capital Funds.

The BCC approved the Direct Deposit Form on February 27, 2024; and the Direct Deposit Form was sent to HUD on February 28, 2024. On March 15, 2024, Staff followed-up with HUD on the execution of the Grant Agreement and requested confirmation to move forward on the solicitation for bids.

On May 14, 2024, Staff requested CHS to upload the ERR in HEROS because Staff did not have access. On May 21, 2024, CHS submitted the ERR to HUD via HEROS. Staff was activated into DRGR as a new user on May 3, 2024, and started to draft an Action Plan for approval by CHS and OMB and submittal to HUD. Staff and CHS attended the first virtual Microsoft Teams meeting with HUD on May 24, 2024.

Staff resubmitted the Solicitation to Procurement Services after HUD provided the fully executed Grant Agreement and provided confirmation on May 24, 2024, to move forward. On June 6, 2024, a Procurement Strategist was assigned and the Authorization to Advertise was initiated for the solicitation for bids.

ABB was acquired by LJA Engineering (LJA) and on June 6, 2024, a new Purchase Order #4500231715 in the amount of \$12,2211.50 was issued to LJA. On June 18, 2024, LJA was issued a resume work notice with 143 days (11/8/24) remaining on their contract to assist with the bidding process. The legal notice was delayed obtaining the issuance of the Authorization to Advertise and was posted on July 17, 2024, in the Naples Daily News and on the Clerk's, Collier Legal Notices website.

The Pre-Bid Meeting was scheduled for July 30, 2024, 10:00 AM, at the Immokalee CRA Office. Solicitation #24-8233 was posted on July 17, 2024, with proposals due on September 3, 2024, by 3:00 p.m. There were numerous questions posted by bidders and the Bid Opening Date was extended to September 17, 2024, by 3:00 p.m. Fourteen (14) Questions and Answers plus four (4) Addendums were posted on OpenGov before the September 10, 2024, 5:00 p.m. deadline.

Seven (7) bids were submitted, and Procurement Services is vetting the unofficial bids to determine the awardee. On November 6, 2024, LJA submitted a Design Entity's Letter of Recommendation Award to Procurement Services. Based on the bid tabulations provided by Procurement Services, the apparent low bidder was Marquee Development, Inc., with a bid of \$1,101,179.50, which is approximately 9% higher than the original Engineer's Opinion of Probable Cost (EOPC) of \$1,007,822.50.

The EOPC was prepared nearly two years ago on September 8, 2022. If an inflation rate of 3.5% was applied for two years, the EOPC would be nearly identical to the apparent low bid. References were provided by Marquee Development, Inc. for five projects, and the Vendor Reference Check Logs were completed.

LJA Engineering, Inc. has worked with Marquee Development, Inc. on a previous project, the Immokalee Sidewalk Improvement Project Phase 1 for the Immokalee CRA which was completed in the Spring of 2018, and it appears that it is a qualified firm to conduct the requested work. Therefore, LJA recommended that Marquee Development, Inc. be awarded the contract for the Immokalee Sidewalk Phase 3 Project in the amount of \$1,101,179.50.

On November 22, 2024, Staff submitted a draft Executive Summary for the Construction Agreement to Procurement Services and anticipate the Agreement to be on the BCC January 14, 2025, Agenda for approval to award Marquee Development Inc. the project. On December 27, 2024, Procurement Services advised they are finalizing the Agreement for BCC approval.

On December 4, 2024, Staff submitted to the Transportation Maintenance Services Division – Grants for review and approval the draft Price Analysis documenting data to sufficiently conclude that the vendor's price is fair and reasonable. On December 12, 2024, the Price Analysis Form was finalized.

Staff prepared a draft Change Order #1 (CO#1) for the Engineer of Record (EOR) and updated the Timeline for the project. ABB formally was the EOR until May 2024 when LJA Engineering acquired ABB.

Staff prepared a revised Project Timeline due to the extended Bid Opening Date with a proposed Final Completion Date of July 31, 2025, and processed a draft Change Order #1 for LJA to extend their end date from November 8, 2024, to July 17, 2025, to perform construction assistance activities. On October 22, 2024, Procurement Services approved CO#1 to revise the final completion date to July 31, 2025.

On December 5, 2024, Staff request a quote for a project sign with the appropriate entity logos. Lykins-Signtek provided a quote of \$1,250 on December 13, 2024. On January 8, 2025, the sign vendor confirmed the logos are in a suitable format and will prepare a proof of the sign.

A draft Performance Report #02 with the Standard Financial Form #425 were circulated for approvals prior to uploading in the DRGR System for HUD's approval. Performance Report #03 is due 7/31/25.

**FISCAL IMPACT:** The total estimated project cost is \$1,329,558.10. A budget amendment was required to recognize grant revenue in the amount of \$987,000 within Immokalee CRA Grant Fund 1027, Project 33873 which will fund construction. This grant program does not require a match.

The \$342,558.10 balance of the project cost includes design, environmental review and remaining construction costs funded through the Immokalee Beautification Municipal Services Taxing Unit MSTU Fund (1629) and the Immokalee

CRA Project Fund (1026) as shown in the table below:

**Line-Item Budget Details:**

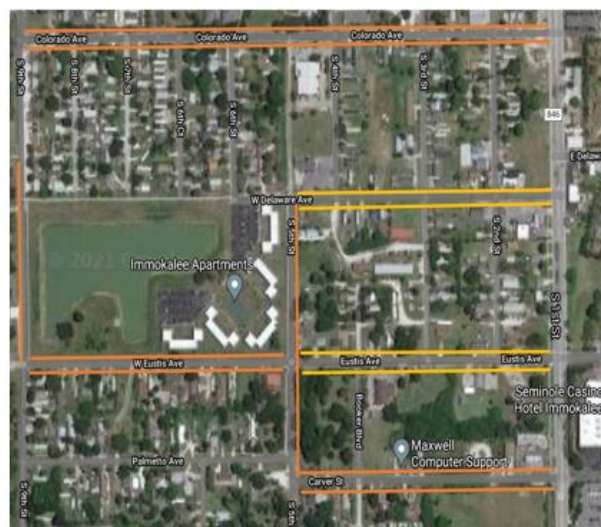
Description	CPF Fund (HUD)	non-CPF Fund (CRA/MSTU)	Total Budget
Design	\$ -	\$ 114,763.00	\$ 114,763.00
Environmental	\$ -	\$ 12,400.00	\$ 12,400.00
Construction	\$987,000.00	\$ 114,179.50	\$ 1,101,179.50
CEI (Construction, Engineering, and Inspection)	\$ -	\$ 101,215.60	\$ 101,215.60
Other (permits, legal ads, etc.)	\$ -	\$ -	\$ -
<b>Estimated Total</b>	<b>\$987,000.00</b>	<b>\$ 342,558.10</b>	<b>\$ 1,329,558.10</b>

Fund Source	Amount
Immokalee CRA Grant (Fund 1027)	\$987,000
Immokalee Beautification Municipal Services Taxing Unit MSTU (Fund 1629)	\$171,279.05
Immokalee CRA Project (Fund 1026)	\$171,279.05
<b>Total:</b>	<b>\$1,329,558.10</b>

Additional funds are available in Capital Funds (1026) Project (#50244 South Side Sidewalks).

**PROJECT AREA:**

**Eustis Avenue & West Delaware**



Yellow - Proposed Phase 3  
Orange - Phase 1 and 2 (completed in 2018 and 2021)



**NEXT STEPS:**

Award Solicitation #24-8233 (January 2025)  
Deliver the Notice to Proceed to Marquee Development, Inc.  
Issue a Start Work Notice for the CEI  
Erect On-Site the Project Sign  
Schedule the Pre-Construction Meeting  
Initiate the Reporting of \$0 Pay Request  
Performance Report #02 in DRGR by January 31, 2025

## STAFF REPORT

To: Immokalee Local Redevelopment Advisory Board (CRA) & the  
Immokalee Beautification MSTU Advisory Committee

From: Christie Betancourt, Assistant CRA Director

Subject: First Street Corridor Pedestrian Safety Improvements – Informational Purposes -  
Monitoring Project for Community's Awareness

Date: January 8, 2025

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**BACKGROUND & ANALYSIS:** In 2020, Q. Grady Minor & Associates, P.A. (Grady Minor) was hired to provide professional services for future street lighting and pedestrian safety improvements along South First Street (from Main Street to School Road/Seminole Crossing Trail).

This work included feasibility studies and conceptual plans for the purpose of relocating existing decorative light poles, considering the future street lighting and pedestrian safety improvements. Additionally, it included reviewing and providing recommendations for the location of new pedestrian crosswalks, and the location of new landscape and hardscape elements. Estimated construction costs and long-term maintenance costs were included with the feasibility studies.

In 2021, Grady Minor provided the final Conceptual Plan Report that recommends the installation of Rectangular Rapid Flashing Beacons at the three crosswalks and 11 additional Collier County Traffic Operations light poles. ICRA Staff had coordinated with Collier County Traffic Operations and Public Transit during the development of the conceptual plan and their input was reflected in the final conceptual plans. Staff applied for a Community Development Block Grant (CDBG) in February 2022 and the \$250,000 grant was conditionally awarded in April 2022.

On June 28, 2022, Community and Human Services (CHS) processed the grant agreement between the Collier County Community Redevelopment Agency (CRA) and the Collier County Board of County Commissioners (BCC) for CDBG funds. The agreement was approved by the Collier County BCC on June 28, 2022. The grant agreement for design was approved by the CRA (BCC) board on September 13, 2022, for the CDBG \$250,000 grant.

The formal notification from HUD was provided on December 9, 2022, that the environmental review had been completed and authorized the CRA to proceed with the Solicitation for request for proposals. The Solicitation process was initiated for the design of the construction plans for this project.

Kisinger Campo & Associates (KCA) was selected for the design of the project and KCA provided a revised proposal on June 22, 2023.

A Work Order was executed on June 28, 2023, and on July 20, 2023, a Notice to Proceed with Purchase Order was issued with a commencement date of July 21, 2023.

The survey work was completed September 15, 2023, by T2, KCA's subcontractor. On November 10, 2023, KCA requested clarification on the intent of the lighting (e.g., strictly pedestrian level lighting as reflected in the conceptual plans or luminating the full corridor). KCA provided Staff a Lighting Design Memo comparing the two levels of lighting, pedestrian safety only or the full corridor with estimated costs (not including additional Subsurface Utility Engineering locating needed to accommodate the increased infrastructure). KCA recommended the full corridor plan. On December 11, 2023, Staff requested a Proposal from KCA for the modifications to the 30% plan for consideration and the possible preparation of a Change Order.

The Grant period ended on April 30, 2024. On January 4, 2024, Staff submitted a Request for a 180-day Extension (10/27/24) to Community Health Services (CHS). On January 17, 2024, CHS provided an extension from April 30, 2024, to October 27, 2024, for the grant funds.

On January 5, 2024, KCA suggested eliminating the 30% and 90% plans but keep the County Staff and Utilities Entities 15-day review for comments to the 60% and draft Final Plans. Staff provided the three (3) options to County Management for discussion on January 8, 2024, with Staff's recommendation of full corridor lighting. The option for full corridor lighting was reviewed by the Deputy County Manager, Traffic Operations, Office of Management & Budget, CHS and Procurement Services. On February 13, 2024, Staff advised KCA of the approval of the full corridor lighting option and requested a proposal, timeline and costs associated with the change for the timely preparation of a Change Order (CO). The CO reflects a 180-day extension to KCA's Work Order from the ending date of April 16, 2024, to October 13, 2024, and the additional costs of \$11,955 for 12 additional test holes (services included survey & subsurface utility engineering) for conflict and confirmation purposes on utilities.

Having 100% design plans will allow this project to be considered shovel ready and will better position the CRA to leverage funds with other funding opportunities for construction.

The Collier County Community and Human Services Division (CHS) announced the opening of the FY 2024/2025 grant application cycle for Housing and Urban Development (HUD) Community Development Block Grant (CDBG) funds. The application period began on Tuesday, January 09, 2024, and all applications were due by 12 p.m. Wednesday, February 21, 2024. Due to the short turnaround, Staff secured the County Manager's approval to submit the grant application as it's contemplated in CMA 5330.

Collier County CMA 5330 authorizes the County Manager to approve the submittal of grant applications with subsequent Board of County Commissioner's action at the next available Board meeting to ratify the approval as "after-the-fact".

On February 20, 2024, Staff applied for a CDBG Grant for construction funds in the amount of \$1,200,000. Due to the grant deadline of February 21, 2024, the Immokalee CRA Board provided an After-the-Fact approval to submit the electronic grant application at the February 21, 2024,

CRA Meeting. At the February 27, 2024, BCC meeting the Board approved an After-the-Fact electronic grant application submittal.

Staff obtained BCC/CRA Board approval after-the-fact on February 27, 2024, Agenda Item #16L1. The scope of the project included the installation of Rectangular Rapid Flashing Beacons at three crosswalks and adding additional light poles to extend the lighting system to Seminole Crossing Trail. The application was submitted electronically.

Staff presented to the Review and Ranking Committee the request for 1.2M on March 27, 2024, and on April 8, 2024, was advised of pending approval in the amount of \$600,000 for construction costs. Funds will not be available until after October 1, 2024. The board will need to prioritize construction funds to comply with current CDBG grant deliverables for the design portion of this project. This project needs to be completed by April 2029.

A Conditional Award letter was issued April 8, 2024, in the amount of \$600,000 with funds available after October 1, 2024.

A **Suspend Work Notice** was issued to KCA on April 10, 2024, while Staff waited for the approval of CO #1 by Procurement Services. On April 11, 2024, CO #1 was approved, and a **Start Work Notice** was issued to KCA with a design completion date of October 13, 2024.

A grant kick-off meeting was held on June 5, 2024, and the award was increased from \$600,000 to \$1,001,371. Staff were advised CHS will order a full Environmental Review Report.

On May 17, 2024, Staff received KCA's 60% plans that disclosed existing features outside of the right-of-way. Staff had inquired if the County Land Surveyor could prepare the legal descriptions and sketches for easement acquisitions, if needed. Staff submitted the 60% plans to County Departments for review and comments were due June 5, 2024. KCA sent the plans to Utility Owners for their comments. On July 7, 2024, Staff sent KCA the 60% plans comments to incorporate into the plan.

On July 16, 2024, KCA advised that their Surveyor, T2, confirmed there is no indication of easements along the frontage. KCA requested a directive when they identified that the 60% plans had many existing features (back of sidewalks, signage, etc.) that are located outside the Right-of-Way (ROW) encroaching on private property. Based on the 60% plans, there are 7 existing poles on the east side of the corridor that are outside of the ROW that would need to be removed and 10 new poles and conduit that would have to be replaced at the back of sidewalk and still outside the ROW.

If all the proposed improvements are pulled into the existing ROW, they will create ADA conflicts, impact utilities, and significantly escalate the cost of the project beyond what is funded. To minimize the number of new poles there are opportunities to illuminate the corridor from only the west side and change the Apollo Metro LED luminaire to one of three alternative light fixture to provide flexibility when it comes to pole spacing, account for driveways, existing poles, etc.

There is not enough time to obtain legal descriptions and sketches, complete title searches and acquire the easements for the existing and proposed improvement outside of the ROW if utilizing the submitted 60% plans.

On August 2, 2024, Collier County Traffic Operations, Transportation Engineering Division, approved any one of the three alternate streetlighting fixtures and cited their preferred fixture for their department would be the GE Evolve since they have prior experience with the maintenance and installation of this feature. They insisted that the contractor provide their department with five additional fixtures, once the project is completed, to warehouse for future maintenance or replacement.

KCA began reanalyzing the corridor with the GE luminaire. Based on the analysis, they were able to repurpose many of the existing poles with lighting retrofits that may meet FDOT lighting criteria. New poles will still be needed to meet the pedestrian vertical illumination criteria at the midblock crosswalks, but there will be a reduction in new poles compared to what is shown on the submitted 60% plans. KCA requested the opportunity for a second extension of 60-days, but stated they may need more time.

On August 14, 2024, Staff requested a 60-day Extension for the grant performance period to end December 26, 2024. The request required approvals from CHS, Office of Management and Budgets and the County Manager. Staff prepared Change Order #2 to extend KCA's Final Plans Date by 60-days with a modified period end date of December 12, 2024.

The recent analysis utilizing the new GE luminaires reduced the number of new poles from 30 to 20 with retrofit of 14 existing poles. However, the number of those poles that would need to be placed on the back of sidewalks (outside of the platted ROW) is 8 total along with their conduit with 3 poles that will be retrofit outside of the ROW. Thus, there is no avoiding the acquisition of easements in these 11 locations. County Staff conducted a September 17, 2024, meeting with KCA to identify a means to further reduce the conflicts or to phase the project while acquiring the ROW from private property owners. At the September 20, 2024, meeting with CRA Staff and County Staff, grant funding goals were discussed. The September 30, 2024, Meeting with KCA was extended pursuant to KCA's request due to Hurricane Helene recovery measures and a new meeting is scheduled with KCA on October 3, 2024, to advise KCA on how to proceed. A final Project Schedule was due to CHS on November 9, 2024, pursuant to the Subrecipient Agreement for construction of the project.

It was decided to phase the project by Amendments as follows:

Phased agreements include:

- CD22-03 (Phase 1 Design):** Oct. 1, 2022 – Jan. 6, 2025
- CD24-02 (Finish Design & Complete Phase 1):** Oct. 1, 2024 – Oct. 31, 2025
- Proposed Agreement (Complete Phase 2):** Jan. 6, 2025 – Apr. 30, 2026

The project progresses in phases to enhance safety and lighting effectively.



A **Suspend Work Notice** was issued October 7, 2024 with 7 remaining days while a First and Second Amendments were approved for reducing the design grant CD22-03 from \$250,000 to \$189,000 and extending the performance date to January 6, 2025 to accommodate phasing the project into Phase 1 for design plans from Eustis Avenue to School Road and Phase 2 for the acquisition of easements and the design of the remaining corridor and construction. On November 22, 2024, a **Start Work Notice** was issued to KCA to provide 100% Phase I plans by the grant perform end date of January 6, 2025. On December 19, 2024, Draft 100% Phase 1 Plans were circulated to County Department and Utility Providers with comments due on January 2, 2025.

The comments received were sent to KCA on January 2, 2025. KCA provided the 100% Phase 1 design plans on January 3, 2024, with (i) Lighting Plans, (ii) Lighting Design Analysis Report and (iii) Engineering Estimate reflecting a cost of \$169,847.24 for Phase 1. A **Suspend Work Notice** with 8 days remaining was issued to KCA on January 3, 2025, while a proposal for Phase 2 is being prepared.

Staff proceeded with a selection process of a consultant for the Construction Engineering Inspection Services (CEI) for the project. Trebilcock Consulting Services is the assigned consultant. On September 10, 2024, Staff prepared the Scope of Work for the Consultant's proposal for the issuance of a Work Order for CEI Services. Once KCA finalized the design plans, Staff will prepare the Solicitation for bids by construction contractors.

**FISCAL IMPACT:** The Design Budget for KCA is \$201,945 (includes the additional cost of \$11,955 associated with Change Order #1). Funding is from the CDBG \$250,000 award for the design of construction plans by 12/12/24 provided the 60-day extension is approved.

Total budget cost for this project is \$1,575,000. The CRA was awarded \$250,000 (reduced to \$189,000 for Phase 1 CD22-03) of CDBG funds (33831) for the design portion in FY22/23. The CRA has allocated \$323,629 from the Immokalee CRA Capital Fund (1026). The construction applied for under the CDBG grant is estimated at \$1,200,000. There is no match requirement. In FY25, a subsequent Board action will be taken to recognize the grant revenue of \$1,001,371 to be reduced to \$401,371 CD24-02 to finish the design and complete Phase 1 construction.

Staff allocated additional Immokalee CRA Capital Funds (1026) Project (#50250 First Street) for gaps in funding. Breakdown of cost will be provided once subrecipient agreement is executed.

Road Maintenance and Traffic Ops will take on the ongoing maintenance and capital upkeep of the Rectangular Rapid Flashing Beacons at the crosswalks. The MSTU will take on the ongoing utility fee.

Total Budget:

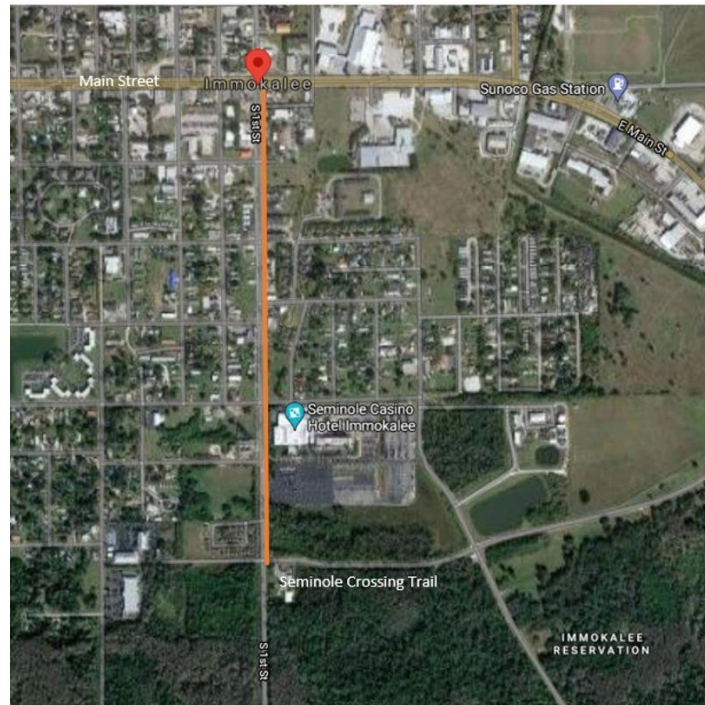
Fund Source	Amount
Immokalee CRA Grant (Fund 1027) FY23	\$250,000.00
Immokalee CRA Grant (Fund 1027) FY24	\$401,371.00
Immokalee CRA Grant (Fund 1027) FY25	\$600,000.00
Immokalee Beautification Municipal Services Taxing Unit MSTU (Fund 1629)	\$0
Immokalee CRA Project (Fund 1026) - First Street Capital Project #50250	\$323,629.00
<b>Total:</b>	<b>\$1,575,000.00</b>

Proposed Expenses:

**Line-Item Budget Details:**

Description	CDBG Fund (HUD)	non-CDBG Fund (CRA/MSTU)	Total Budget
Design	\$ 250,000.00	\$ -	\$ 250,000.00
Environmental	\$ -	\$ 6,500.00	\$ 6,500.00
Construction	\$ 1,001,371.00	\$ 198,629.00	\$ 1,200,000.00
CEI (Construction, Engineering, and Inspection)	\$ -	\$ 110,000.00	\$ 110,000.00
Other (permits, legal ads, etc.)	\$ -	\$ 5,000.00	\$ 5,000.00
<b>Estimated Total</b>	<b>\$ 1,251,371.00</b>	<b>\$ 320,129.00</b>	<b>\$ 1,571,500.00</b>

**PROJECT AREA:** South 1<sup>st</sup> Street from Main Street to School Road/Seminole Crossing Trail (Appx 4,000 feet).



**NEXT STEP:**

- Approval of First Amendment to CD24-02 by the BCC in January/February 2025.
- KCA to provide a Proposal for Phase 2.
- Obtain approval of KCA's Work Order and issue a NTP.
- Identify the areas for easement acquisition and order legal descriptions and sketches.
- Initiate the Easement Acquisition Process.
- Obtain a Proposal from the CEI for their Work Order.
- Submit an Application to apply for funding for Phase 2 by January 17, 2025.



**2050 Potential Roadway Needs (Immokalee CRA)**

Row	Project	From	To	Description	2045 LRTP Update Status	Current Status
1	SR 29	New Market Rd North	North of SR 82	Widen from 2 Lanes to 4 Lanes (with center turn lane)	Design, ROW, & CST funded	Complete (2028 E+C Network)
2	SR 29/New Market Rd W	Immokalee Rd (CR 846)	New Market Rd N	New 4-Lane Road	Design, ROW, & CST funded	Complete (2028 E+C Network)
3	SR 29	Agriculture Way	CR 846 E	Widen from 2 Lanes to 4 Lanes	Design, ROW, & CST funded	Design Phase Complete FDOT WP: ROW & CST not funded Identified as a 2050 need
4	SR 29	Sunniland Nursery Rd	Agriculture Way	Widen from 2 Lanes to 4 Lanes	Design & ROW funded	Design Phase Complete FDOT WP: ROW & CST not funded Identified as a 2050 need
5	SR 29/North Main Street	N 9 <sup>th</sup> St	Immokalee Dr	Widen from 2 Lanes to 4 Lanes	Not identified	Identified as a 2050 Need
6	Immokalee Rd (CR 846)	Camp Keais Rd	Carver St	Widen from 2 Lanes to 4 Lanes	Identified as a 2045 Need	Identified as a 2050 Need
7	Little League Rd Extension	SR 82	Westclox St	New 2-Lane Road	Design & ROW funded	Identified as a 2050 Need
8	Immokalee Rd (CR 846)	SR 29	Airpark Blvd	Widen from 2 Lanes to 4 Lanes	Design, ROW, & CST funded	Identified as a 2050 Need
9	Westclox Street Extension	Little League Rd	West of Carson Road	New 2-Lane Road	Design, ROW, & CST funded	Identified as a 2050 Need

